

CITY OF ALBUQUERQUE



June 13, 2013

Åsa Nilsson-Weber , PE
Isaacson & Arfman, PA
128 Monroe St NE
Albuquerque, NM 87108

Re: Salt Storage Building, 1820 Broadway NW
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 5-24-11, (H14/D014)
Certification dated: 6-11-13

Dear Ms. Nilsson-Weber,

Based upon the information provided in the Certification received 06-11-13, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: ccherne@cabq.gov or tsims@cabq.gov.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Albuquerque

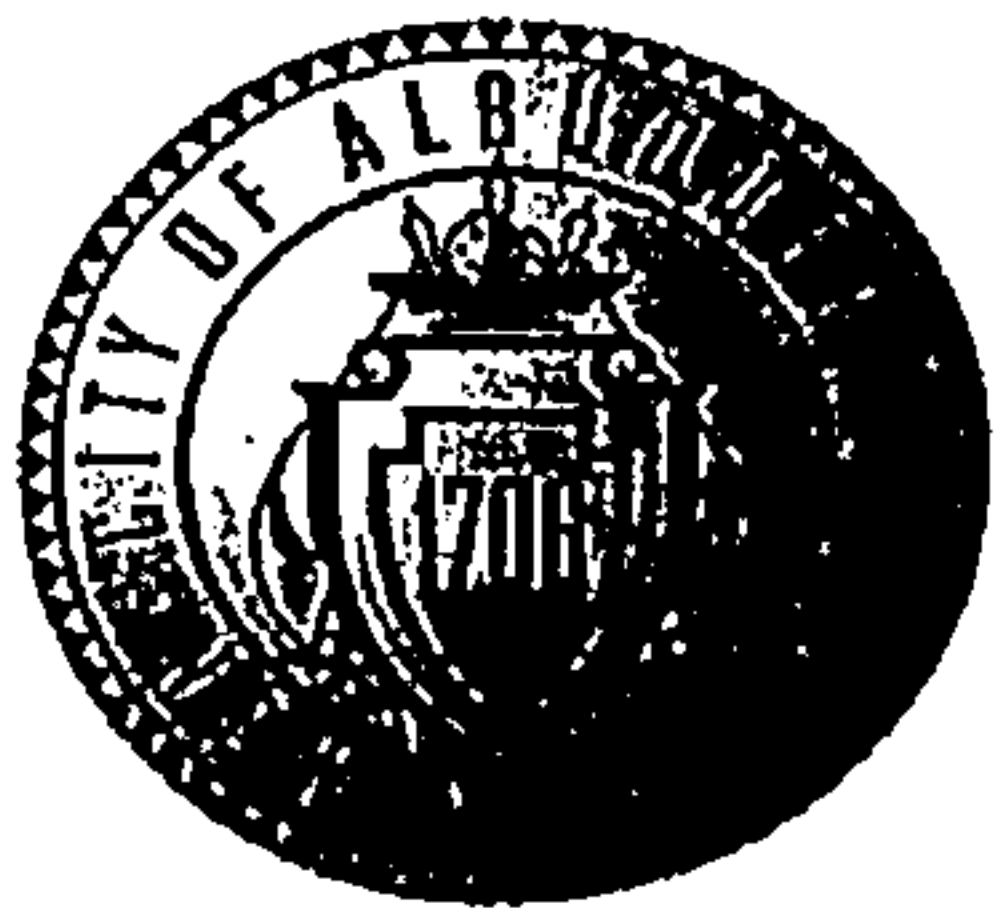
Sincerely,

New Mexico 87103

Curtis A. Cherne, P.E.
Principal Engineer—Hydrology Section
Development and Building Services

www.cabq.gov

RR/CC
C: CO Clerk—Katrina Sigala
e-mail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Salt Storage Building (City of Albuquerque) Building Permit #: _____ City Drainage #: H14/D014
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Map 36, Tract 6A & Map 37, Tract 194A14
City Address: 1820 Broadway Blvd. NE, Albuquerque, NM 87102

Engineering Firm: Isaacson & Arfman, P.A. Contact: Asa Nilsson-Weber
Address: 128 Monroe Street NE, Albuquerque, NM 87108
Phone#: 268-8828 Fax#: N/A E-mail: asaw@iacivil.com

Owner: City of Albuquerque Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: Greer-Stafford, SJCF Contact: Sergio Mesa
Address: 1717 Louisiana Blvd. NE, Suite 205, Albuquerque, NM 87110
Phone#: 821-0348 Fax#: _____ E-mail: _____

Surveyor: As-Built Survey by Wayjohn Surveying, Inc. Contact: Thomas Johnston
Address: 330 Louisiana Blvd. NE, Albuquerque, NM 87108
Phone#: 255-2052 Fax#: _____ E-mail: _____

Contractor: JANSEN BUILDERS, Inc Contact: A. JANSEN
Address: 4811 KARLAWALK DR. NE E-6
Phone#: _____ Fax#: _____ E-mail: ajansen@jbicompanies.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

RECEIVED
JUN 11 2013

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

DATE SUBMITTED: June 11, 2013

By: Asa Nilsson-Weber PE
Yes ☒ No ☐ Copy Provided

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Sims, Timothy E.

