

CITY OF ALBUQUERQUE



September 21, 2016

Richard J. Berry, Mayor

Scott M. McGee, P.E.
SMMPE, LLC
9700 Tanoan Dr. NE
Albuquerque, NM, 87111

**RE: Perez Collision Center
Grading and Drainage Plan
Engineer's Stamp Date 7-28-16 (File: H14D039)**

Dear Mr. McGee:

Based upon the information provided in your submittal received 8-2-2016, the above-referenced plan is approved for Building Permit and SO-19 Permit with the following conditions:

1. The 4" PVC drains across the sidewalk need to be completed through an SO-19 Permit. Attached are the Standard SO-19 Notes, please ensure that they are forwarded to the Contractor prior to Construction. Work in the Right of Way needs to be pre-authorized and accepted by the City. Removals of sidewalk will need to be made at the nearest joint.
2. Provide first flush calculations (required vs provided).
3. Label the areas that will be gravel surfaced and asphalt surfaced.

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required; the Certification will need to include the conditions above.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

H14D039

Project Title: PEREZ AUTO COLLISION Building Permit #: _____ City Drainage #: H-14
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TR. A-1 LANDS OF COMFORT AIR SYSTEMS
City Address: 2415 2ND STREET NW
Engineering Firm: SMM PE Contact: SCOTT MCGEE
Address: 9700 TANDAN DR NE
Phone#: 263-2905 Fax#: _____ E-mail: scottm.mcgee@gmail.com
Owner: JORDAN PEREZ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Architect: CASA DESIGN STUDIO Contact: WILLY AMAYA
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

