

CITY OF ALBUQUERQUE



February 22, 2010

John Arthur Blessen, P.E.
J. Arthur Blessen Engineering
2429 Zena Lona St. NE
Albuquerque, New Mexico 87112

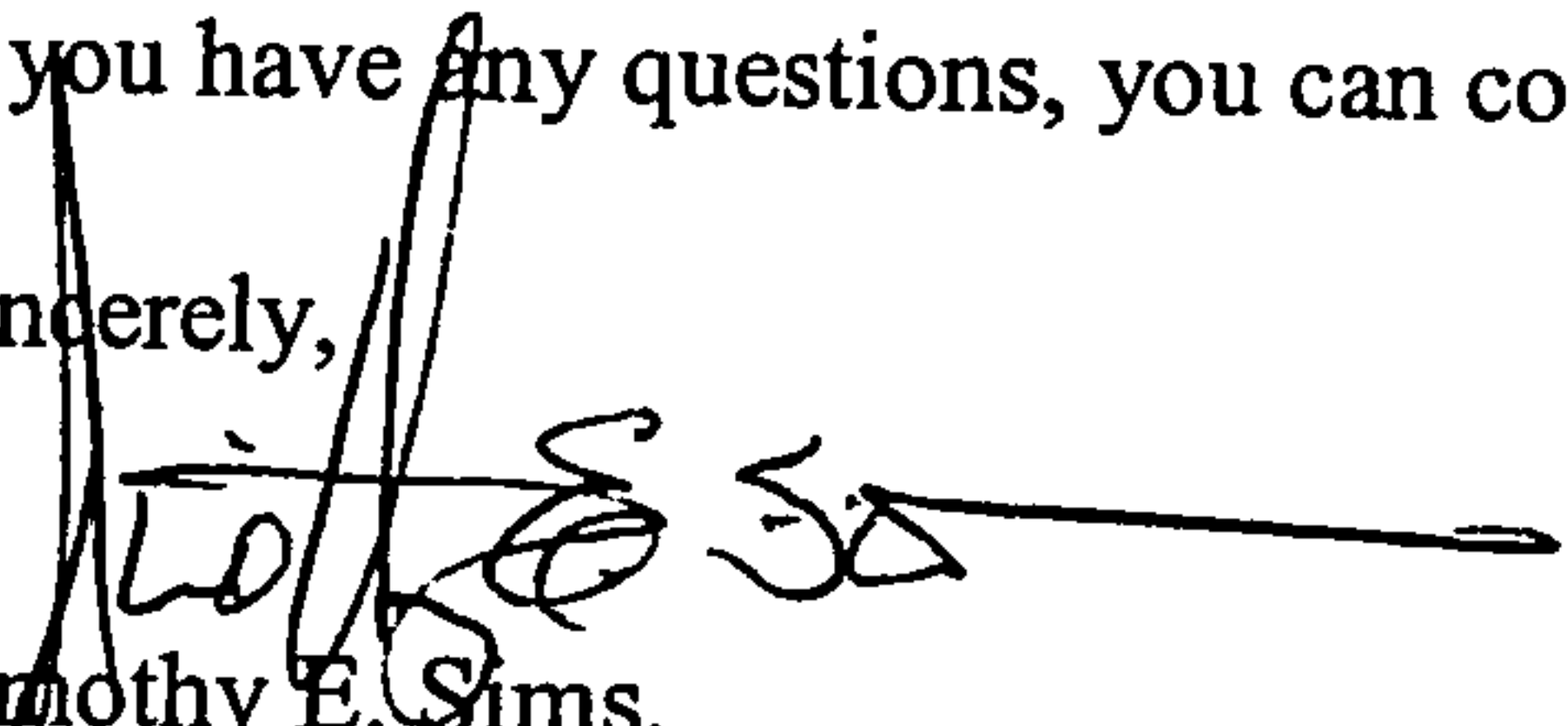
Re: **Associated Builders & Contractors, 2821 06
2701 Broadway Blvd NW,
Request for Permanent C.O. - Approved
Engineer's Stamp dated: 4-04-09 (H-14/D001B)
Certification dated: 02-162-10**

Dear Mr. Blessen,

Based upon the information provided in the Certification received 2-19-10, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,


Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: ASSOCIATED BUILDERS & CONTRACTORS ZONE MAP: H15 H14/D1B
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS L&M GATEWAY INDUSTRIAL PARK
CITY ADDRESS: 2701 BROADWAY BLYD NW

ENGINEERING FIRM: J ARTHUR BLESSEN ENGINEERING CONTACT: ARTHUR BLESSEN
ADDRESS: 2429 ZENA LONA SE. NE. PHONE: 293-1477
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87112

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: CLAUDIO VIGIL ARCHITECTS CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

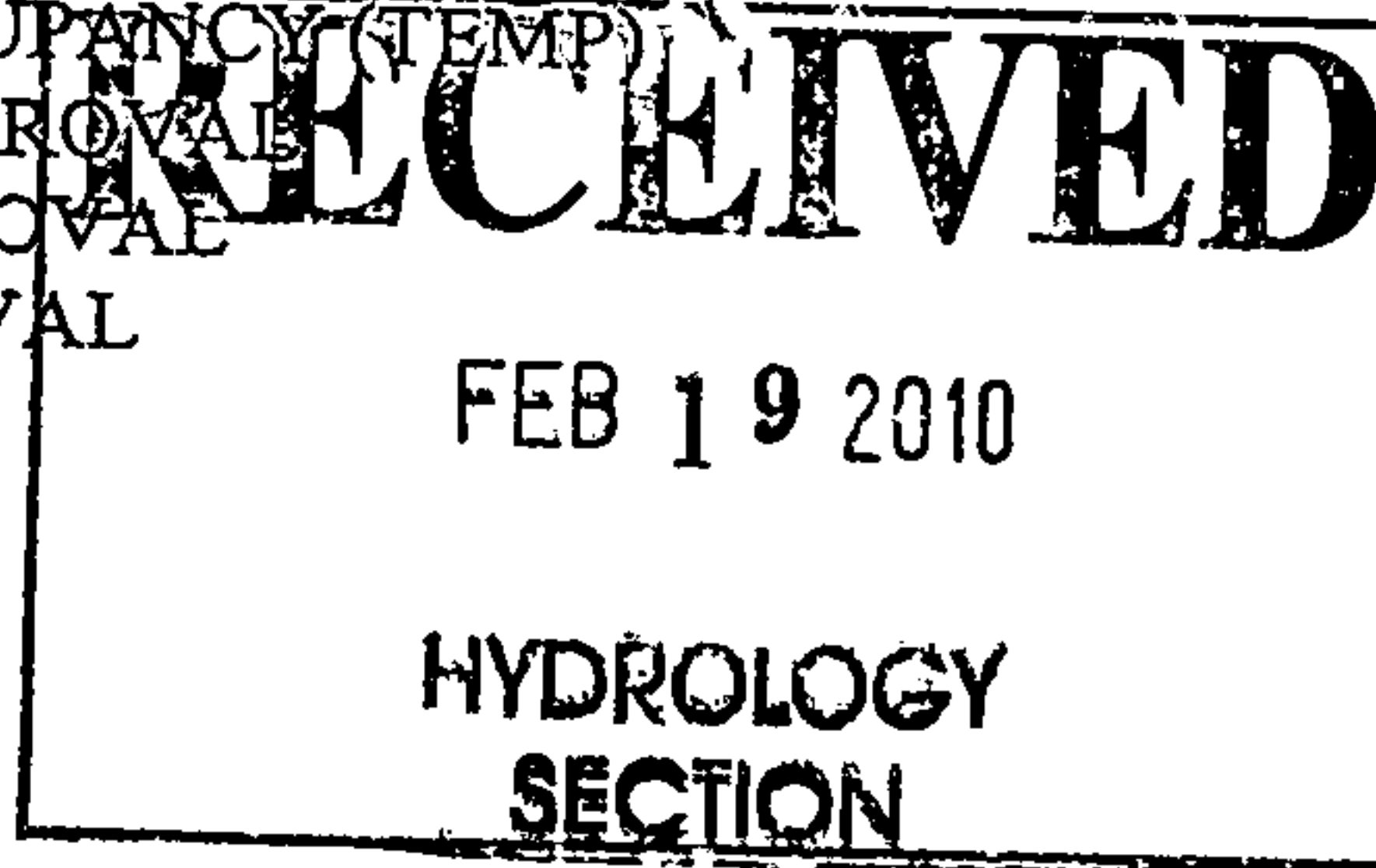
CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

