

CITY OF ALBUQUERQUE



Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

August 15, 2025

Ronald Bohannon, P.E
Tierra West
5571 Midway Park Pl. NE
Albuquerque, NM 87110

Re: Loves Building Expansion
2200 6th St. NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 10-22-24 (H14-D025)
Certification dated 08-08-2025
TRANS-2025-00218

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 08-13-25, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per ADA city requirements, the pathway around any obstacle on the sidewalk (off Cutler Ave.) must be minimum 4 ft. However, per site visit the distance between the power pole and the bollard was 33 in. Please adjust the layout to meet the city standard.



CITY OF ALBUQUERQUE



Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

- Per the City requirements, "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter."



PO Box 1293

Albuquerque

NM 87103

- Per approved site plan, please provide an ADA ramp. The existing ramp does not meet ADA city standard.
- The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

www.cabq.gov



CITY OF ALBUQUERQUE



Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

Once these corrections are complete, email pictures to malnajjar@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

August 1, 2025

Marwa Al-najjar
Development Review Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: APPROVED SITE TRAFFIC CIRCULATION LAYOUT
REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY
LOVE'S ALBUQUERQUE NEW MEXICO
2200 6TH ST. NW, ALBUQUERQUE, NM 87102**

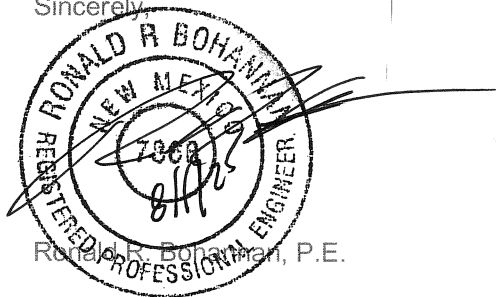
I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Traffic Circulation Layout for issuance of a Permanent Certificate of Occupancy for the project referenced above. This project area as highlighted on the attached site plan is in substantial compliance as inspected on August 1st, 2025, and is in general accordance with the design intent of the Approved Traffic Circulation Layout 10/31/24.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the as-built Approved Traffic Circulation Layout, Therefore, we request approval of the as-built Approved Traffic Circulation Layout and issuance of the Permanent Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



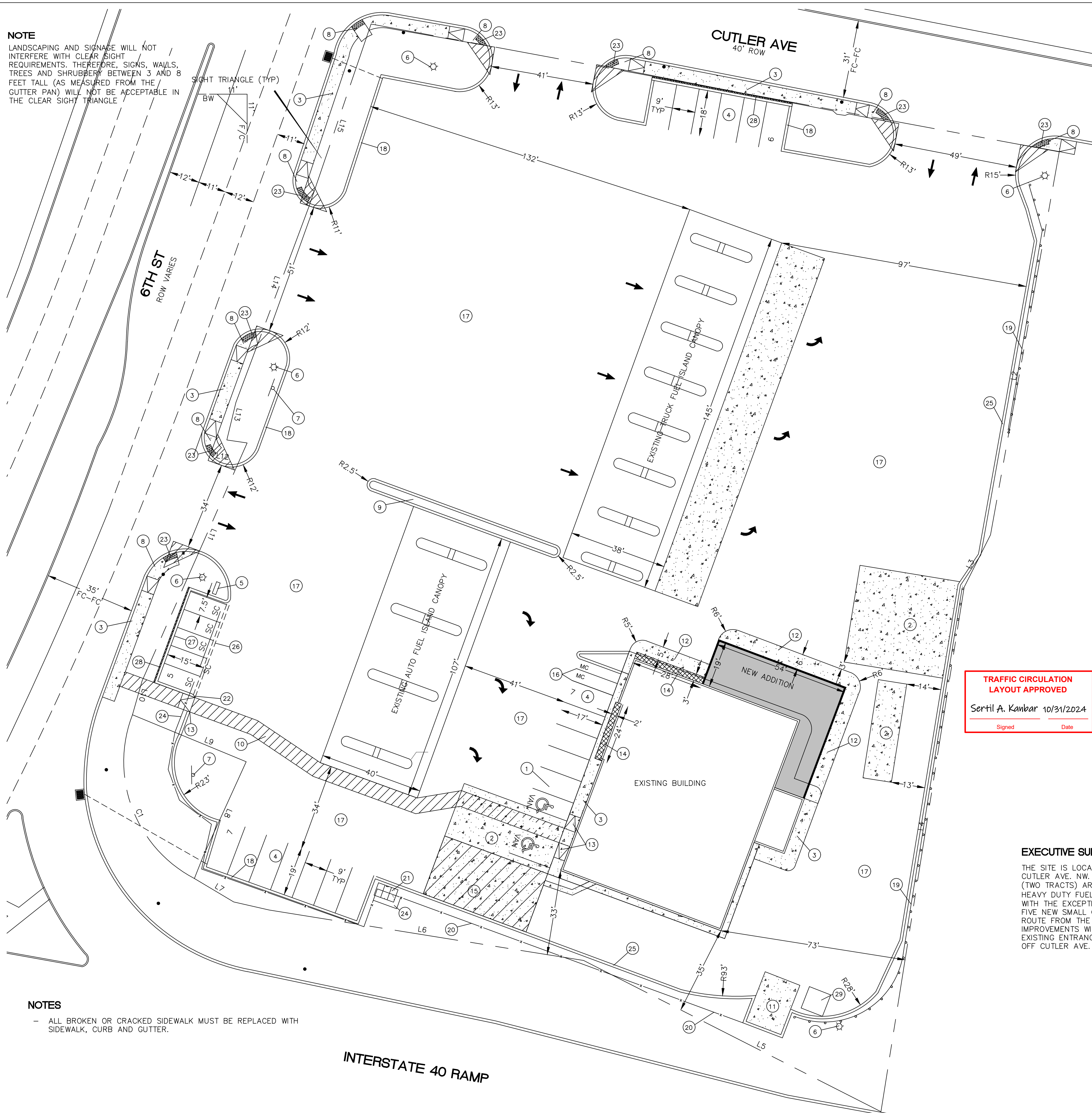
Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2024072
RRB/VC/DS/AC

