



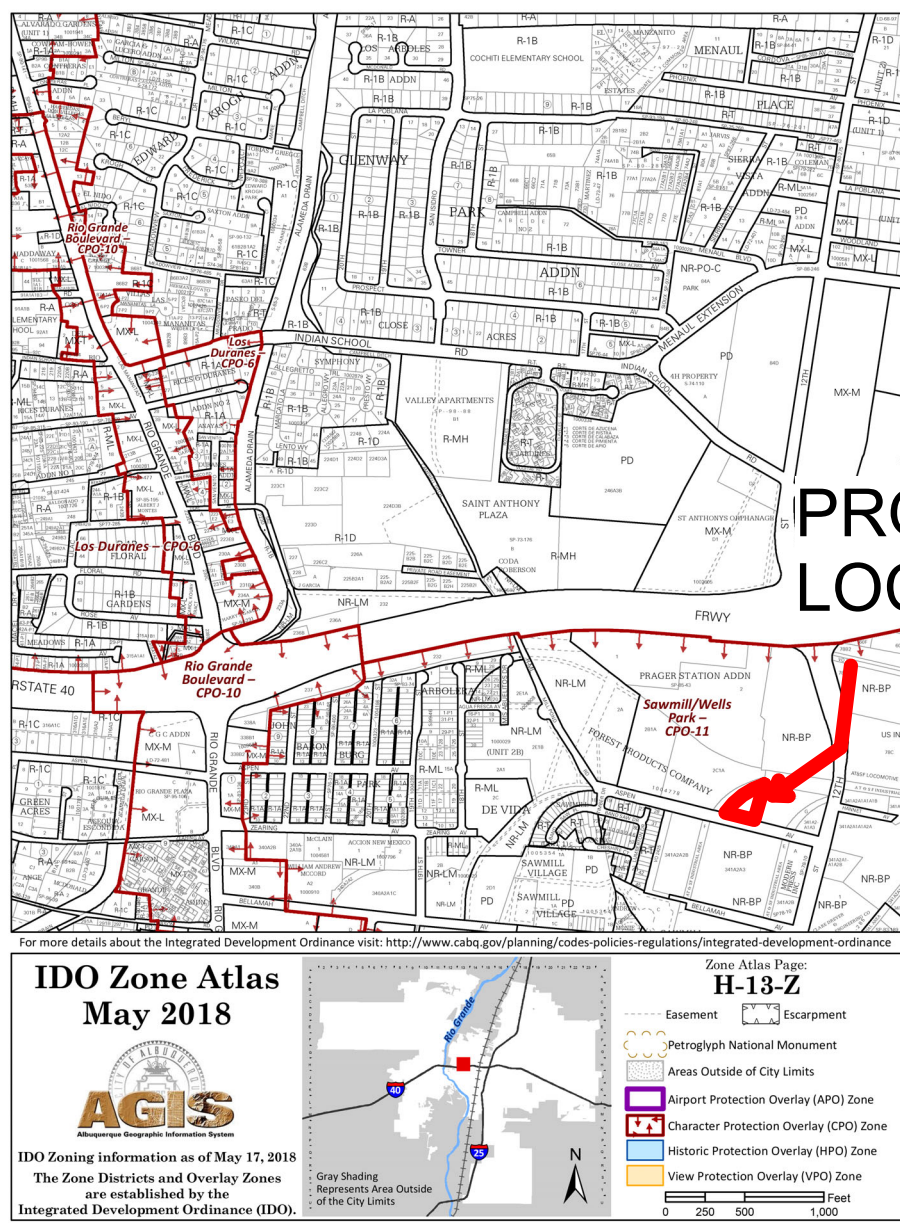
Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up
between the hours of 5AM and 8PM.

Reviewer: Herman Gabeagos

Date: 04-23-24

Recycling declined
See manhole note



PROJECT
LOCATION

AREA SQUARE FOOTAGE

EXISTING = 5,510 S.F.
NEW ADDITION = 3,722 S.F.
TOTAL = 9,232 S.F.

