

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 06, 2024

Donna J. Bohannon
Tierra West LLC
5571 Midway Park Pl., NE
Albuquerque, NM 87109

**RE: Love's Albuquerque - 6th St. and Cutler Ave. NW
Grading and Drainage Plan
Engineer's Stamp Date: 8/29/24
Hydrology File: H14D025**

Dear Mr. Soule:

Based upon the information provided in your submittal received 08/29/2024, the Grading & Drainage Plan is approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please pay the Payment-in-Lieu of \$ **2,132.00** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabq.gov. Once this is received, a receipt will then be produced and email back. Follow the instructions on the bottom of the form and pay it at the Treasury in Plaza de Sol. Once paid, please provide me proof of payment.

NM 87103

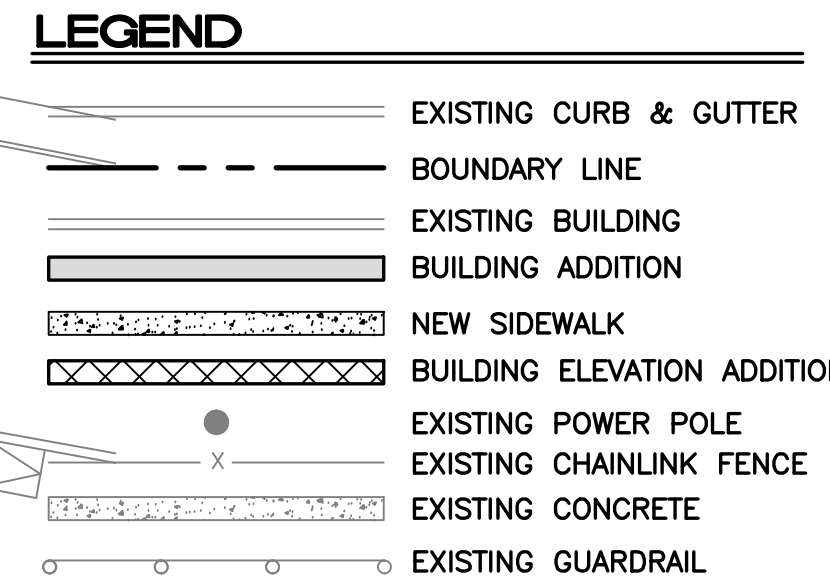
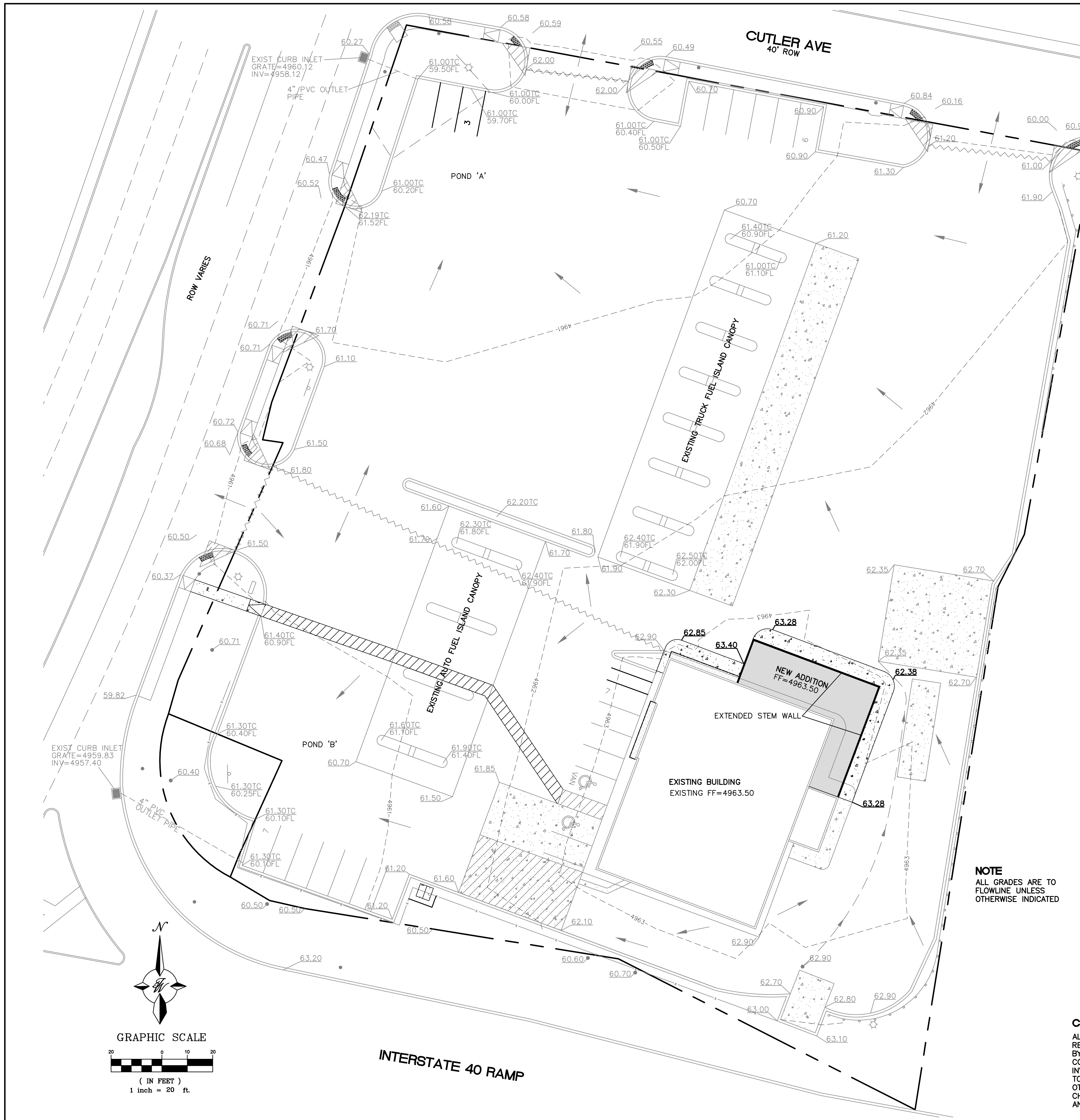
www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3362 or richardmartinez@cabq.gov.