From: Steven Alano [salano@greer-stafford.com]
Sent: Wednesday, October 19, 2011 12:16 PM
To: Sims, Timothy E.
Subject: Salt Storage Building TCL Submittal

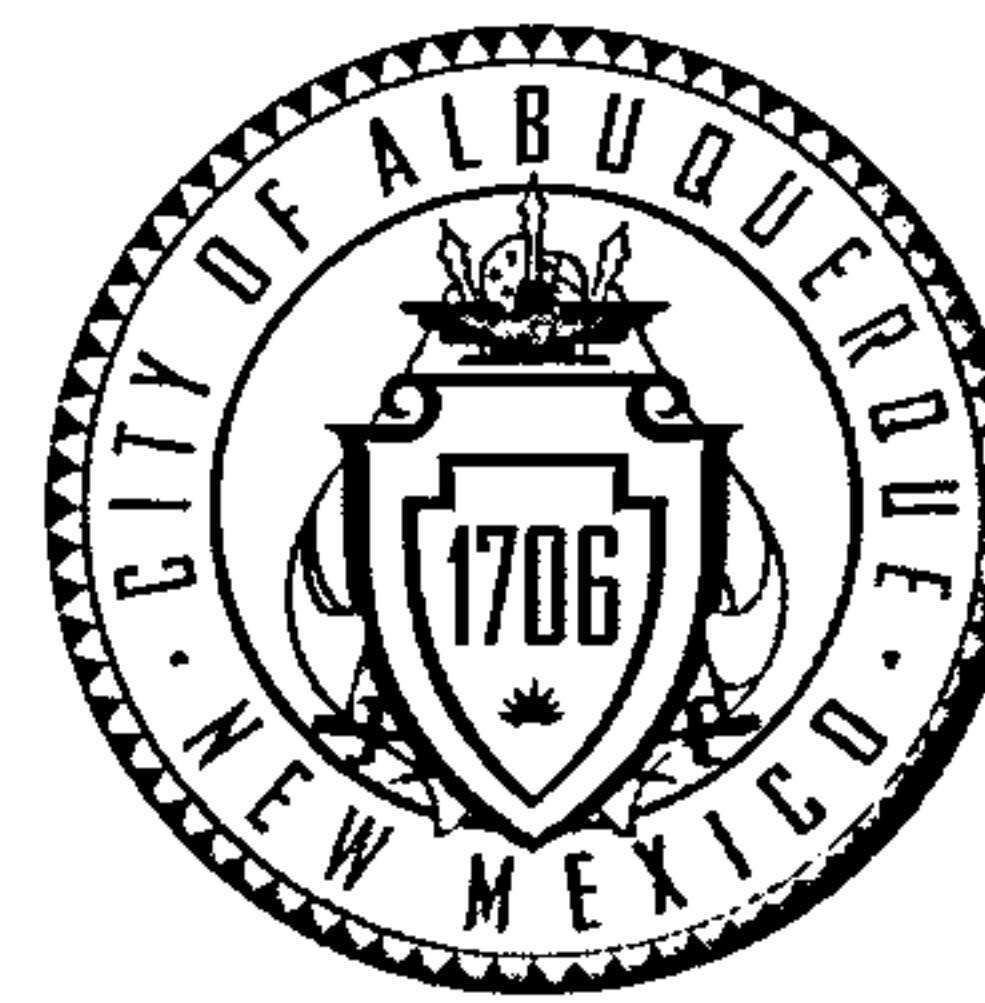
Tim,

I stopped by the building development department this morning to submit the additional sheets for the Salt Storage Building TCL as you requested in our telephone conversation yesterday. You were out of the office in the field, so I left them with a new information sheet for you. Please let me know when the final review and approval from Kristal Metro is complete and I will run by planning again to pick up the approval letter and sheets. I will be out of the office for the rest of the day, but can be reached on my cell phone, 505.577.6201, if needed. Please let me know if you have any questions. Thanks.

Steven Alano
Intern Architect

Greer Stafford / SJCF, Inc.

CITY OF ALBUQUERQUE



June 13, 2013

Åsa Nilsson-Weber , PE
Isaacson & Arfman, PA
128 Monroe St NE
Albuquerque, NM 87108

Re: Salt Storage Building, 1815 Broadway NW
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 5-24-11, (H14/D014)
Certification dated: 6-11-13

Dear Ms. Nilsson-Weber,

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PO Box 1293

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Albuquerque

Sincerely,

Curtis A. Cherne, P.E.
Principal Engineer—Hydrology Section
Development and Building Services

New Mexico 87103

www.cabq.gov

RR/CC
C: CO Clerk—Katrina Sigala
e-mail

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 14, 2013

Christopher Rasmussen, R.A.
Greer Stafford SJCF Architecture, Inc.
1717 Louisiana NE, Ste. 205
Albuquerque, NM 87110-7027

Re: Certification Submittal for Certificate of Occupancy for
COA – Salt Storage Building (H14/D014)
1815 Broadway Blvd. NE
Architect's Stamp dated 06-13-13

Dear Mr. Rasmussen,

Based upon the information provided in your submittal received 06-13-13, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at (505)924-3630.