PARKING REQUIREMENT PER IDO - ZONE NR-BP

PARKING REQUIRED BY I.D.O. SECTION 14-16-5-5

5-5(B)(1)(b)
Expansion of the gross floor area of an existing primary building by more than 25 percent or 2,500 square feet, whichever is less, from the square footage originally approved, in which case the provisions of Table 5-5-1 and Table 5-5-2 shall apply to the expanded gross floor area of the building. All relevant standards in this Section 14-16-5-5 shall apply to any new parking added to conform with this provision and to any portions of the site affected by the expansion.

TABLE 5-5-1

NEW CONSTRUCTION
WAREHOUSE = NO REQUIREMENTS

EXISTING PARKING
GENERAL RETAIL = 380SF / 3 SPACES / 1,000 SF | 2 SPACES REQUIRED
OFFICE = 407SF / 3.5 SPACES / 1,000 SF | 2 SPACES REQUIRED
7 EMPLOYEES = 7 SPACES REQUIRED

TOTAL REQUIRED SPACES = 11

TOTAL SPACES PROVIDED 13 + 1 ACCESSIBLE

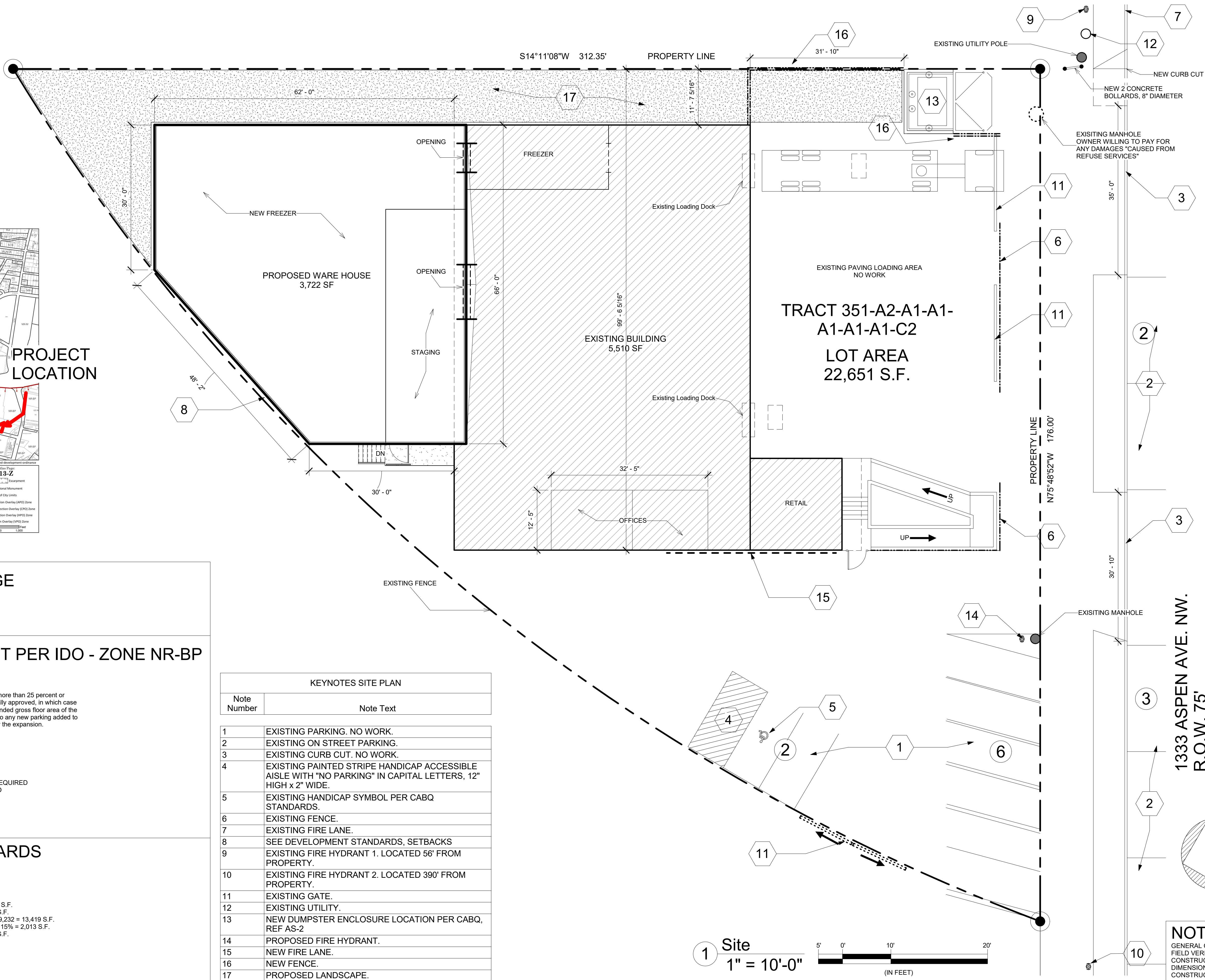
DEVELOPMENT STANDARDS

LANDSCAPING
I.D.O. PART 14-16-5
5-6: LANDSCAPING, BUFFERING, AND SCREENING
MINIMUM LANDSCAPE AREA 5-6(C)(2)(a)

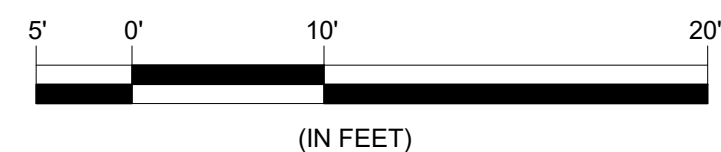
TOTAL LOT AREA: = 22,651 S.F.
TOTAL UNDER ROOF AREA: = 9,232 S.F.
NET LOT AREA: 22,651 - 9,232 = 13,419 S.F.