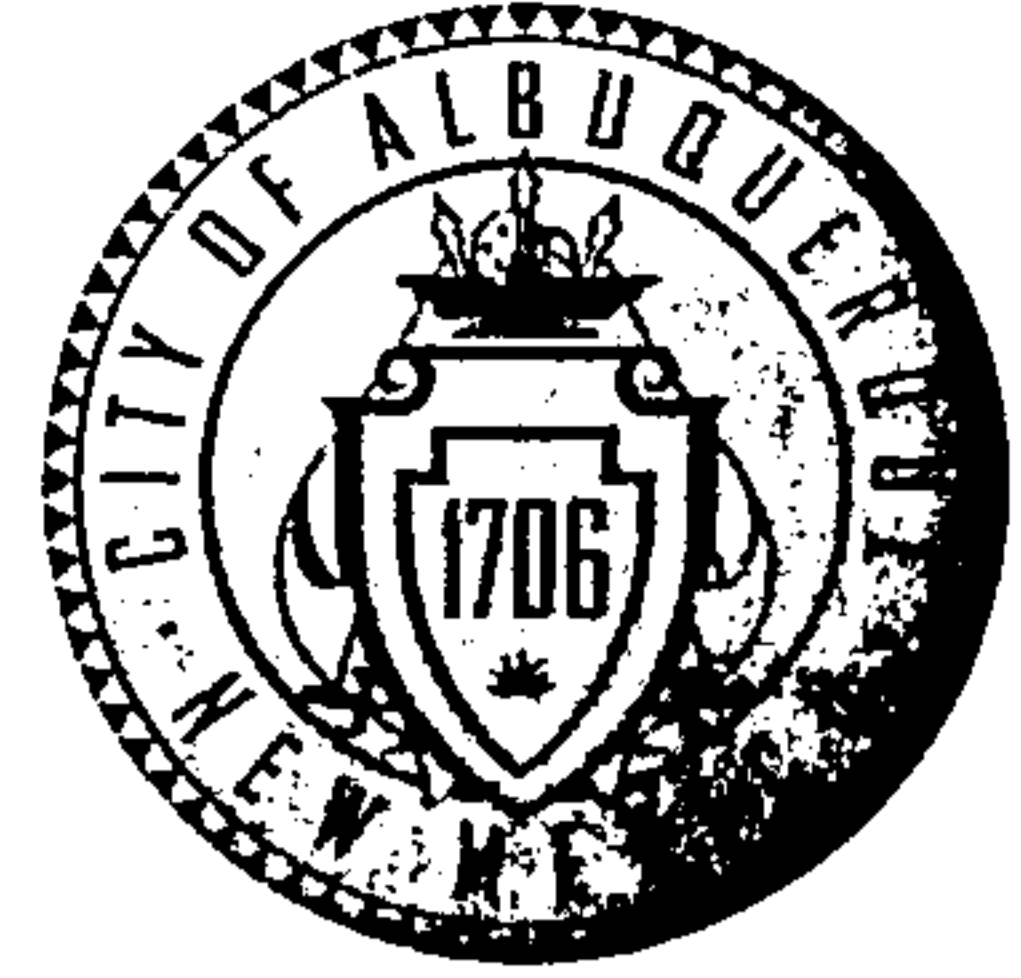
DATE SUBMITTED: 2-19-10 BY: J Arthur BlesSEN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

February 4, 2010

Claudio A. Vigil, Registered Architect
Claudio Vigil Architects
1801 Rio Grande Blvd NW
Albuquerque, NM 87104

Re: Approval of Permanent Certificate of Occupancy (C.O.) for
Associated Builders and Contractors ABC Bldg, [H-14/ D001B]
2821 Broadway Blvd NE
Architect's Stamp Dated 02/02/10

Dear Mr. Vigil:

Based upon the information provided in your submittal received 02-03-10,
Transportation Development has no objection to the issuance of a Permanent Certificate
of Occupancy (C.O.).

This letter serves as a "green tag" from Transportation Development for a
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



February 2, 2010

Traffic Engineer
Development and Building Services
600 Second St. N.W
Albuquerque, New Mexico

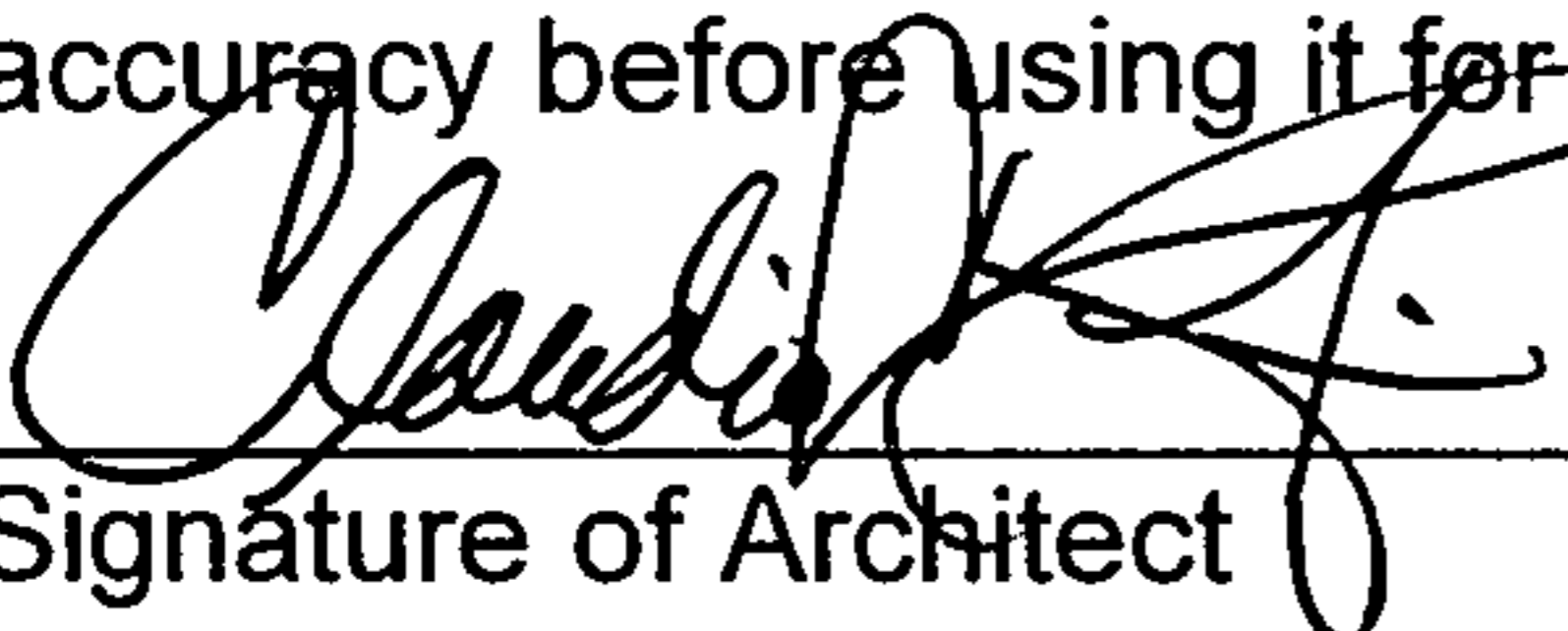
RE: TRAFFIC CERTIFICATION - Submittal
Associated Builders and Contractors, ABC Building
2821 Broadway Boulevard, N.E.

To whom it may concern:

I, Claudio Vigil, NM Registered Architect 1236, of the firm Claudio Vigil Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the site development plan approved through administrative amendment and permit set. The record information documented and edited onto the approved TCL Site Plan has been obtained by Sandra Fairchild of the firm Claudio Vigil Architects. I further certify that I have personally visited the project site on February 2, 2010 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief and as shown on the attached site plans. This certification is submitted in support of a request for Certificate of Occupancy.