Albuquerque

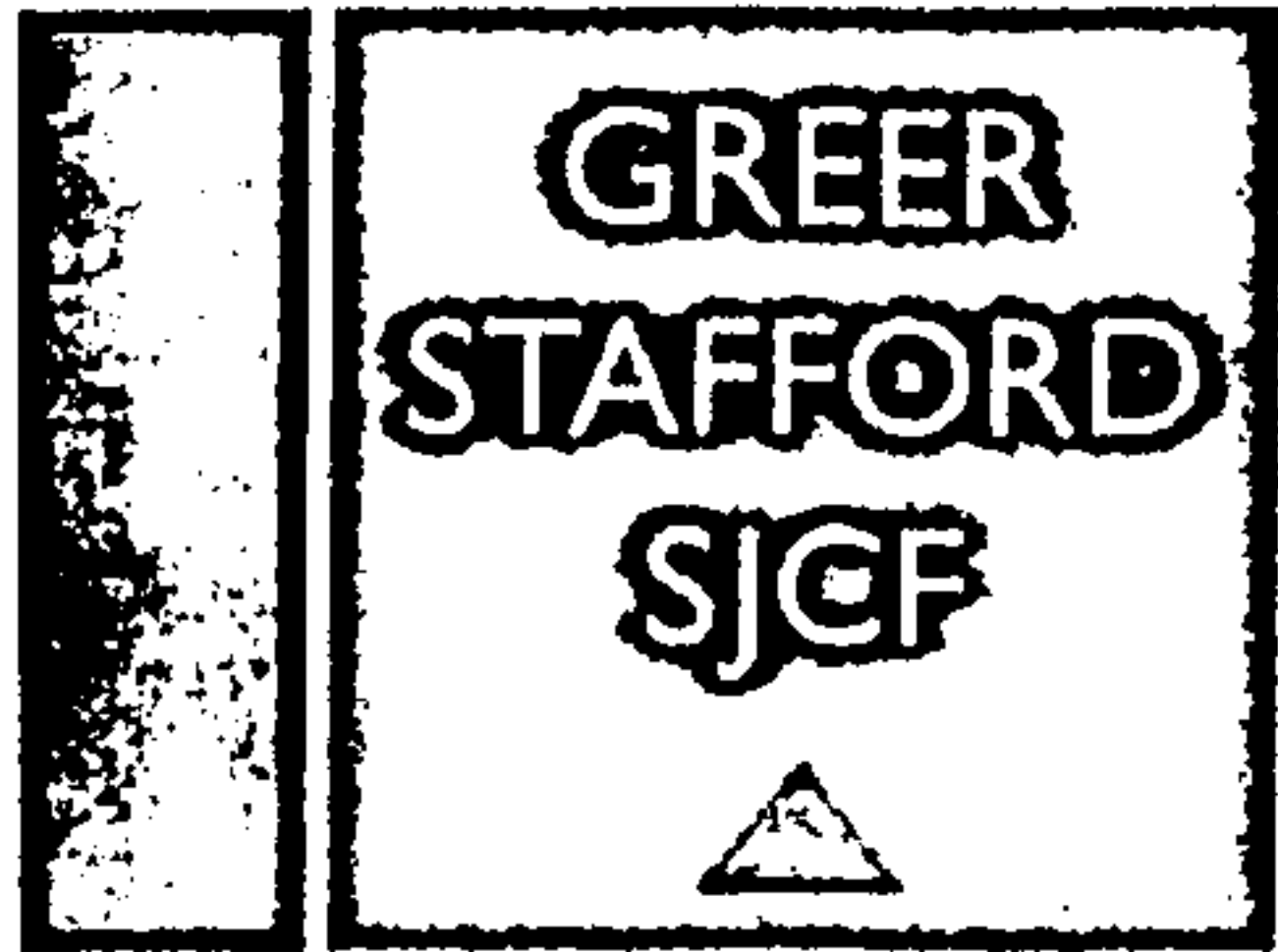
Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: File
Engineer
CO Clerk



ARCHITECTURE
1717 LOUISIANA NE
SUITE 205
ALBUQUERQUE, NM
87110-7027

PH. 505.821.0235
FAX 505.821.0348
GREER-STAFFORD.COM

3005 NORTHRIDGE DR
SUITE F
FARMINGTON, NM
87401-2085
PH. 505.325.7475
FAX 505.325.6464

PRINCIPALS
SCOTT W. STAFFORD
CHRIS K. RASMUSSEN
MICHAEL J. HEITMAN
MARILYN K. STRUBE
CHRIS VAN DYCK

ASSOCIATES
RICHARD PAGE
SERGIO A. MEZA
E. AILENE O'BYRNE
STEPHEN WILLIAMS

June 13, 2013

COA Transportation Development Department
600 Second Street NW
Albuquerque, NM 87102

Re: COA - Salt Storage Building
1815 Broadway Blvd. NE
Albuquerque, NM 87102

To whom it may concern:

I, Christopher K. Rasmussen, NMRA of the firm Greer Stafford / SJCF Architecture, Inc., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA or TCL approved plan dated as follows: Issued date - 5/19/11 / Addendum 1 - 9/20/11 / Approved by the City of Albuquerque date - 10/19/11. The record information edited onto the original design document has been obtained by Christopher K. Rasmussen of the firm Greer Stafford SJCF, Inc. I further certify that I have personally visited the project site on June 6, 2013 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

