

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

August 24, 2018

Scott McGee, P.E.
9700 Tanoan Drive NE
Albuquerque, NM, 87111

**RE: Perez Collision Center Addition
2415 2nd Street NW
Grading and Drainage Plan
Engineer's Stamp Date: 08/15/18
Hydrology File: H14D039**

Dear Mr. McGee:

PO Box 1293

Based upon the information provided in your resubmittal received 08/22/2018, the Grading and Drainage Plan is approved for Building Permit and SO-19 Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

NM 87103

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required and a formal Elevation Certificate needs to be submitted to Hydrology.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

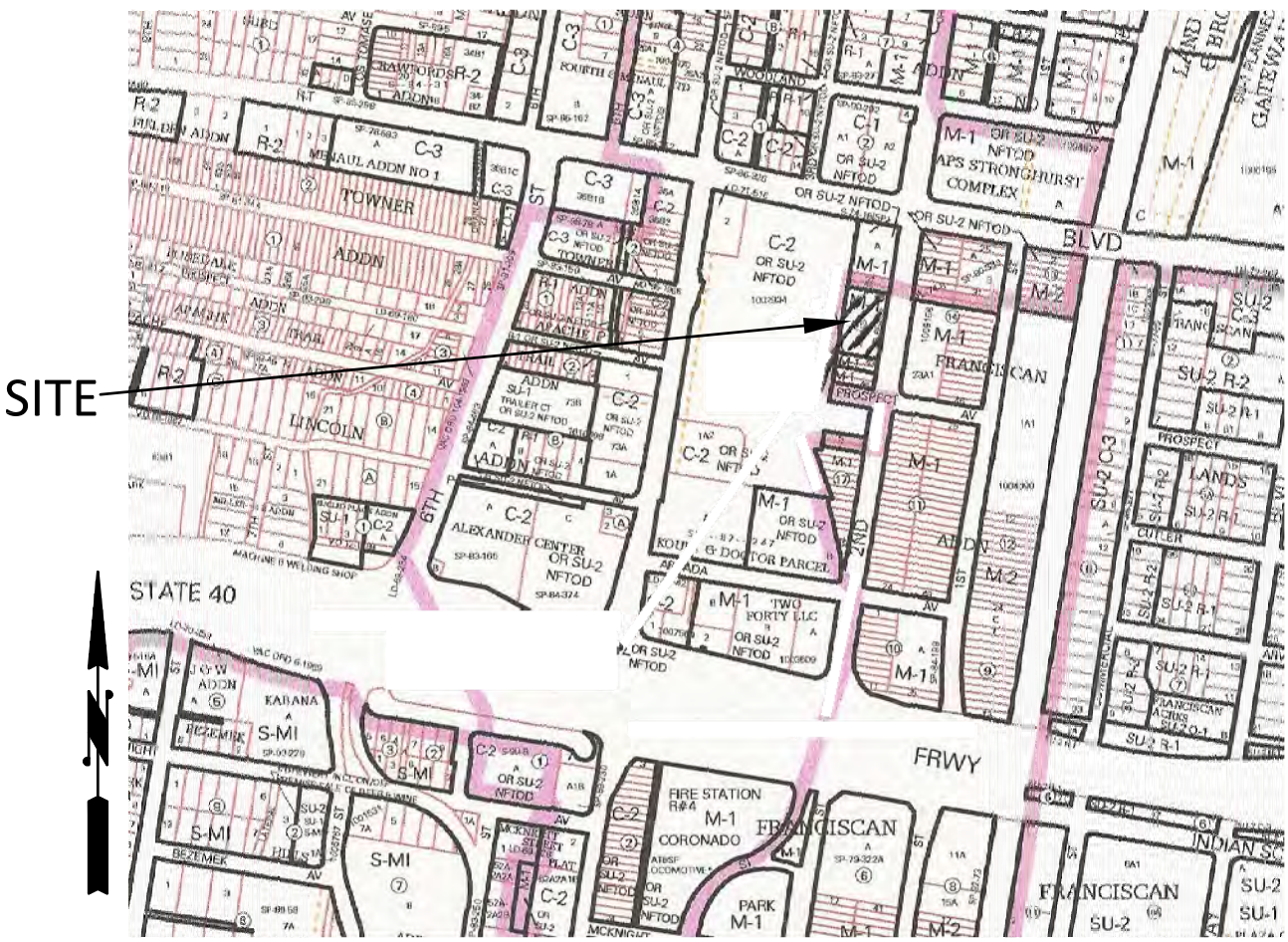
Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

S.0.19: NOTICE TO CONTRACTORS

(SPECIAL ORDER 19 ~"SO-19")

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR MUST CONTACT Jason Rodriquez AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

STREET MAINTENANCE INSPECTOR
APPROVAL _____



VICINITY MAP H-14-Z NOT TO SCALE

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=4969.21 EXISTING BUILDING FINISH FLOOR ELEV
- ◆ 36.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- ← RD ROOF DRAIN

DRAINAGE ANALYSIS

ADDRESS: 2415 2nd Street NW, Albuquerque, NM

LEGAL DESCRIPTION: TRACT A-1, LANDS OF COMFORT AIR SYSTEMS, INC

SITE AREA: 31,484 SF (0.723 acre)

BENCHMARK: City of Albuquerque Station 'A-438' being a brass cap with ELEV= 4975.35 (NAVD 1988)

SURVEYOR: The Survey Office dated April, 2016

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0332G (9/26/08), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: There is no offsite flow that enters this site.

EXISTING CONDITIONS: The site is an existing commercial building with asphalt and gravel parking areas and minimal landscaping. The site is fairly flat, but slopes down to the east and discharges to 2nd Street NW.