2024072 Approved Traffic Circulation Layout Submittal Letter 8-01-25-.docx

NOTE
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WAJLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE



NOTES
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB AND GUTTER.

LINE TABLE

LINE	BEARING	LENGTH
L1	N78°56'34"W	116.81
L2	N10°10'10"E	152.74
L3	N26°45'35"E	22.99
L4	N9°00'40"E	208.46
L5	S63°02'47"E	130.93
L6	S80°52'37"E	124.98
L7	S59°12'51"E	18.00
L8	S24°28'12"W	40.71
L9	S67°33'34"E	48.29
L10	S15°53'56"W	13.80
L11	S23°49'19"W	102.12
L12	S81°41'48"E	8.06
L13	S13°33'59"W	15.18
L14	S20°27'11"W	82.23
L15	S18°46'48"W	75.50

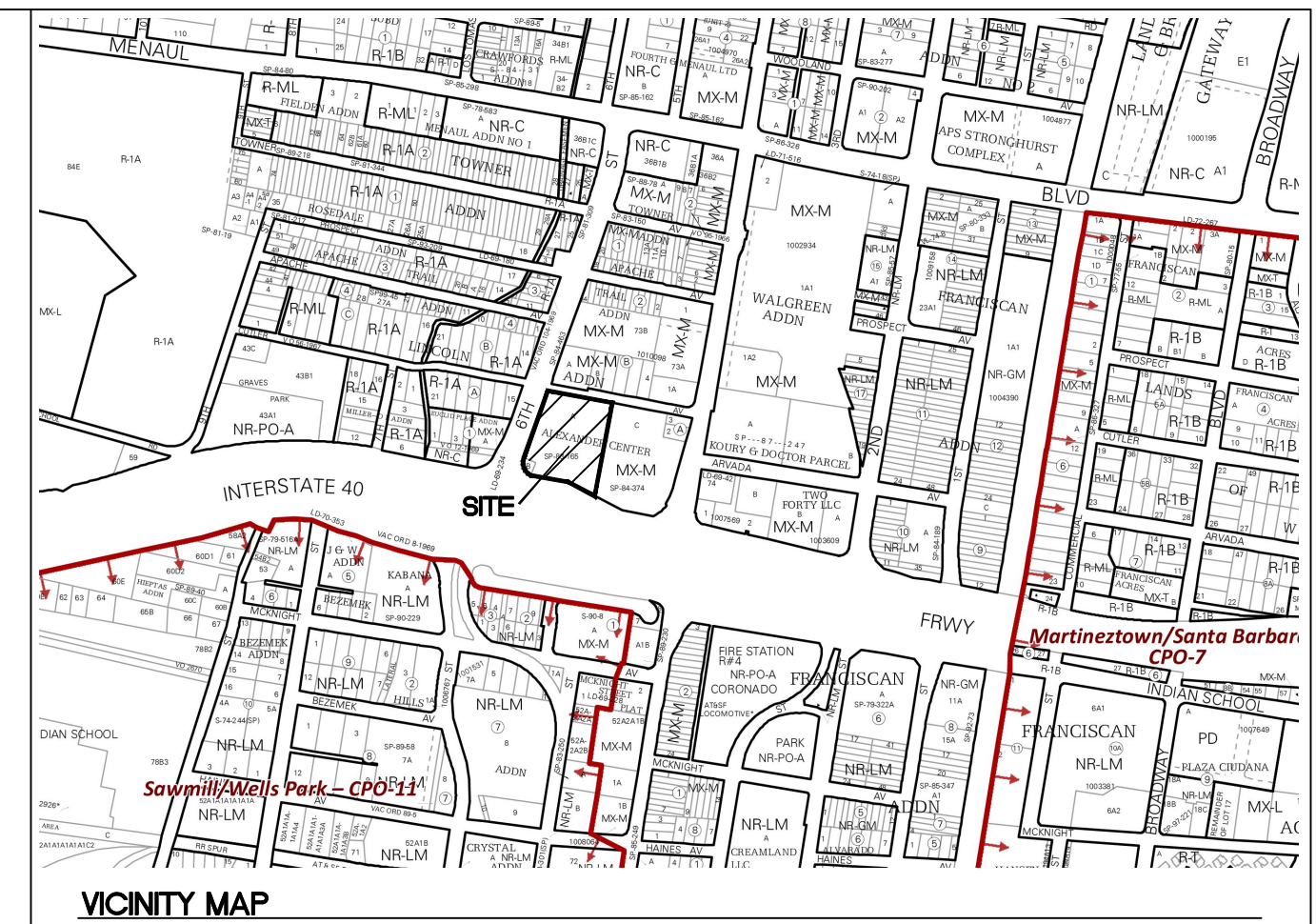
CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH
C1	83°17'43"	51.69	75.14

- KEYED NOTES**
- EXISTING ACCESSIBLE PARKING
 - UNDERGROUND FUEL TANKS/CONCRETE
 - EXISTING SIDEWALK
 - EXISTING PARKING