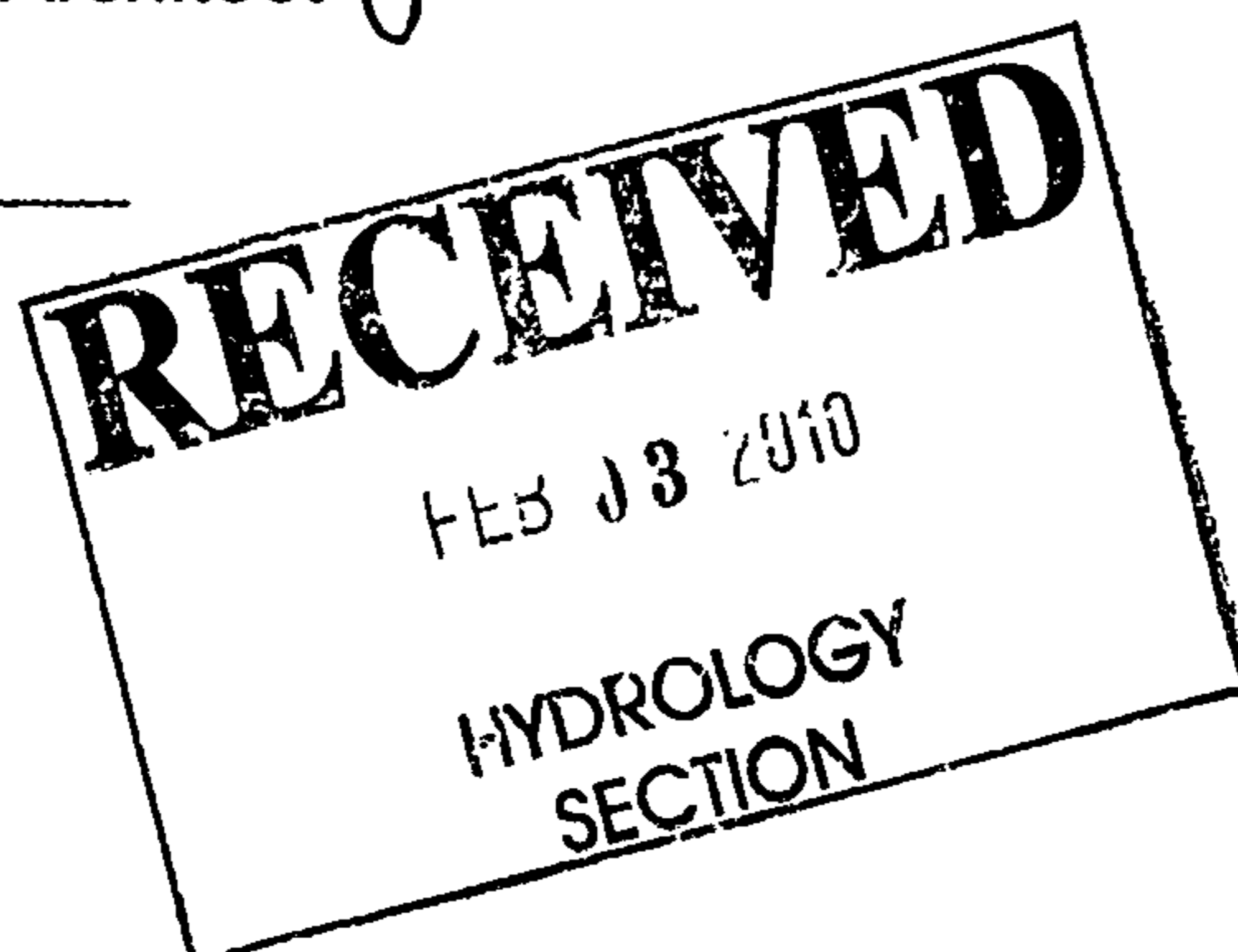
All work necessary to support the facility has been completed, and is in substantial compliance with the approved site development plan.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Signature of Architect

2/2/10
Date



ARCHITECT'S STAMP



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

4-14/20013

PROJECT TITLE: Associated Builders & Contractors ZONE MAP: HISZ
DRB#: 06DRB-00304c EPC#: 1000195 WORK ORDER#: _____

LEGAL DESCRIPTION: Lot M-1, Tract M-1, Gateway Industrial Park
CITY ADDRESS: 2821 Broadway Boulevard, N.E.

ENGINEERING FIRM: J. Arthur Blessen Engineering CONTACT: Art Blessen
ADDRESS: 11930 Manual Boulevard, N.E., Suite 109 PHONE: (505) 293-1477
CITY, STATE: Albuquerque, NM ZIP CODE: 87112

OWNER: Associated Builders & Contractors CONTACT: _____
ADDRESS: 3540 Pan American Freeway, N.E., Suite F PHONE: (505) 8304222
CITY, STATE: Albuquerque, NM ZIP CODE: 87107

ARCHITECT: Claudio Vigil Architects CONTACT: Sandra M. Fairchild
ADDRESS: 1801 Rio Grande Boulevard, N.W. PHONE: (505) 841-1113
CITY, STATE: Albuquerque, NM ZIP CODE: 87104

SURVEYING FIRM: _____ LICENSED SURVEYOR: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE
--	-------------	------

CONTRACTOR: Klinger Constructors, LLC CONTACT: Alan White
ADDRESS: 8701 Washington, N.E. PHONE: (505) 856-9990
CITY, STATE: Albuquerque, N.M. ZIP CODE: 87113

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input checked="" type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input checked="" type="checkbox"/> CERTIFICATE OF OCCUPANCY
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input checked="" type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> PAVING PERMIT APPROVAL
<input type="checkbox"/> OTHER-	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

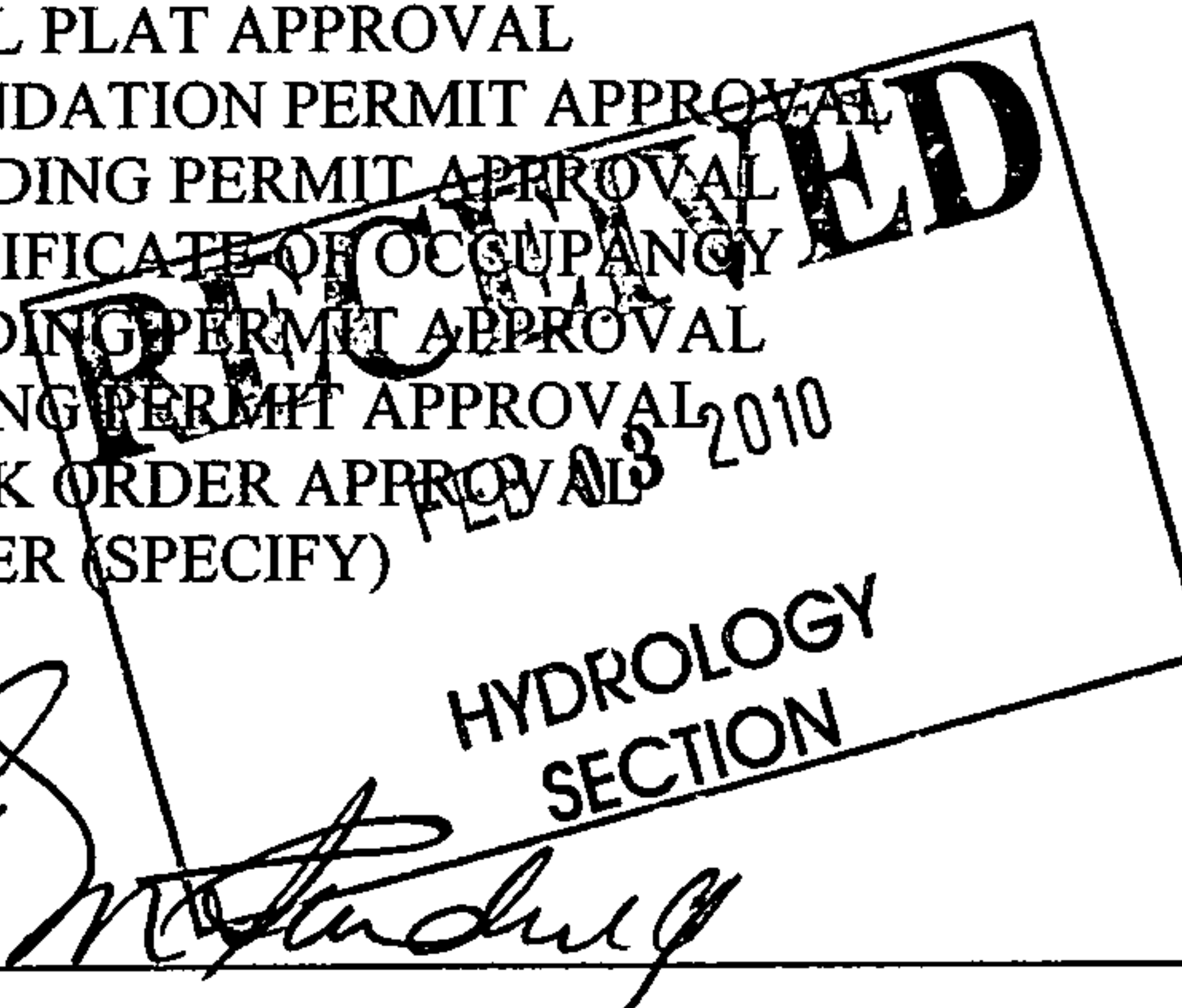
☐ YES

☒ NO

☐ COPY PROVIDED

DATE SUBMITTED: 2-2-10

BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: ASSOCIATED BUILDERS & CONTRACTORS ZONE MAP: H#5 H14/D1B
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS L&M GATEWAY INDUSTRIAL PARK
CITY ADDRESS: 2701 BROADWAY BLYD NW

ENGINEERING FIRM: J ARTHUR BLESSEN ENGINEERING CONTACT: ARTHUR BLESSEN
ADDRESS: 2429 ZENA LONA PHONE: 293-1477
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87112

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: CLAUDIO VIGIL ARCHITECTS CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) 5019