PROPOSED IMPROVEMENTS: The proposed 1,510 SF addition to the east side of the building includes updating the landscaping and the circulation/parking on the east side of the building. These minor improvements are proposed as part of an overall building renovation project.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions with the incorporation of onsite retention of the first flush volume.

Existing land treatment: 9% B, 26% C and 65% D Precipitation Zone: 4
 $Q = [(0.09)(2.28) + (0.26)(3.14) + (0.65)(4.70)](0.723) = 2.9$ CFS

Proposed land treatment: 8% B, 35% C and 57% D
 $Q = [(0.08)(2.28) + (0.35)(3.14) + (0.57)(4.70)](0.723) = 2.9$ CFS
First flush $V = (17,910)(0.34/12) = 507$ CF

The proposed below grade retention storage area will provide required storage for the first flush volume. The 100-year 10-day volume may temporarily pond on the surface behind the building but will infiltrate over time. Site runoff will not increase due to the proposed addition and renovation of existing landscaping areas.

FREDDIE P. MONTOYA ARCHITECT
IN CONJUNCTION WITH
CASA DESIGN STUDIO
CONTACT NUMBER:
505.908.0066 C



PEREZ COLLISION CENTER
ADDITION AND RENOVATION

2415 SECOND STREET NW ALBUQUERQUE, NEW MEXICO

REVISIONS

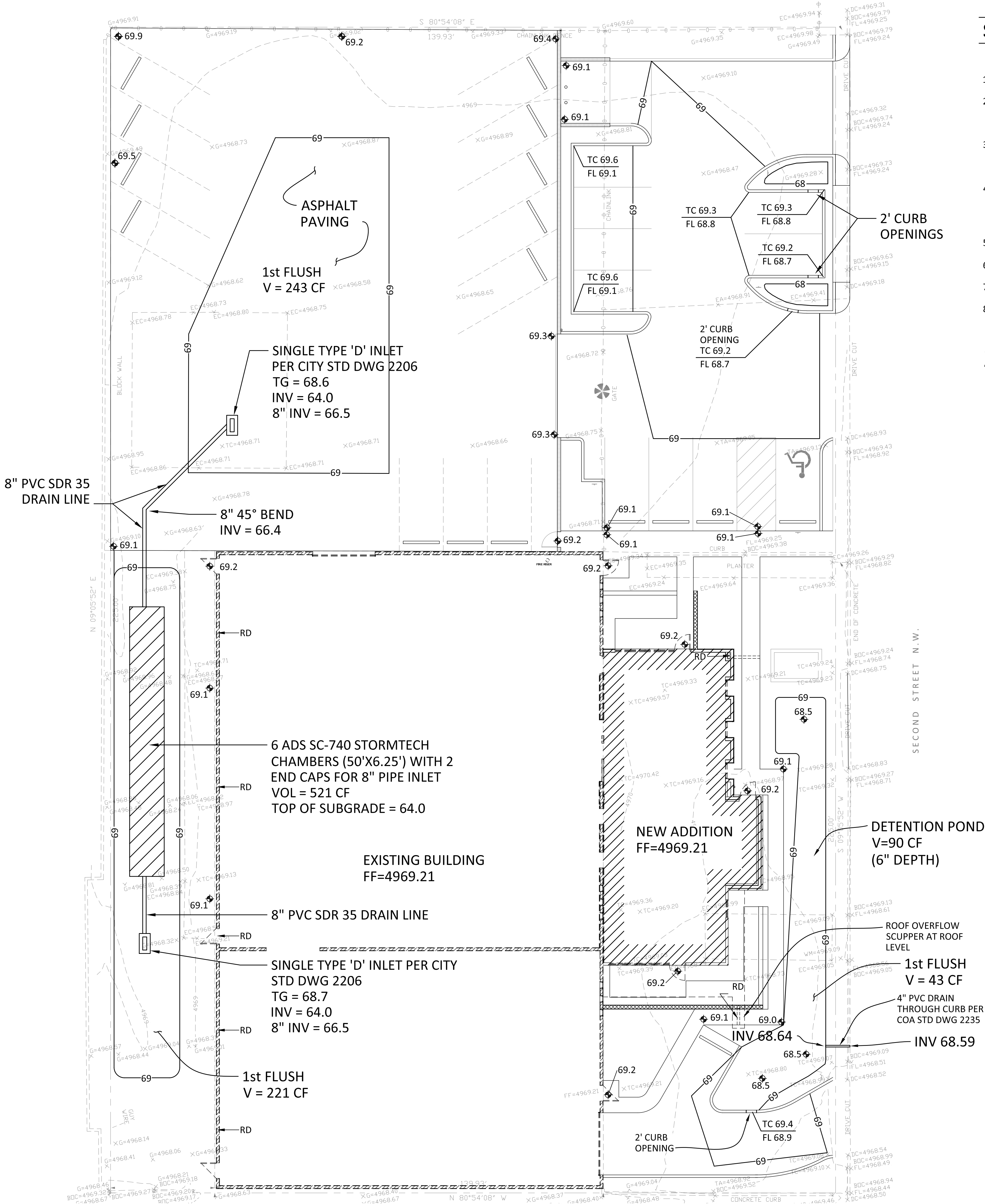
REVISION	DATE	DESCRIPTION

DRAWN BY: CB
CHECK BY: SMM
DATE: JULY 28, 2016

SHEET NAME:
GRADING PLAN

SHEET NUMBER:

C101



GRADING AND DRAINAGE PLAN

1" = 10'