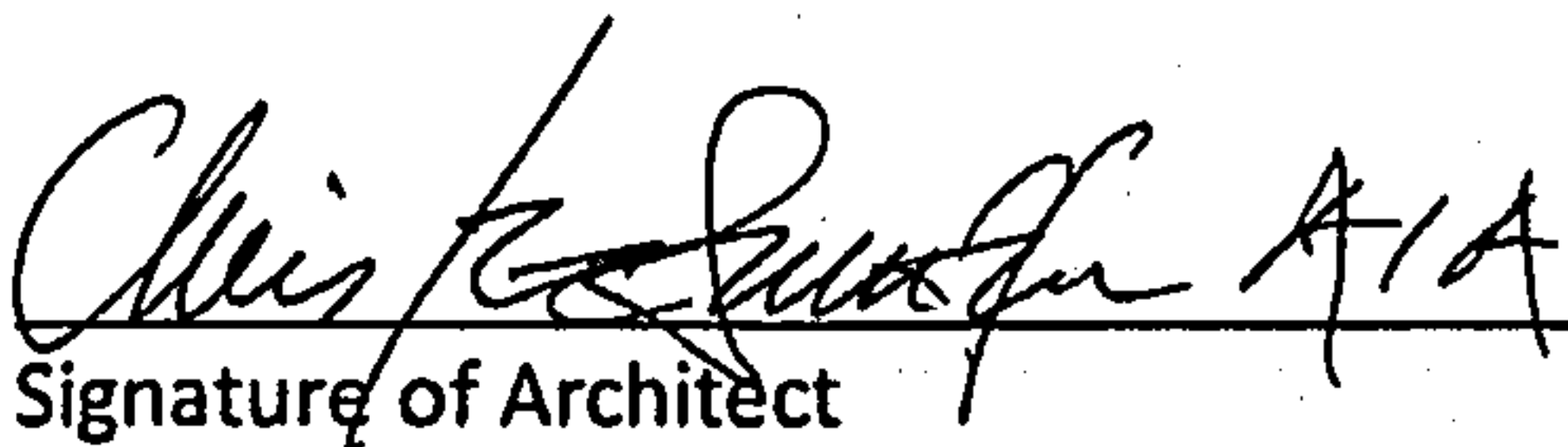
(Describe any exceptions and/or qualifications here in a separate paragraph.)

None

(Describe any deficiencies and/or required corrections here in a separate paragraph.)

None

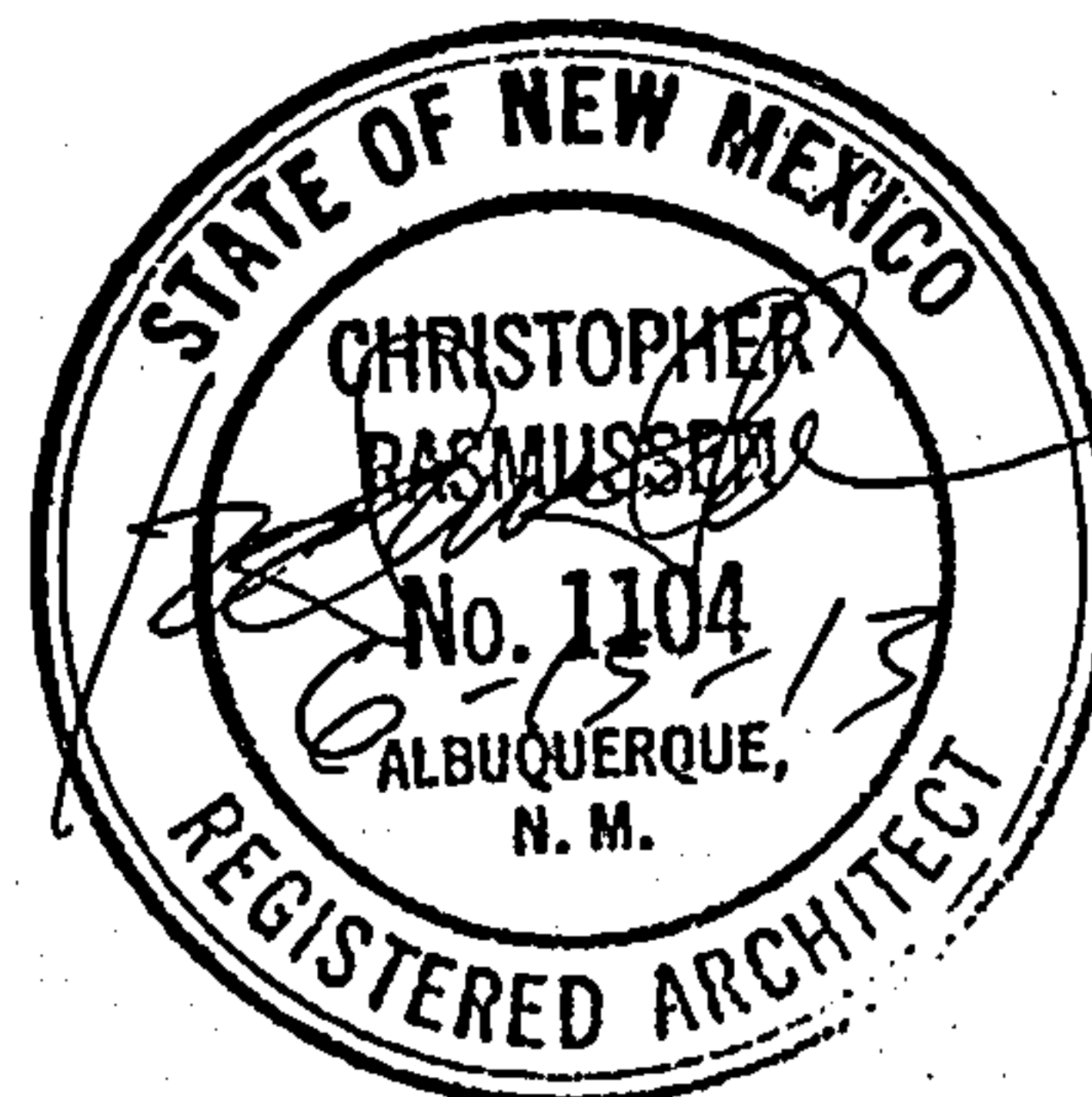
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.


Signature of Architect

Architect's Stamp

6-13-13

Date



Rec
6-13-13

GREER STAFFORD / SJCF, INC.