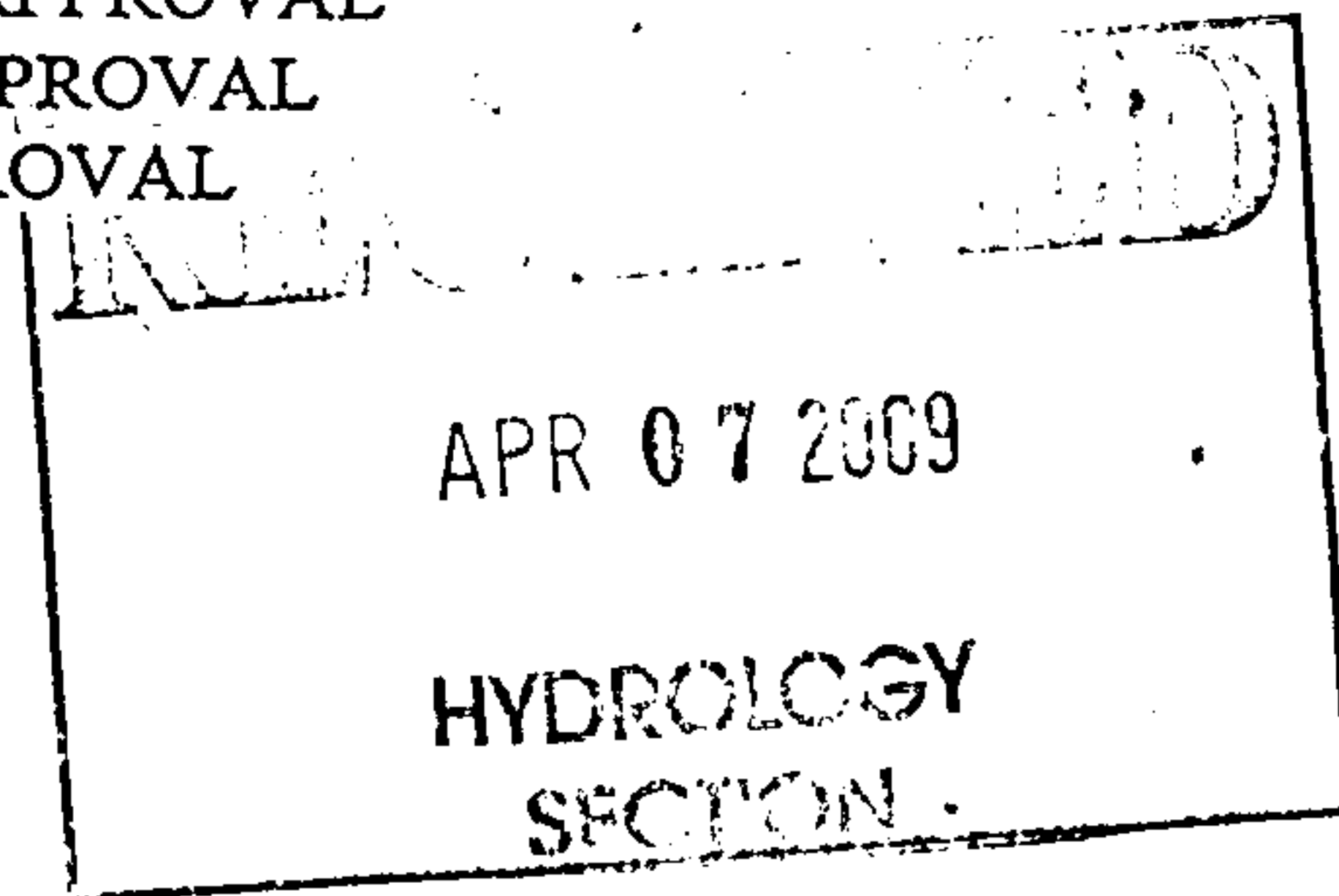
WAS A PRE-DESIGN CONFERENCE ATTENDED:

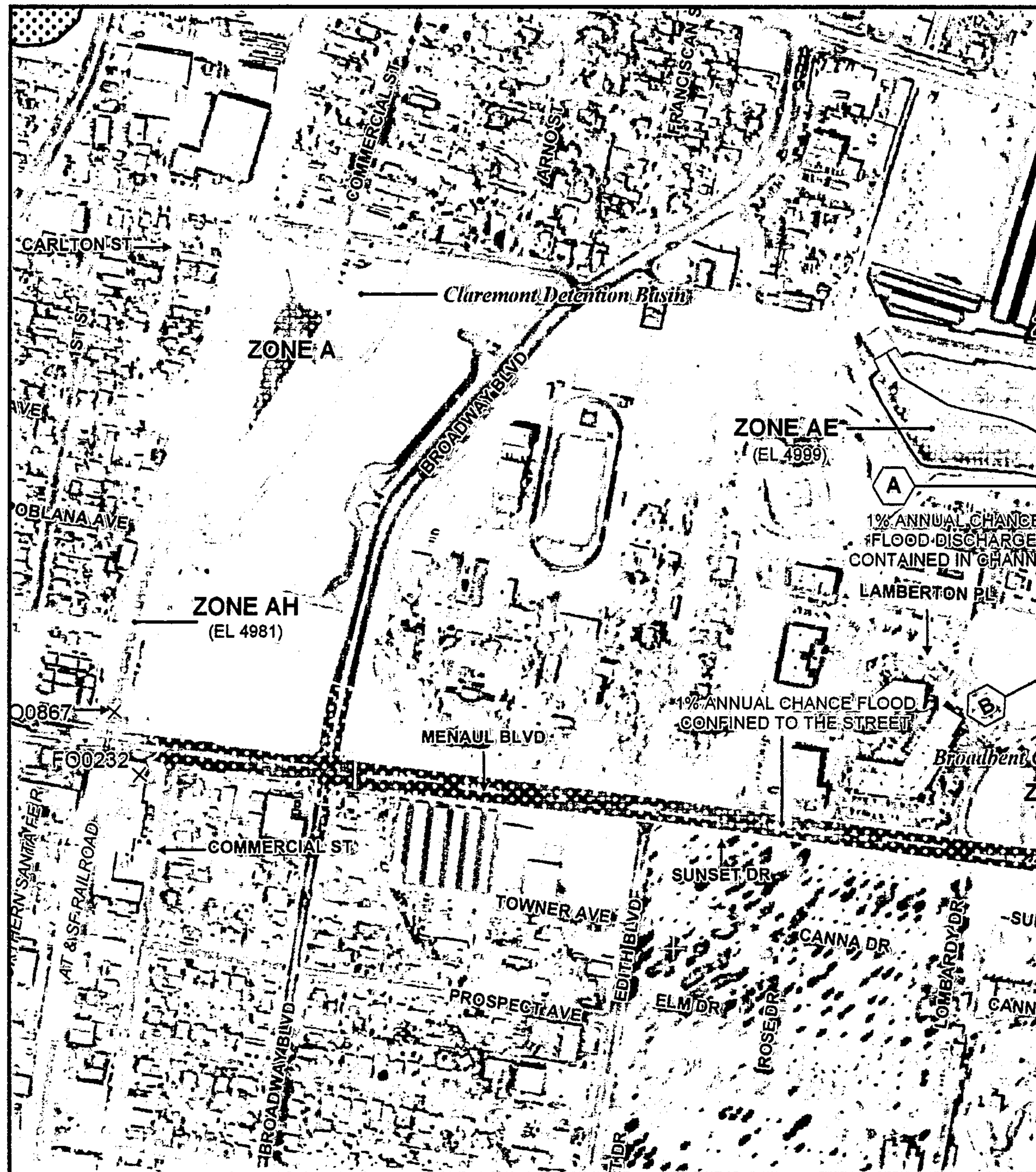
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: _____ BY: _____

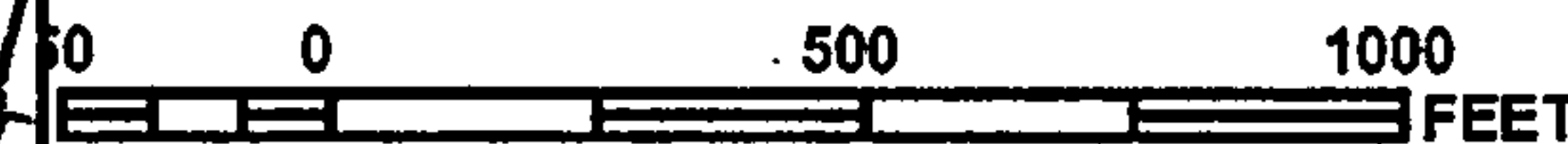
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MAP SCALE 1" = 500'



NFIP

PANEL 0332G

FIRM

FLOOD INSURANCE RATE MAP
BERNALILLO COUNTY,
NEW MEXICO
AND INCORPORATED AREAS

PANEL 332 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF	350002	0332	G
BERNALILLO COUNTY UNINCORPORATED AREAS	350001	C332	G

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
35001C0332G

MAP REVISED
SEPTEMBER 26, 2008

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

j arthur blessen engineering
architect engineer
2429 Zena Lona NE
Albuquerque, NM 87112

April 4, 2009

Nilo Salgado-Fernandez PE, Senior Engineer
City of Albuquerque Planning Department
Albuquerque, New Mexico 87103

re: Associated Builders & Contractors Office Building
2851 Broadway Blvd. NE
File: H-14/D1B