 - EXISTING MONUMENT SIGN
 - EXISTING SITE LIGHTING
 - EXISTING PEDESTAL SIGN
 - EXISTING ACCESSIBLE RAMP
 - EXISTING 5' WIDE ISLAND
 - 6' PEDESTRIAN ACCESS
 - ENCLOSURE TO BE MODIFIED TO MEET COA STANDARDS. SEE DETAIL ON SHEET DET-1.
 - NEW 5' CONCRETE SIDEWALK PER COA DWG 2430
 - NEW UNIDIRECTIONAL RAMP
 - NEW BUILDING ELEVATION ADDITION
 - EXISTING LOADING ZONE
 - RESTRIPE TO ACCOMMODATE MOTORCYCLE SPACES W/SIGN
 - EXISTING ASPHALT PAVING
 - EXISTING CURB AND GUTTER
 - EXISTING GUARD RAIL
 - EXISTING WROUGHT IRON FENCE
 - BICYCLE RACK (3 SPACES)
 - EXISTING WROUGHT IRON FENCE TO BE REMOVED AND REPLACED FOR CONSTRUCTION OF NEW PARKING STALLS
 - NEW TRUNCATED DOME SEE DETAIL SHEET DET-3
 - RELOCATE FENCE
 - EXISTING ASPHALT CURB
 - REMOVE EXISTING CURB AND GUTTER (48.6 LF)
 - NEW 6" CURB AND GUTTER
 - 3 FT. HIGH OPAQUE WALL
 - RECYCLING DUMPSTER