CITY OF ALBUQUERQUE



October 18, 2011

Scott W. Stafford, R.A.
Greer Stafford/ SJCF Inc.
1717 Louisiana NE Ste. 205
Albuquerque, NM 87110-7027

Re: Salt Storage Building, 1815 Broadway Blvd. NE,
Traffic Circulation Layout
Architect's Stamp dated 05-19-11 (H14-D014)

Dear Mr. Stafford,

The TCL submittal received 10-18-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Salt Storage Building ZONE MAP: H14/2014.
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Map 36 TR 6A & Map 37 TR 194A14 CONT 2.18 AC
CITY ADDRESS: 1815 Broadway Blvd NE

ENGINEERING FIRM: Isaacson & Afman, PA CONTACT: Asa Nilsson
ADDRESS: 128 Monroe St NE PHONE: 268-8828
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: City of Albuquerque – Street Maintenance CONTACT: Wilfred Gallegos
ADDRESS: 1815 Broadway Blvd NE PHONE: 857-8053
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

ARCHITECT: Greer Stafford / SJCF, Inc. CONTACT: Steven Alano
ADDRESS: 1717 Louisiana NE, Suite 205 PHONE: 821-0235
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

SURVEYOR: Owner CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: TBD by Bid CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

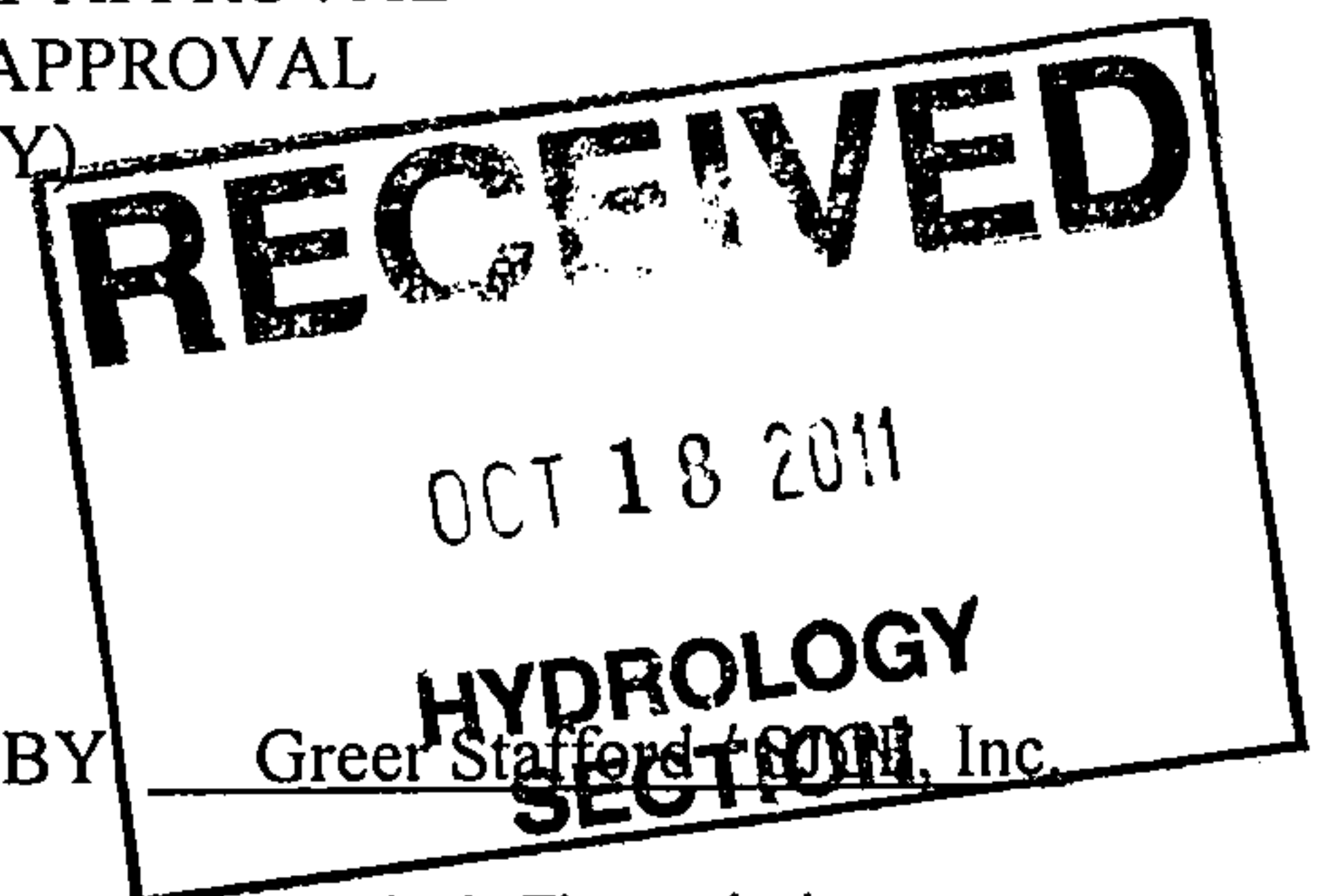
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
☐ DRAINAGE REPORT	☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ DRAINAGE PLAN 1 st SUBMITTAL	☐ PRELIMINARY PLAT APPROVAL
☐ DRAINAGE PLAN RESUBMITTAL	☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ CONCEPTUAL G & D PLAN	☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ GRADING PLAN	☐ SECTOR PLAN APPROVAL
☐ EROSION CONTROL PLAN	☐ FINAL PLAT APPROVAL
☐ ENGINEER'S CERT (HYDROLOGY)	☐ FOUNDATION PERMIT APPROVAL
☐ CLOMR/LOMR	☒ BUILDING PERMIT APPROVAL
☒ TRAFFIC CIRCULATION LAYOUT	☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ ENGINEER'S CERT (TCL)	☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ ENGINEER'S CERT (DRB SITE PLAN)	☐ GRADING PERMIT APPROVAL
☐ OTHER (SPECIFY)	☐ PAVING PERMIT APPROVAL
	☐ WORK ORDER APPROVAL
	☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: _____ BY Greer Stafford / SJCF, Inc.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