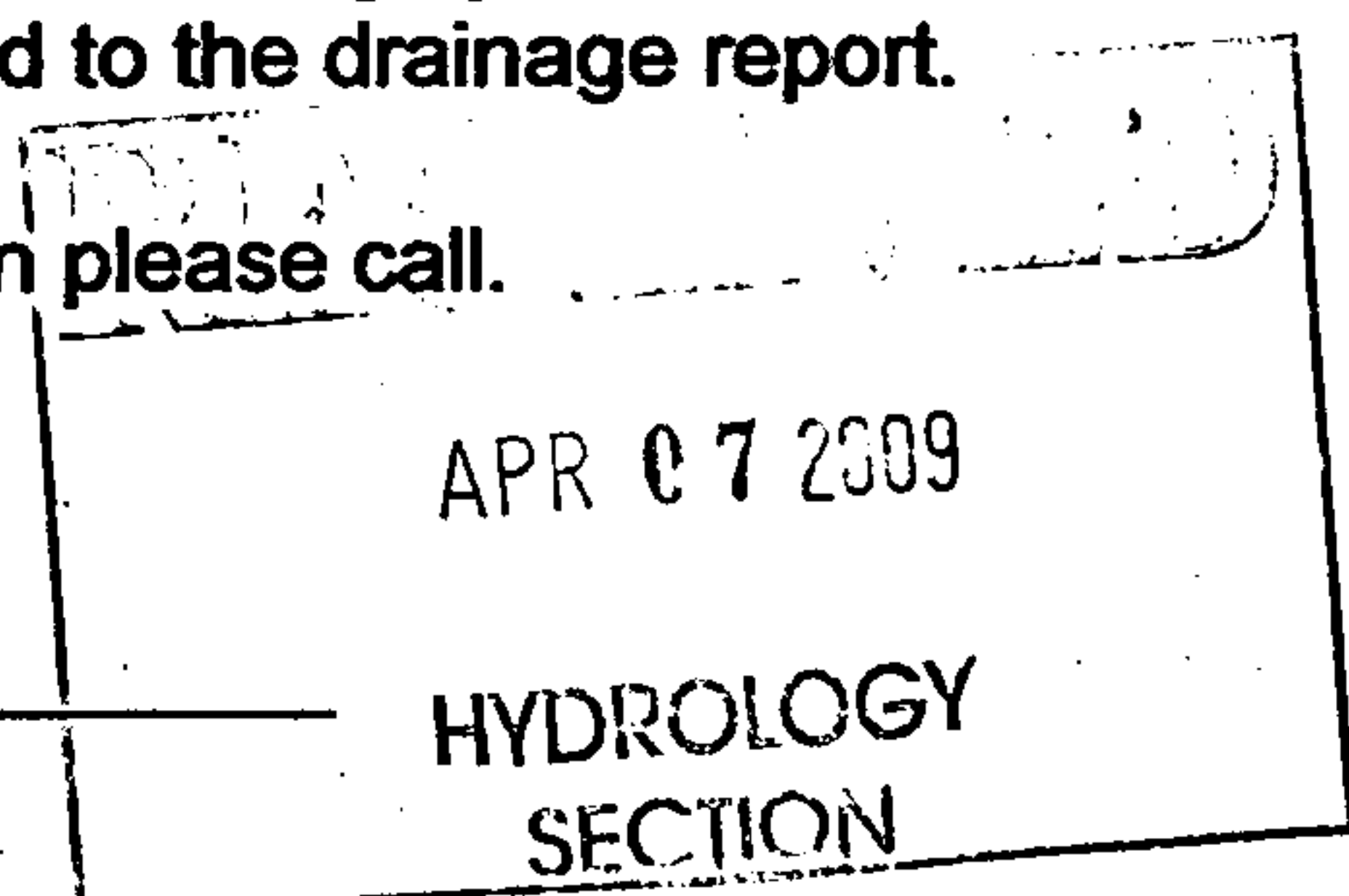
Dear Mr. Salgado-Fernandez,

To follow are the responses to you comments of March 12, 2009:

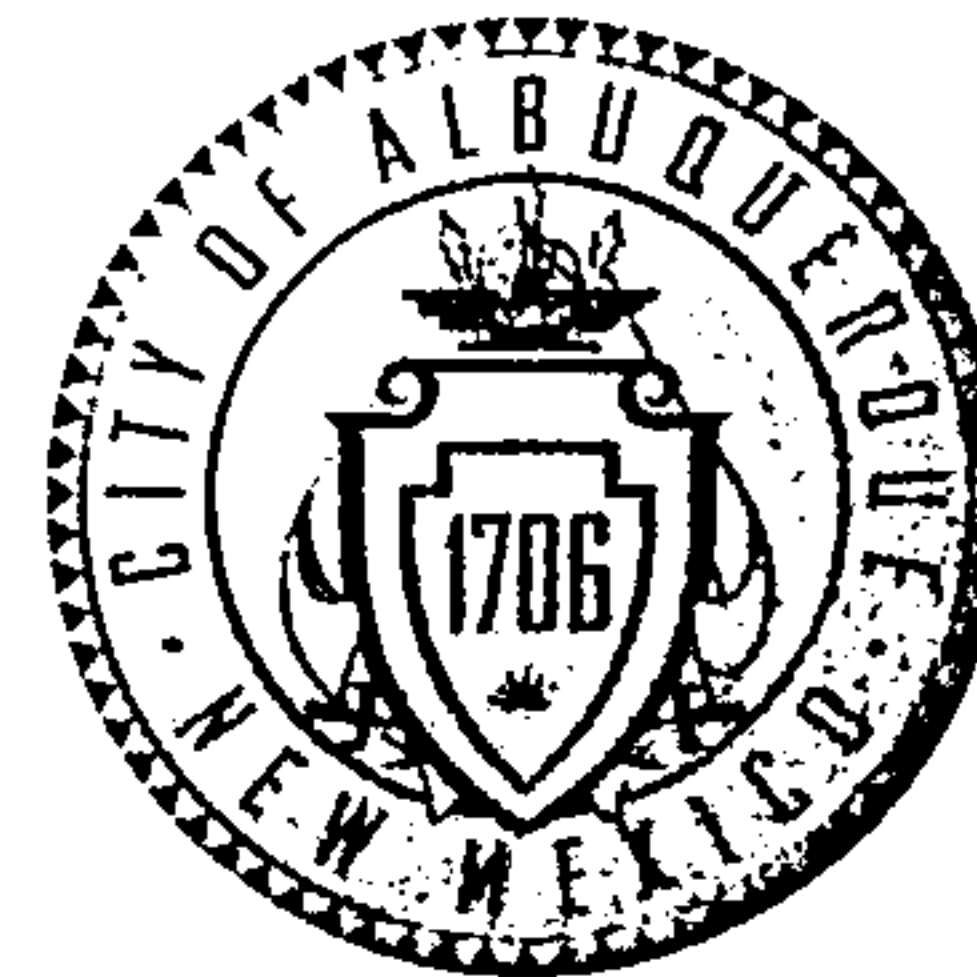
- ✓ *You'll need a Drainage Easement over Tract L to receive runoff from Tract M.*
Tracts L and M have been combined into one Tract (Tract M-1). The legal description have been revised to indicate this information.
- ✓ *Permission is needed from landowner for work onto Tract K-1.*
A general note has been added requiring the Contractor obtain permission prior to the start of any work on adjacent properties. (Note J)
- ✓ *Spot elevations will need to be provided for Refuse Enclosure and around parking area.*
The requested elevations have been added.
- ✓ *There are too many lines that haven't been defined on legend, please provide appropriate information.*
The requested information has been added to the Legend.
- ✓ *What size sidewalk culvert are your proposing? 24"*
The proposed width of the sidewalk culvert is 24" this information has been added to the grading plan.
- ✓ *Calculations for proposed pond will be needed as well as water surface elevation. Is top of pond elevation correct (18.5)?*
The master plan allow for unrestricted discharge to Claremont Ave for previous tract M, therefore the pond is not required. The pond area has been eliminated.
- ✓ *Please provide detail for spillway, and invert elevations along concrete valley.*
The pond and spillway have been eliminated. The concrete valley flow line elevations have been added to the grading plan
- ✓ *The contours fronting Claremont will need to directed towards the drainage channel and away from sidewalk perimeter.*
The grading along Claremont has been revised to provide earthen swales to direct the runoff away for the sidewalk.
- ✓ *A statement concerning the increase from 4.4 cfs to 5.1 cfs will need to be included in your overall summary and please specify if the increase in Q's is significant.*
The requested information has been added to the summary.
- ✓ *A FEMA Floor Insurance Rate Map should be included with the drainage plans.*
The FEMA map and panel information has been added to the drainage report.

Should you have any questions or require addition information please call.