TRAFFIC CIRCULATION LAYOUT APPROVED
 Serfil A. Kanbar 10/31/2024
 Signed _____ Date _____

EXECUTIVE SUMMARY
 THE SITE IS LOCATED IN THE SOUTHEAST QUADRANT OF 6TH STREET AND CUTLER AVE. NW. THE IMPROVEMENTS ON THE 2.41 ACRE PROPERTY (TWO TRACTS) ARE ALL EXISTING INCLUDING A CONVENIENCE STORE, HEAVY DUTY FUELING AND LIGHT DUTY VEHICLE FUELING (BUILT IN 1983) WITH THE EXCEPTION OF THE PROPOSED 1,726 S.F. BUILDING ADDITION, FIVE NEW SMALL CAR PARKING STALLS, AND A PEDESTRIAN ACCESS ROUTE FROM THE BUILDING TO 6TH STREET. ALL OTHER EXISTING IMPROVEMENTS WILL REMAIN AS IS. ACCESS TO THE SITE IS FROM TWO EXISTING ENTRANCES OFF 6TH STREET AND TWO EXISTING ENTRANCES OFF CUTLER AVE.



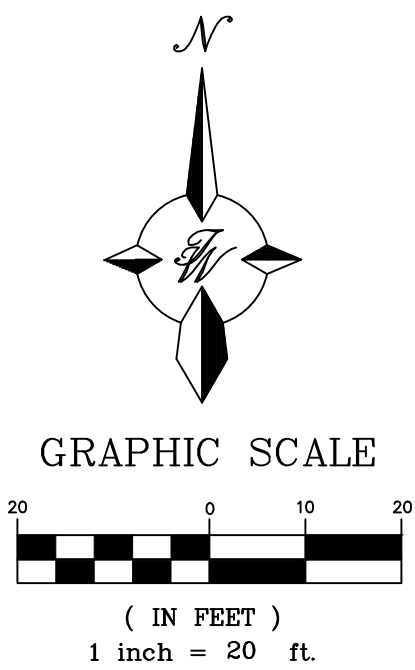
LEGAL DESCRIPTION
 TRACTS A AND B OF TRACTS A AND B ALEXANDER CENTER SITUATE WITHIN SEC 8 TN 10N R3E

SITE DATA

PROPOSED USAGE	C—STORE, VEHICLE FUELING
LOT AREA	104931 SF (2.41 ACRES)
ZONING	MX—M
BUILDING AREA	6269 SF (EXISTING)
BUILDING ADDITION	1726 SF
BUILDING TOTAL	7995 SF
RESTAURANT AREA =	514 SF
BUILDING COVERAGE	7.61%
BUILDING SETBACK	
FRONT	5'
REAR	15'
SIDE	0' SOUTH SIDE, 5' NORTH SIDE
PARKING REQUIRED	4 (8 PER 1000 SF RESTAURANT) 29 (4 PER 1000 SF LIGHT DUTY VEHICLE FUELING)
ACCESSIBLE PARKING REQUIRED	1 SPACES
SHARED PARKING REDUCTION	= 1.3
TOTAL REQUIRED	33 SPACES/1.3 = 25 SPACES
PARKING PROVIDED	23 SPACES (AUTO)
ACCESSIBLE SPACES PROVIDED	2 SPACES (1 VAN ACCESSIBLE)
TOTAL	25 SPACES
BICYCLE SPACES REQUIRED	3 SPACES
BICYCLE SPACES PROVIDED	3 SPACES
MOTORCYCLE SPACES REQUIRED	1 SPACES
MOTORCYCLE SPACES PROVIDED	2 SPACES

LEGEND

	EXISTING CURB & GUTTER
	BOUNDARY LINE
	EXISTING BUILDING
	BUILDING ADDITION
	NEW SIDEWALK
	BUILDING ELEVATION ADDITION
	EXISTING POWER POLE
	EXISTING CHAINLINK FENCE
	EXISTING CONCRETE
	EXISTING GUARDRAIL



	LOVE'S ALBUQUERQUE, NM TRAFFIC CIRCULATION LAYOUT	DRAWN BY pm DATE 10/22/24
		SHEET # TCL-1
RONALD R. BOHANNAN P.E. #7868	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2024072