June 14, 2011

ASA M. Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

Re: Salt Storage Building, 1820 Broadway Blvd. NE
Grading and Drainage Plan
Engineer's Stamp date 5-24-11 (H14/D014)

Dear Mrs. Nilsson-Weber,

Based upon the information provided in your submittal received 5-24-11, the above referenced plan is approved for Building Permit and Grading Permit.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis A. Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: SALT STORAGE BUILDING (City of Albuq.) ZONE MAP/DRG.FILE# H-14 1004
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: MAP 36, TR 6A & MAP 37, TR 194A14
CITY ADDRESS: 1820 BROADWAY BLVD, NE ALBUQUERQUE, NM 87102

ENGINEERING FIRM: ISAACSON AND ARFMAN
ADDRESS: 128 MONROE N.E.
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Åsa Nilsson-Weber
PHONE: 268-8828
ZIP CODE: 87108

OWNER: City of Albuquerque
ADDRESS: _____
CITY, STATE: _____

CONTACT: Wilfred Gallegos
PHONE: _____
ZIP CODE: _____

ARCHITECT: Greer-Stafford, SJCF
ADDRESS: 1717 Louisiana NE, Ste 205
CITY, STATE: Albuquerque, NM

CONTACT: Steven Alano
PHONE: 505-821-0348
ZIP CODE: 87110

SURVEYOR: Survey provided by City of Albuquerque
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

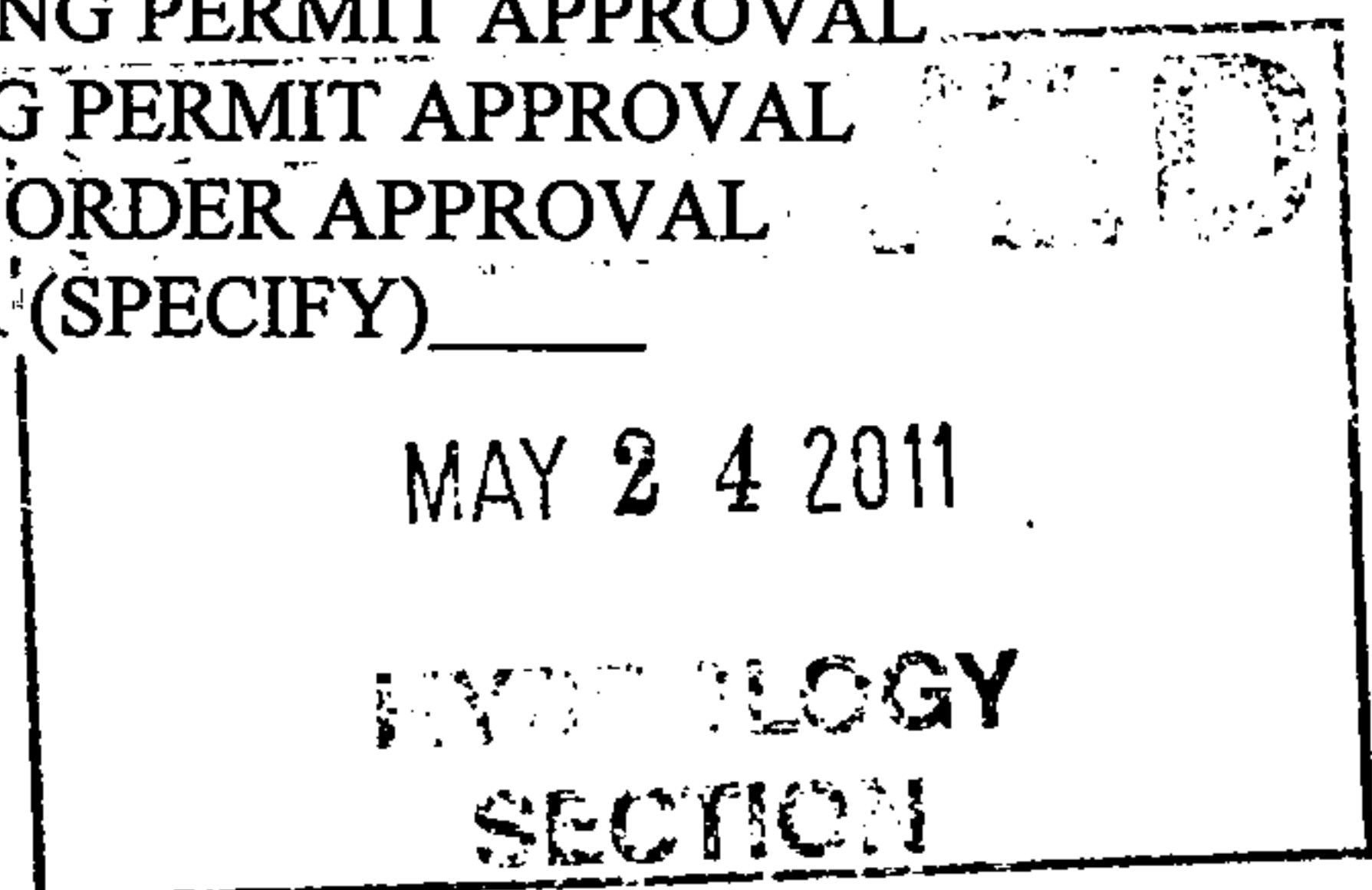
- ☐ YES
☒ NO
☐ COPY PROVIDED

SUBMITTED BY: Åsa Nilsson-Weber
Isaacson & Arfman, P.A.