J Arthur Blessen PE



CITY OF ALBUQUERQUE



May 7, 2009

John Arthur Blessen, P.E.
J. Arthur Blessen Engineering
2429 Zena Lona
Albuquerque, NM 87112

Re: Associated Builders & Contractors
2701 Broadway Blvd NW, Grading and Drainage Plan
Engineer's Stamp dated 04-04-08 (H-14/D1B)

Dear Mr. Blessen,

Based upon the information provided in your submittal received 04-07-09, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required, and completion of any improvements and/or adjustments to alley which will require a work order.**

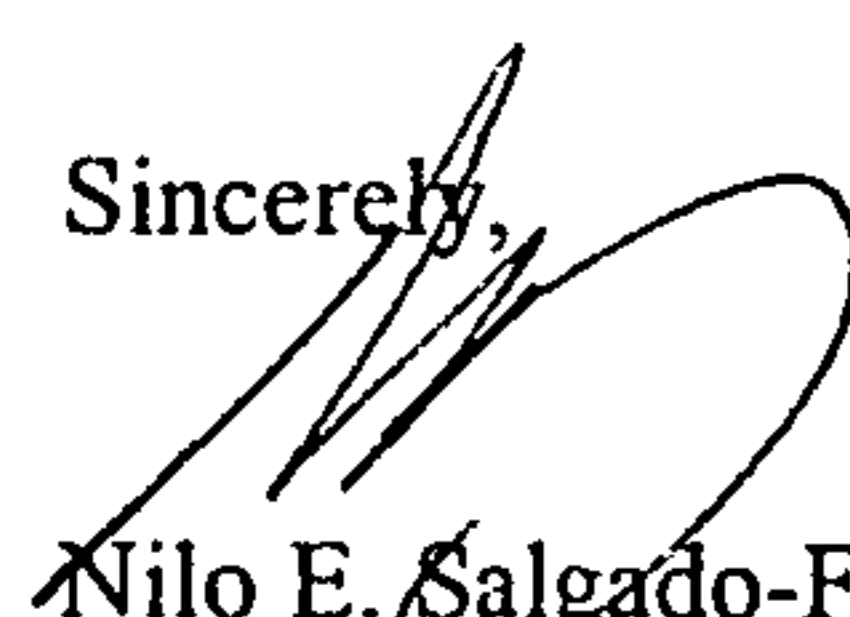
The above referenced plan is approved for an SO-19 permit. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. Be advised that no Certificate of Occupancy, temporary or permanent, will be released prior to inspection and approval of the storm drain connection / sidewalk culvert by the Storm Drain Maintenance department. Contact Duane Schmitz at 235-8016 to schedule an inspection.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. In addition to submitting an NOI to the EPA and preparing a Stormwater Pollution Prevention Plan (SWPPP), please send a copy of the SWPPP on a CD in .pdf format to the following address:

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Attn: Kathy Verhage
Albuquerque, NM 87103

If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Kathy Verhage).

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Duane Schmitz, DMD Street / Storm Maintenance (Pino Yards)
Antoinette Baldonado, Construction Services
Kathy Verhage, DMD Storm Drainage Design
File

CITY OF ALBUQUERQUE



March 12, 2009

John Arthur Blessen, P.E.
J. Arthur Blessen Engineering
2429 Zena Lona
Albuquerque, NM 87112

Re: Associated Builders & Contractors
2701 Broadway Blvd NW, Grading and Drainage Plan
Engineer's Stamp dated 12-04-08 (H-14/D1B)

Dear Mr. Blessen,

Based upon the information provided in your submittal received 02-20-09, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- You'll need a Drainage Easement over Tracts L to received runoff from Tract M.
- Permission is needed from landowner for work onto Tract K-1.
- Spot elevations will need to be provided for Refuse Enclosure and around parking area.
- There are too many lines that haven't been defined on legend, please provide appropriate information.
- What size sidewalk culvert are you proposing? 24"?
- Calculations for proposed pond will be needed as well as water surface elevation. Is top of pond elevation correct (18.5)?
- Please provide detail for spillway, and invert elevations along concrete valley.
- The contours fronting Claremont will need to be directed towards the drainage channel and away from sidewalk perimeter.
- A statement concerning the increase from 4.40 cfs to 5.1 cfs will need to be included in your overall summery and please specify if the increase in the Q's is significant.
- A FEMA Flood Insurance Rate Map should be included with the drainage plans.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If you have any question please contact me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: ASSOCIATED BUILDERS & CONTRACTORS ZONE MAP: H#5 H14/D1B
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS L&M GATEWAY INDUSTRIAL PARK
CITY ADDRESS: 2701 BROADWAY BLYD NW

ENGINEERING FIRM: J ARTHUR BLESSEN ENGINEERING CONTACT: ARTHUR BLESSEN
ADDRESS: 2429 ZENA LONA PHONE: 293-1477
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87112

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: CLAUDIO VIGIL ARCHITECTS CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
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- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
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- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

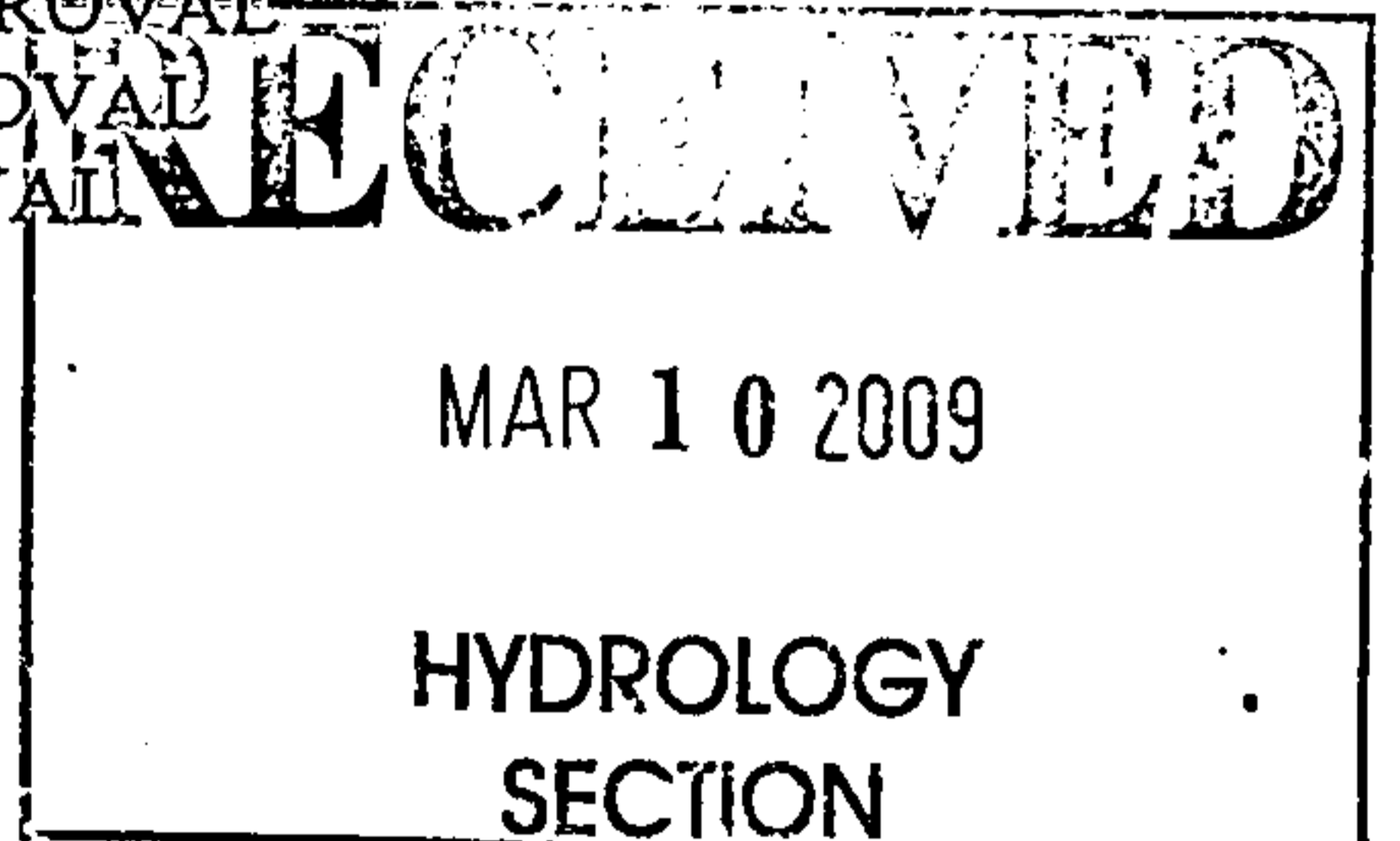
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 3-10-09 BY: Arthur BlesSEN