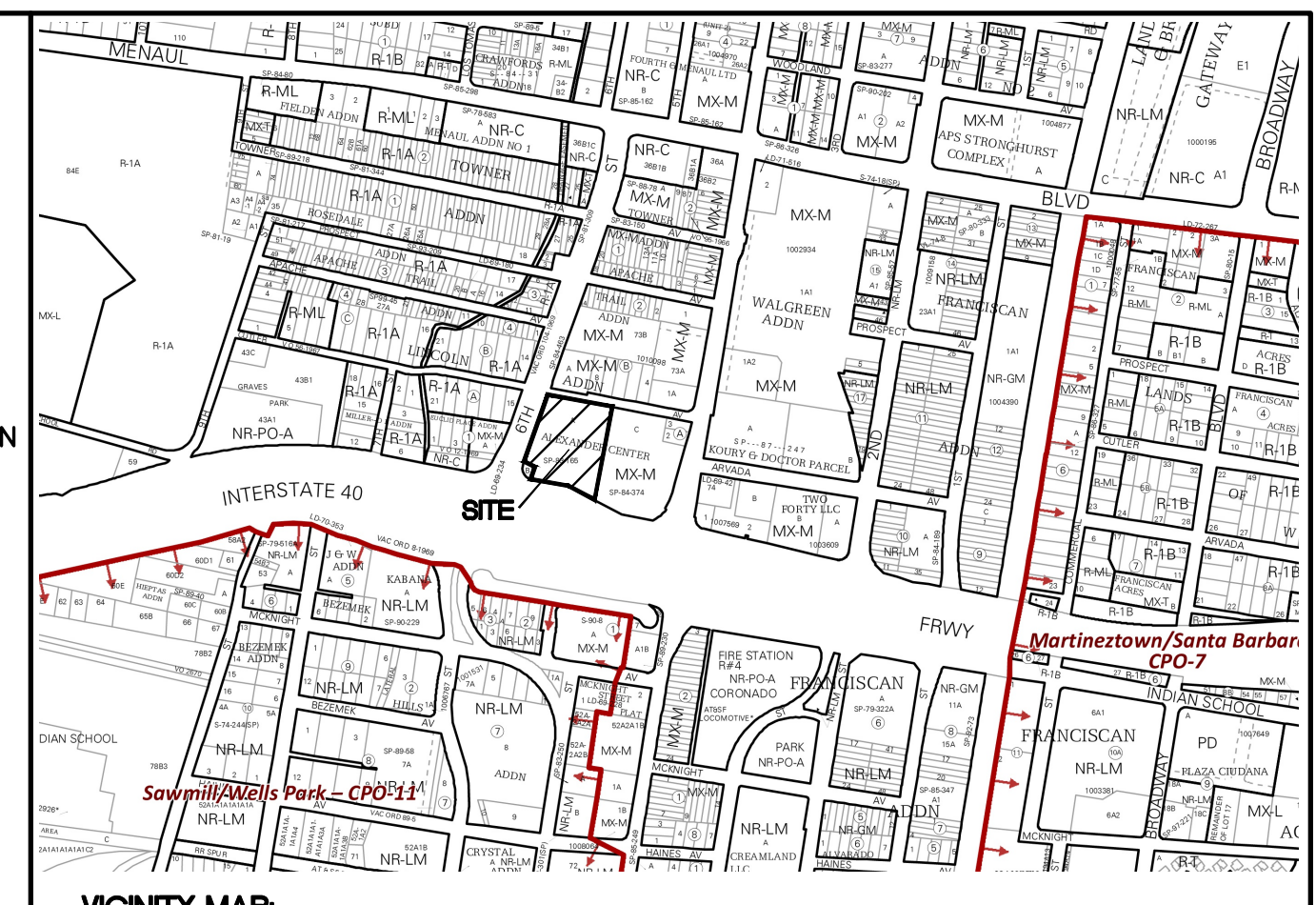
Sincerely,

Richard Martinez, P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 8/29/24
 BY: [Signature]
 Hydro/Title: H140025