DATE: 5-24-11

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Letter of Transmittal



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108

To: City of Albuquerque

Date: 5-24-11

Job No. 1816

Attn: Curtis Cherne

Reference: COA Salt Storage Building - #14/D014

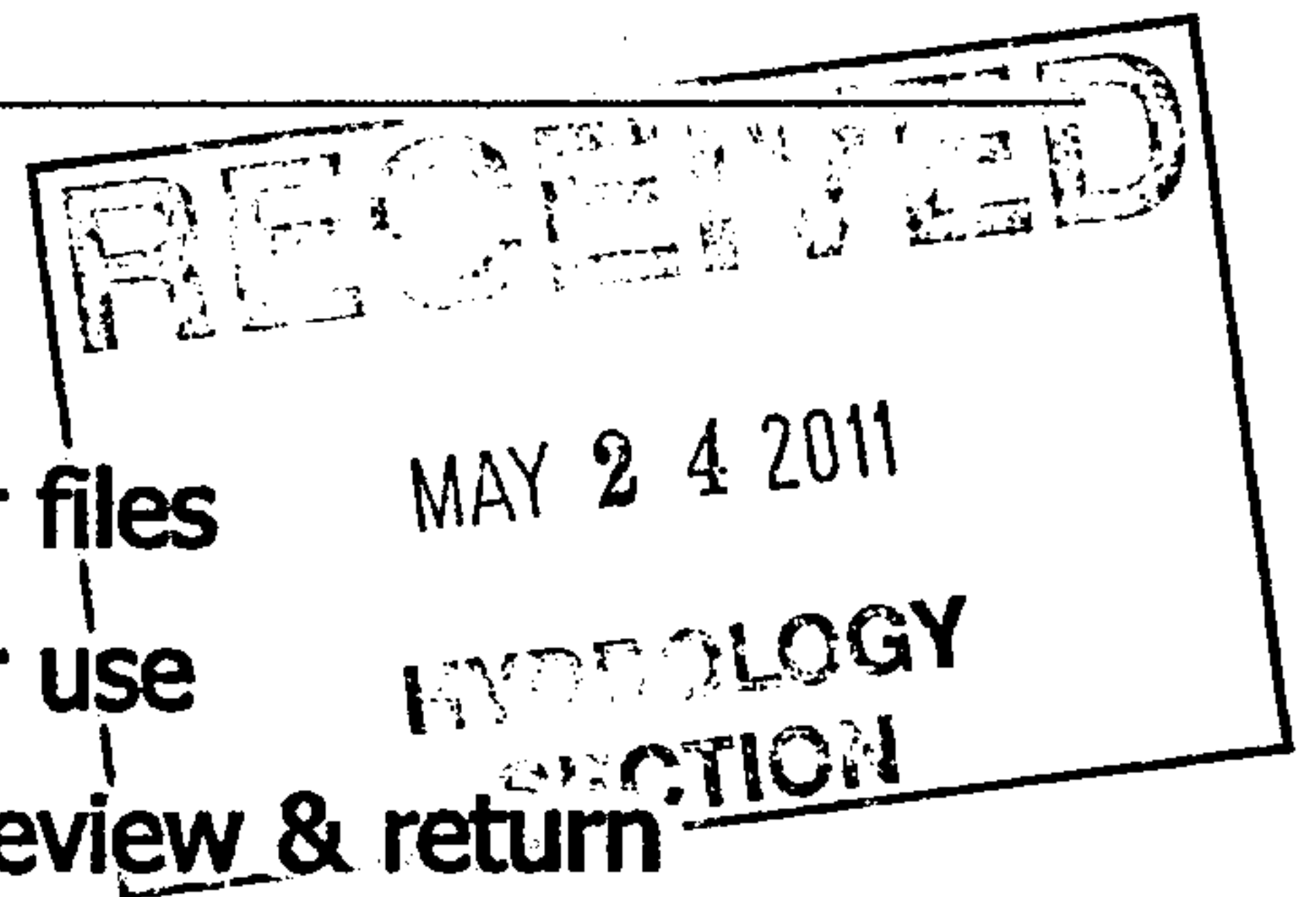
We transmit to you 1 copy(ies) of the following:

- | | |
|---|---|
| ☐ _____ Plats | ☐ Specifications |
| ☒ <u>Rev. Grading</u> Plans | ☐ Submittals |
| ☐ _____ Disks | ☐ Shop Drawings |
| ☐ _____ Report | ☐ Copy of Letter |
| ☐ _____ | |
| ☐ _____ | |

This information is transmitted:

- | |
|--|
| ☐ As per your request |
| ☒ For your review & approval |
| ☐ For your information |
| ☐ For your attention |
| ☐ For your signature |
| ☐ _____ |
| ☐ _____ |

- | |
|---|
| ☐ For your files |
| ☐ For your use |
| ☐ Please review & return |
| ☐ For return to your files |
| ☐ Please advise |



Remarks: Per your comments dated 5-23-11 (attached):
- Drainage Calculations included
- Min. depth of 6" in water harvesting
areas called out in Note 9.

By: Asa Nilsson-Weber

Copies to: file

CITY OF ALBUQUERQUE



May 23, 2011

ASA M. Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

Re: Salt Storage Building, 1820 Broadway Blvd. NE
Grading and Drainage Plan
Engineer's Stamp date 5-13-11 (H14/D014)

Dear Mrs. Nilsson-Weber,

Based upon the information provided in your submittal received 5-16-11, the above referenced plan cannot be approved for Building Permit or Grading Permit until the following comments are addressed.