LANDSCAPING REQUIRED: 13,419 X 15% = 2,013 S.F.
PROPOSED LANDSCAPING: = 2,260 S.F.

SETBACKS
I.D.O. TABLE 5-1-3
[3] NO SETBACK IS REQUIRED ON SIDES
ABUTTING RAIL TRACKS OR RAIL EASEMENTS

KEYNOTES SITE PLAN	
Note Number	Note Text
1	EXISTING PARKING. NO WORK.
2	EXISTING ON STREET PARKING.
3	EXISTING CURB CUT. NO WORK.
4	EXISTING PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE.
5	EXISTING HANDICAP SYMBOL PER CABQ STANDARDS.
6	EXISTING FENCE.
7	EXISTING FIRE LANE.
8	SEE DEVELOPMENT STANDARDS, SETBACKS
9	EXISTING FIRE HYDRANT 1. LOCATED 56' FROM PROPERTY.
10	EXISTING FIRE HYDRANT 2. LOCATED 390' FROM PROPERTY.
11	EXISTING GATE.
12	EXISTING UTILITY.
13	NEW DUMPSTER ENCLOSURE LOCATION PER CABQ, REF AS-2
14	PROPOSED FIRE HYDRANT.
15	NEW FIRE LANE.
16	NEW FENCE.
17	PROPOSED LANDSCAPE.



1 Site
1" = 10'-0"



NOTE
GENERAL CONTRACTOR TO
FIELD VERIFY ALL EXIST.
CONSTRUCTION AND
DIMENSIONS PRIOR TO
CONSTRUCTION

G & S MEATS FREEZER
SITE PLAN
1333 ASPEN AVE NW
ALBUQUERQUE, NM 87104
PROJECT #2345

REVISION DATE
RBA ARCHITECTURE, PC ARCHITECT DESIGN 1104 PARK AVE. SW ALBUQUERQUE, NM 87102 505.264.1838 (F) 505.264.4800 www.rba81.com
DATE 2-12-2024
SHEET NUMBER AS-1