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

DRAINAGE SUMMARY

THE SITE IS LOCATED IN THE SOUTHEAST QUADRANT OF 6 TH STREET AND CUTLER AVE. NW. THE IMPROVEMENTS ON THE 2.41 ACRE PROPERTY (TWO TRACTS) ARE ALL EXISTING INCLUDING A CONVENIENCE STORE, HEAVY DUTY FUELING AND LIGHT DUTY VEHICLE FUELING (BUILT IN 1983) WITH THE EXCEPTION OF THE PROPOSED 1,342 SF BUILDING ADDITION AND MINOR STRIPING OF THREE PARKING STALLS AND A PEDESTRIAN ACCESS ROUTE FROM THE BUILDING TO 6 TH STREET. THE PROPOSED BUILDING ADDITION WILL REPLACE AN EXISTING PAVED AREA. THERE WILL BE NO INCREASE TO IMPERVIOUS AREAS.

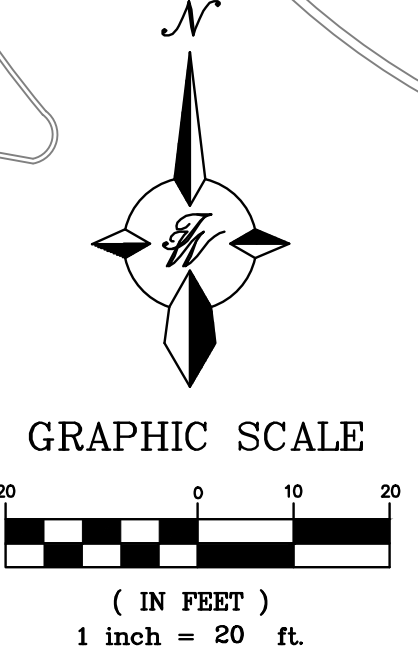
THE SITE DRAINS TO TWO EXISTING PARKING AREA SURFACE DETENTION PONDS WHICH IN TURN DRAIN TO TWO EXISTING STORM SEWER DROP INLETS IN 6 TH STREET PER THE APPROVED DRAINAGE PLAN PREPARED BY JAMES L. LEYMON, JR. PE (STAMP DATE 6-22-83). THE SITE DRAINS VIA SURFACE FLOWS TO THE TWO PARKING AREA PONDS. OUTLETS FROM THESE PONDS CONSIST OF A 4" PVC OUTLET PIPE AT EACH POND, CONNECTED FROM THE ONSITE CURB FACE TO TWO EXISTING DROP INLETS LOCATED ON THE EAST CURB LINE WITHIN 6 TH STREET. THE EXISTING DRAINAGE FLOW PATTERNS, DETENTION PONDING AND POND OUTFALLS WILL REMAIN AS IS.

EXISTING GRADES SHOWN ON THIS PLAN ARE BASED ON AS-BUILT INFORMATION. THE GRADING INFORMATION SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION OF THE PROPOSED BUILDING ADDITION.

NOTE
 ALL GRADES ARE TO FLOWLINE UNLESS OTHERWISE INDICATED

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	LOVE'S ALBUQUERQUE, NM GRADING PLAN	DRAWN BY pm DATE 8-29-24
	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.terrawestllc.com	SHEET # GR-1 JOB # 2024072

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: Love's Travel Center DATE: 8/29/24

DEVELOPMENT: Love's Albuquerque - 6th St. and Cutler Ave. NW

LOCATION: Tract A & B Alexander Center

2200 6th Street NW, Albuquerque, NM

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 266.50 cubic feet

The provided volume is 0 cubic feet

The deficient volume is 266.50 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperators existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This projects justification: Love's Travel Center is an existing
development constructed in 1984. A proposed building addition
of 1,025 sf is to be added to the existing building. All other
existing improvements are to remain as is including parking
and drive aisles, fueling areas and landscape areas. Storm
drain runoff from the site will not be increased.
Existing areas within the constructed site are too small to
accommodate the required stormwater quality volume and we
request to pay a fee in lieu.

Vincent Carrica, PE Tierra West, LLC

Professional Engineer or Architect

PAYMENT-IN-LIEU


Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 2,132.00

THIS SECTION IS FOR CITY USE ONLY

- Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

- Waiver is DENIED.



City of Albuquerque
Hydrology Section

09/06/24