PO Box 1293

- What is the difference between historic flows and proposed flows?
- Provide a minimum depth for the ponds in the notes.

Albuquerque

If you have any questions, you can contact me at 924-3986.

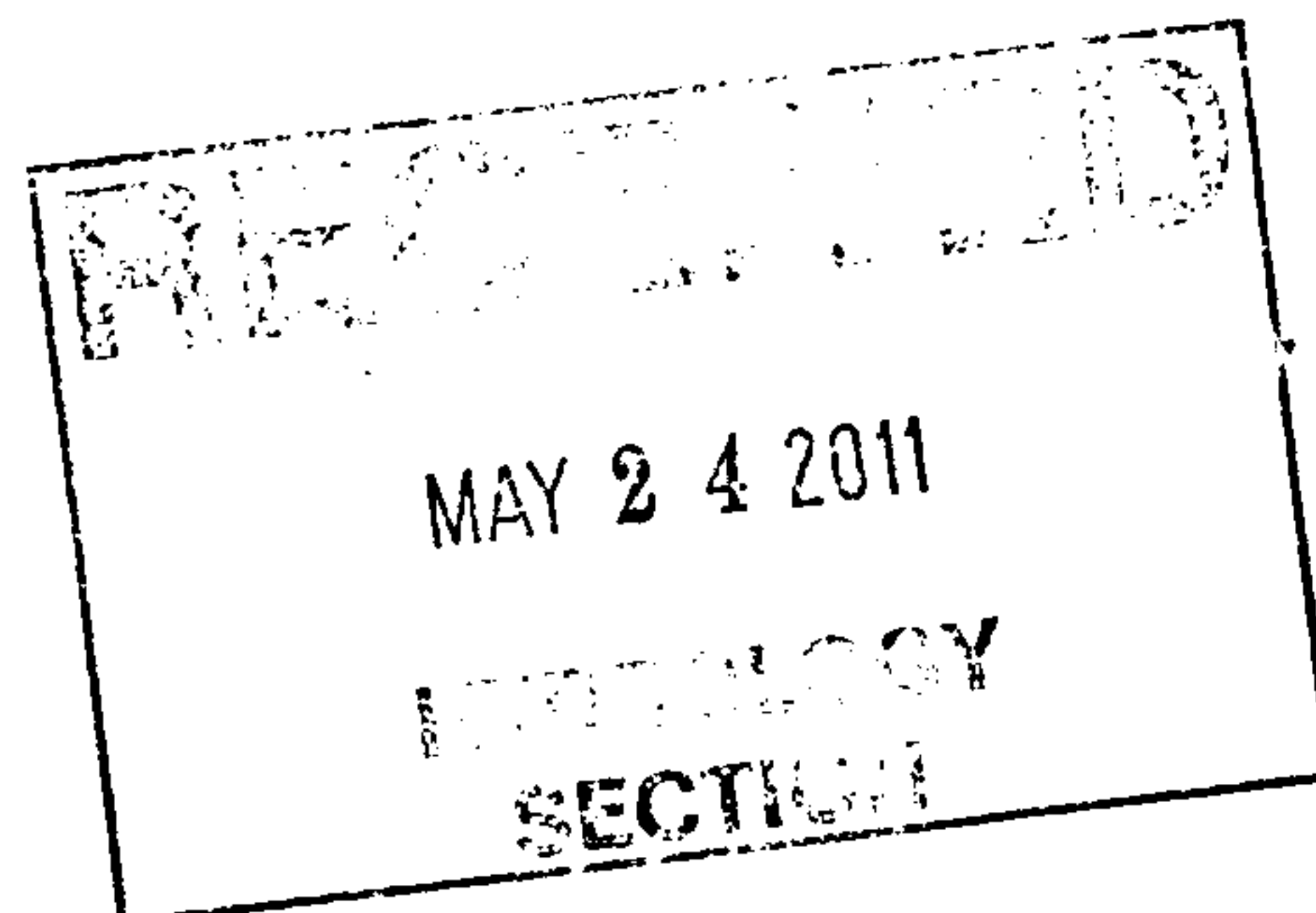
NM 87103

Sincerely,

www.cabq.gov

Curtis A. Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

C: file



CITY OF ALBUQUERQUE



May 23, 2011

ASA M. Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
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Albuquerque

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NM 87103

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Curtis A. Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: SALT STORAGE BUILDING (City of Albuquerque) ZONE MAP/DRG.FILE# H-14 / 14 / 2011
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: MAP 36, TR 6A & MAP 37, TR 194A14
CITY ADDRESS: 1820 BROADWAY BLVD, NE ALBUQUERQUE, NM 87102

ENGINEERING FIRM: ISAACSON AND ARFMAN
ADDRESS: 128 MONROE N.E.
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Asa Nilsson-Weber
PHONE: 268-8828
ZIP CODE: 87108

OWNER: City of Albuquerque
ADDRESS: _____
CITY, STATE: _____

CONTACT: Wilfred Gallegos
PHONE: _____
ZIP CODE: _____

ARCHITECT: Greer-Stafford, SJCF
ADDRESS: 1717 Louisiana NE, Ste 205
CITY, STATE: Albuquerque, NM

CONTACT: Steven Alano
PHONE: 505-821-0348
ZIP CODE: 87110

SURVEYOR: Survey provided by City of Albuquerque
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ RELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ UNDAATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CRTIFICATE OF OCCUPANCY (PERM)
- ☐ CRTIFICATE OF OCCUPANCY (TEMP)
- ☒ GADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

SUBMITTED BY: Asa Nilsson-Weber
Isaacson & Arfman, P.A.

DATE: 5-13-11

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