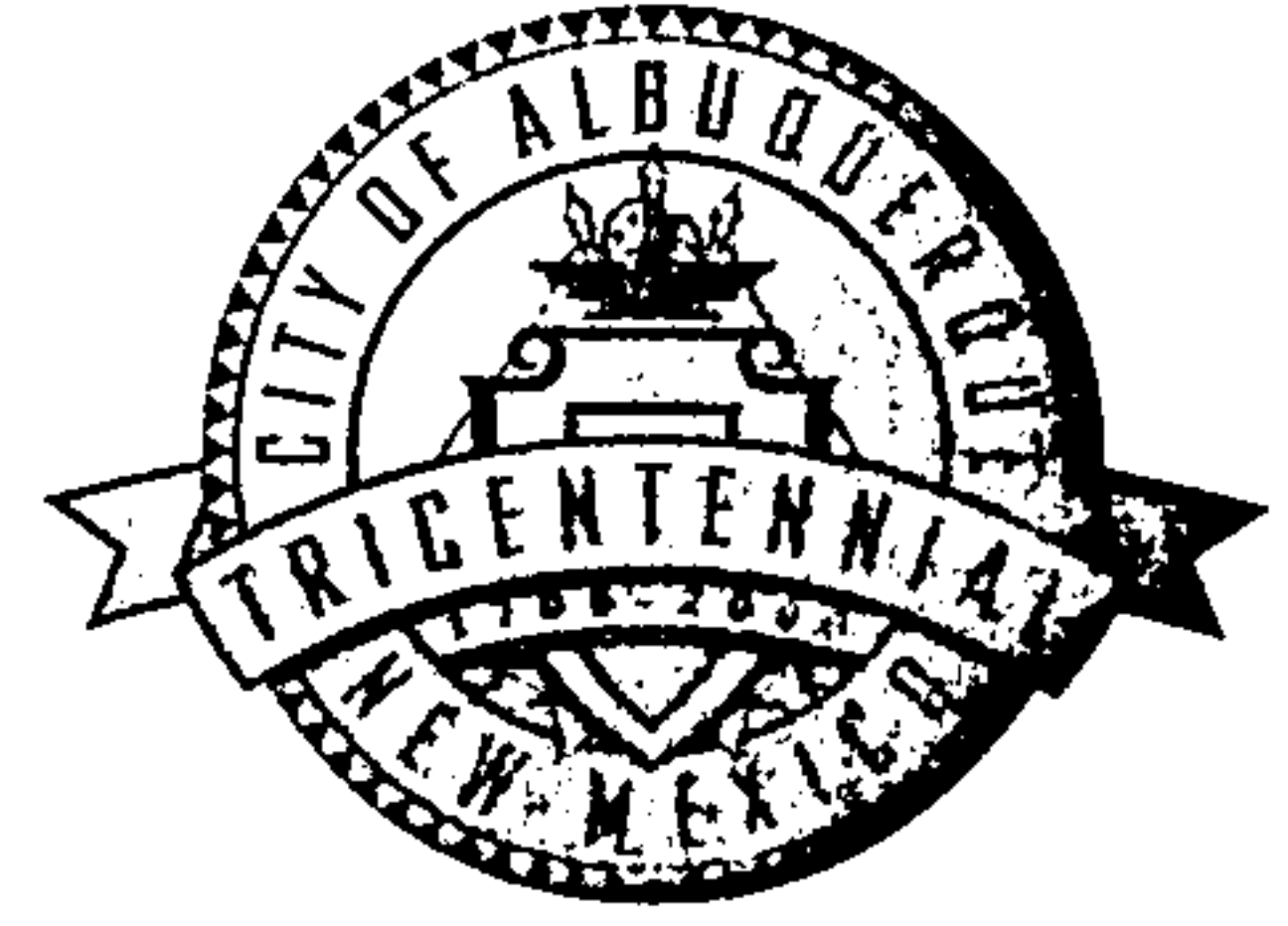
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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



2009060022

CITY OF ALBUQUERQUE



July 18, 2006

J. Arthur Blessen, P.E.
Claudio Vigil Architects
1809 Rio Grande Blvd. NW
Albuquerque, NM 87104

Re: Bank of Albuquerque – Tract M1 of the Gateway Industrial Park
Engineer's Stamp dated 5-1-06 (H14/D1B)

Dear Mr. Blessen,

Based upon the information provided in your submittal dated July 5, 2006, the above referenced plan is approved for Building Permit and SO-19.

If you have any questions, you can contact me at 924-3990

Sincerely,

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

cc: file H14/D1B
file DRB #1000195

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: ASSOCIATED BUILDERS AND CONTRACTORS H-14 DIB
DRB #: 1000195 EPC#: 06 EPC-00012 ZONE MAP/DRG. FILE #: H-14/DIB
WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT M1, GATEWAY INDUSTRIAL PARK
CITY ADDRESS: 2851 BROADWAY NE

ENGINEERING FIRM: Claudio Vigil Architects
ADDRESS: 1801 Rio Grande Blvd NW
CITY, STATE: Albuquerque, NM

CONTACT: Arthur Blessen
PHONE: 505.842.1113
ZIP CODE: 87104

OWNER: ABC
ADDRESS: 3540 PAN AMERICAN FWY NE, SUITE F
CITY, STATE: ABQ, NM

CONTACT: DAWN MATSON
PHONE: 830-4222
ZIP CODE: 87107

ARCHITECT: Claudio Vigil Architects
ADDRESS: 1801 Rio Grande Blvd NW
CITY, STATE: Albuquerque, NM

CONTACT: Arthur Blessen
PHONE: 505.842.1113
ZIP CODE: 87104

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

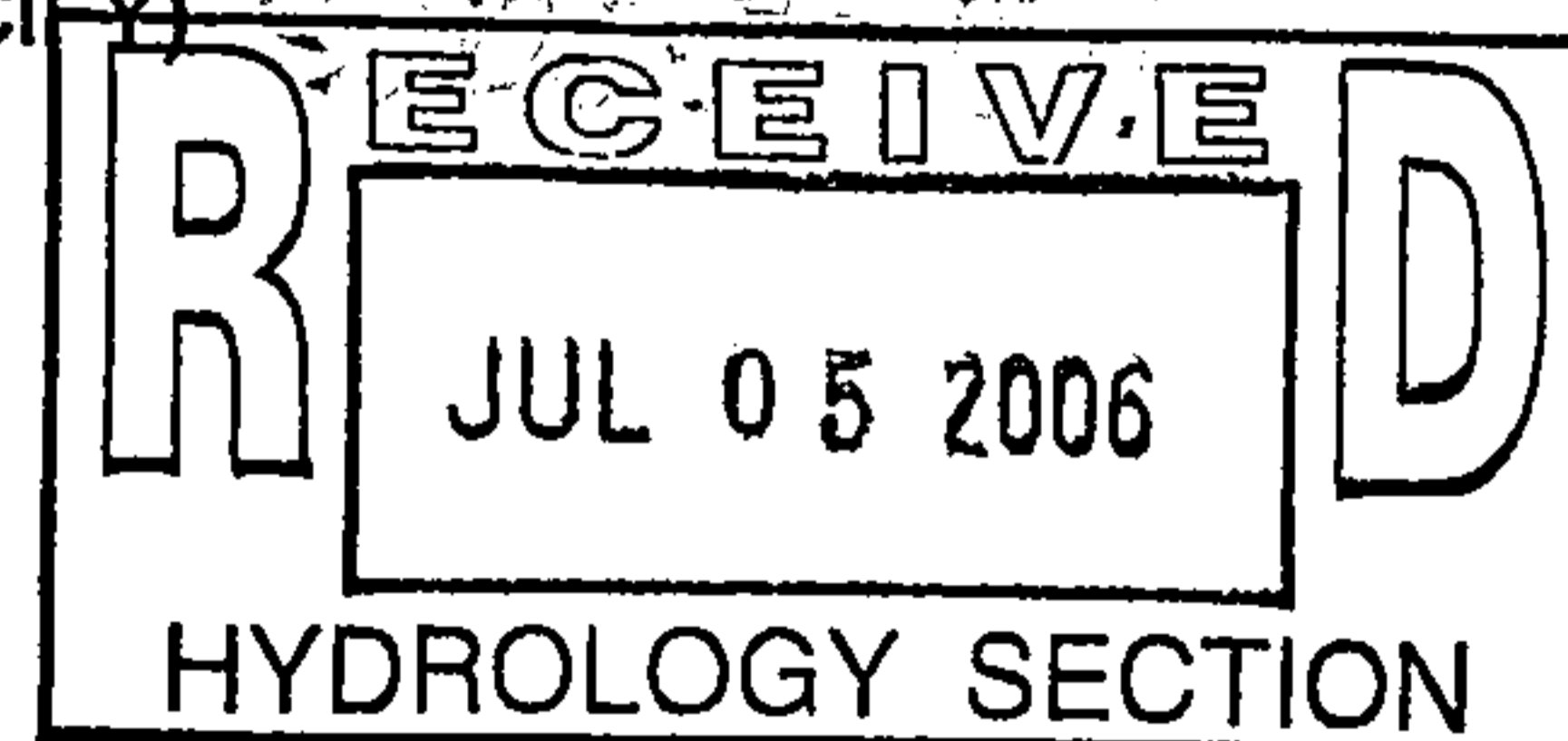
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) 7/5/06

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 7/5/06 BY: Courtey Allen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

H-14/D1B

PROJECT TITLE: Associated Builders & Contractors ZONE MAP/DRG. FILE #: H-15
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tracts M and L Gateway Industrial Park
CITY ADDRESS: 2851 Broadway

ENGINEERING FIRM: Claudio Vigil Architects
ADDRESS: 1801 Rio Grande Blvd.
CITY, STATE: Albuquerque NM
CONTACT: Phil Robinson
PHONE: 842-1113
ZIP CODE: 87109

OWNER: Associated Builders & Contractors
ADDRESS: 3540 Pan American Fwy. NE Ste. F
CITY, STATE: Albuquerque NM 87107
CONTACT: Dawn Malson
PHONE: _____
ZIP CODE: 87107

ARCHITECT: Claudio Vigil Architects
ADDRESS: See above
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☒ ~~CONCEPTUAL G & D PLAN~~
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S/ARCHITECT'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☒ ~~S. DEV. FOR BLDG. PERMIT APPROVAL~~
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

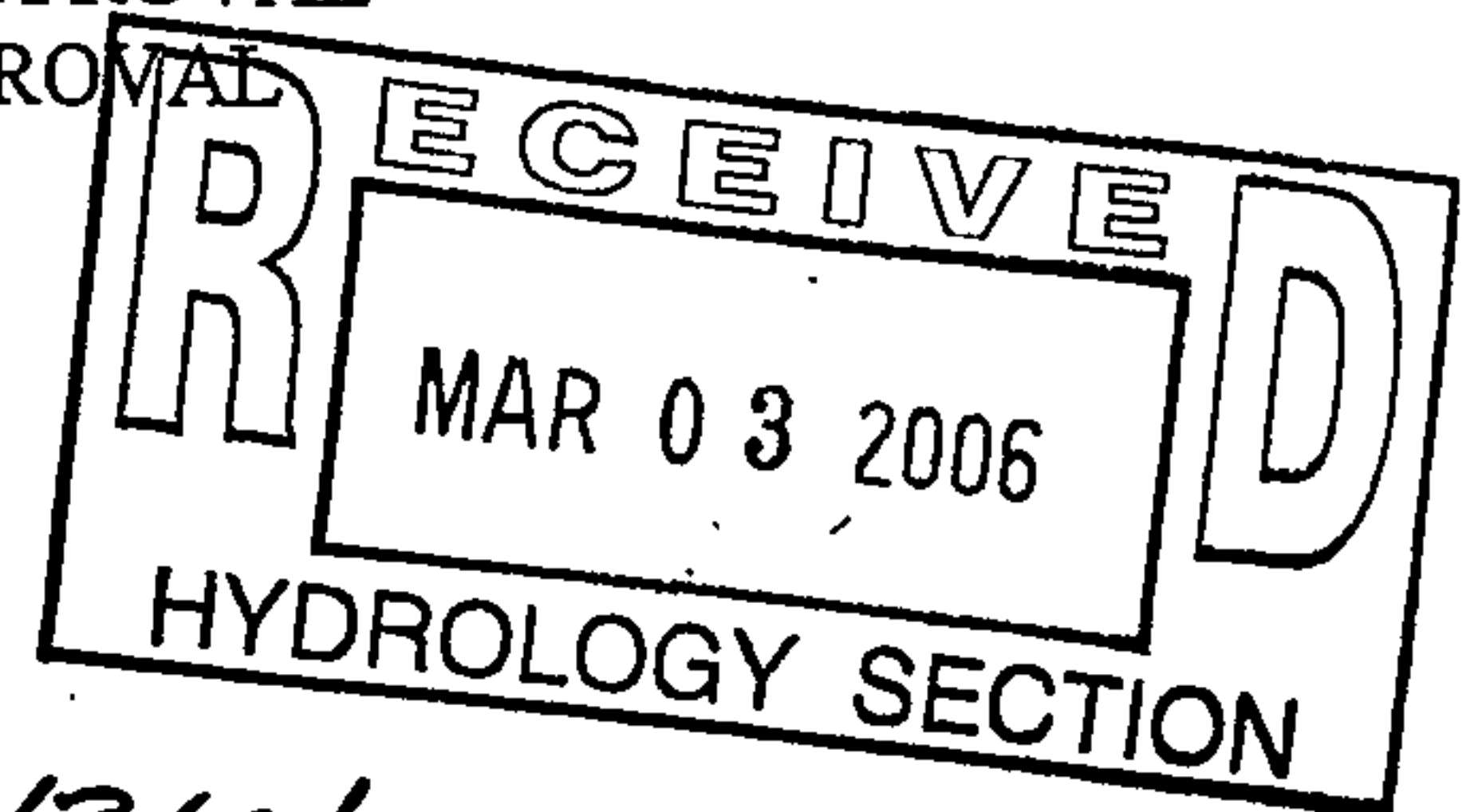
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

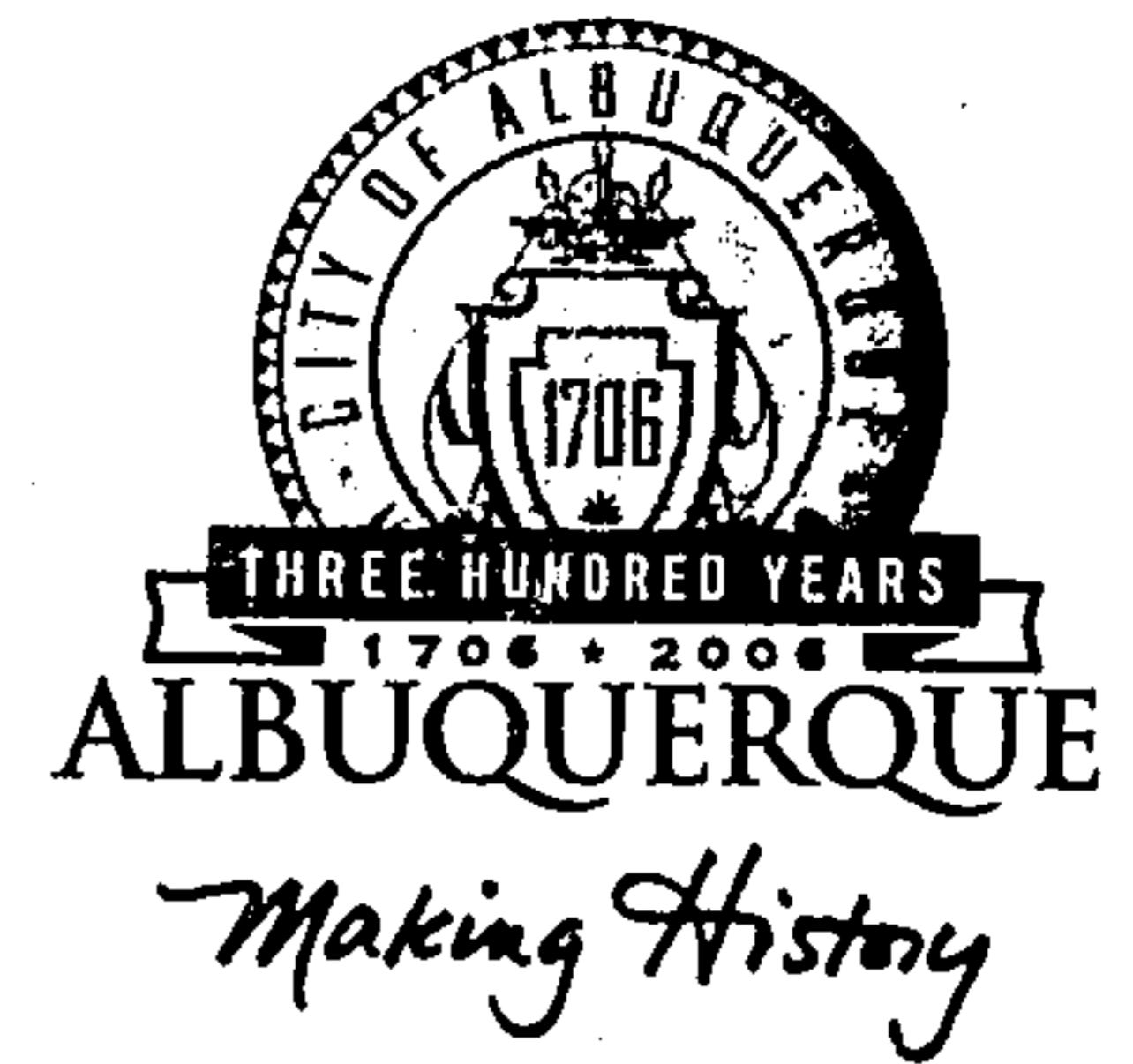
SUBMITTED BY: Phil Robinson DATE: 3/3/06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



April 12, 2006

John Arthur Blessen, P.E.
Claudio Vigil Architects
1801 Rio Grande Blvd. NW
Albuquerque, NM 87104

**Re: Associated Builders and Contractors Rio Grande Chapter, 2851
Broadway Boulevard NE, Site Development Plan
Engineer's Stamp dated 3-03-06 (H14-D1B)**

Dear Mr. Blessen,

Based upon the information provided in your submittal received 3-03-06, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. However, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Provide a copy of the replat of these lots. Our current records show a 20' private access easement located on Tract M.
2. Include a detail for the existing drainage channel.
3. The master plan specifies that discharge from Tract L is to be conveyed in a western direction, where it will be intercepted by the drainage swale and directed to the existing inlet on Tract I. Tract M is to free discharge to Claremont Avenue. Do you intend to change the master plan?
4. What is shown approximately 30 feet south of the northern property line? Is this a wall? Please define this item on the legend.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File