OTHER (SPECIFY) _____ \$100.00

IS THIS A RESUBMITTAL?: Yes ☐ No ☒

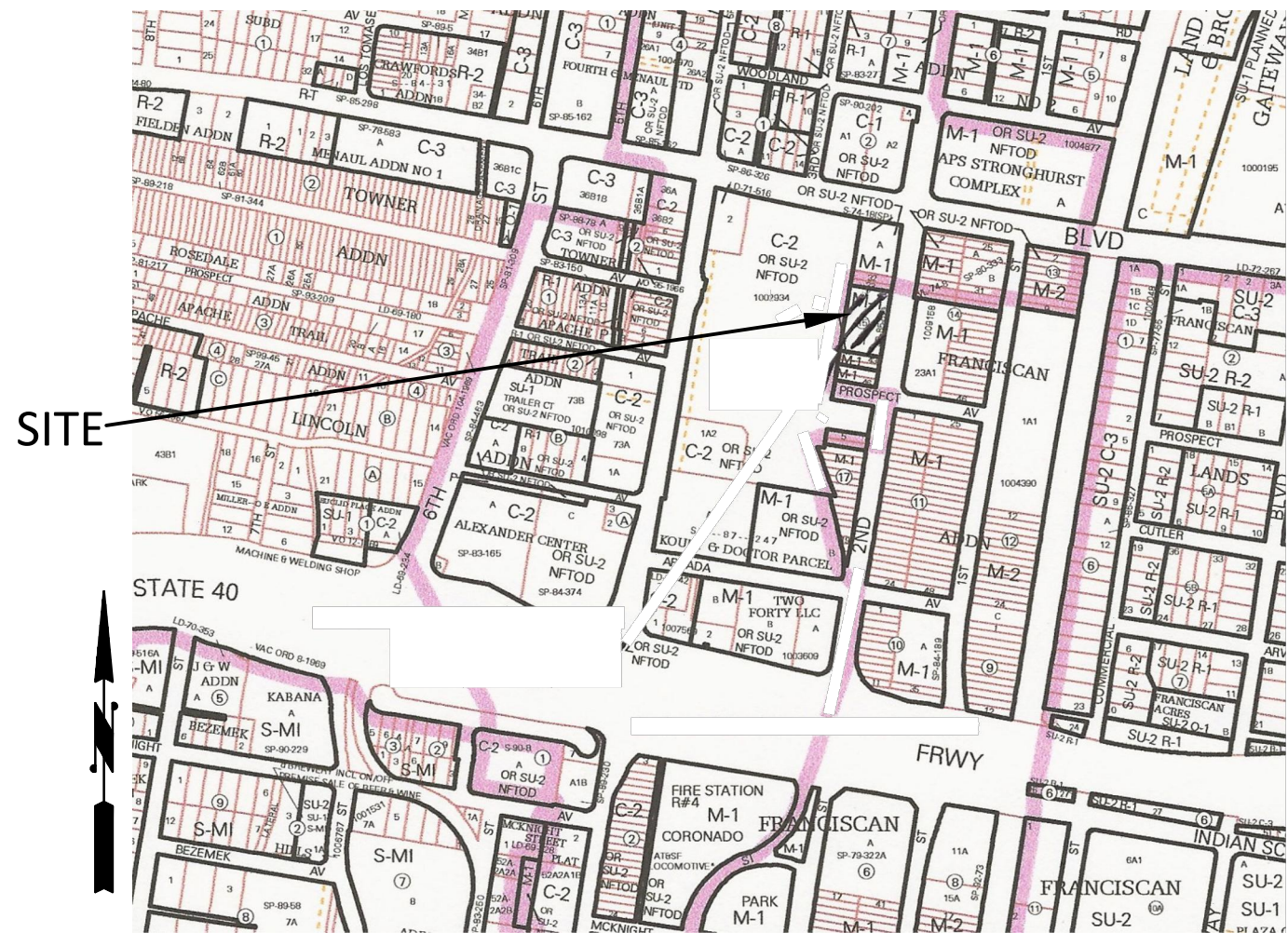
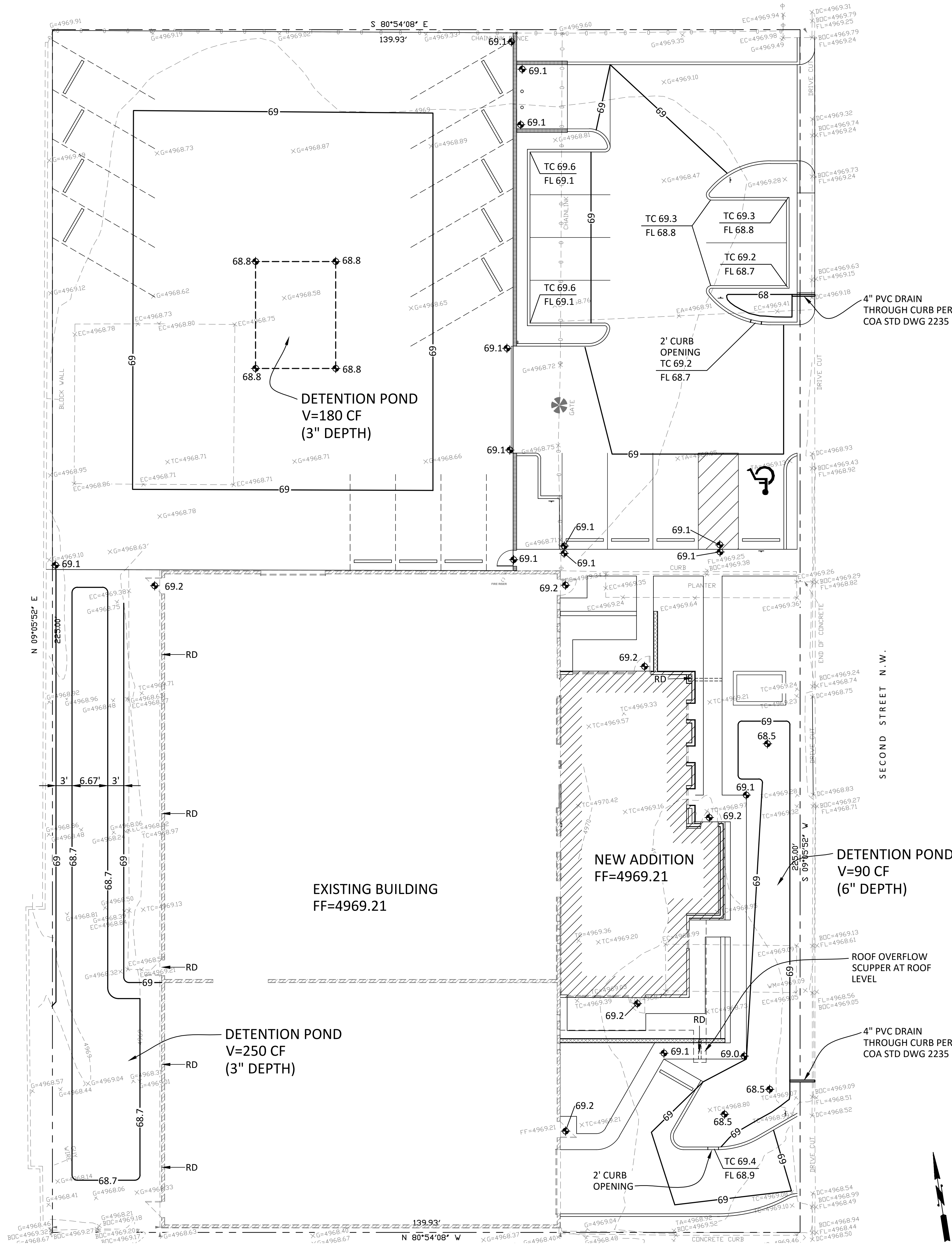
DATE SUBMITTED: 8/5/16

By: Scott McGee

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☒ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



VICINITY MAP H-14-Z NOT TO SCALE

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- EXISTING BUILDING FINISH FLOOR ELEV
- NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD
- ROOF DRAIN

DRAINAGE ANALYSIS

ADDRESS: 2415 2nd Street NW, Albuquerque, NM

LEGAL DESCRIPTION: TRACT A-1, LANDS OF COMFORT AIR SYSTEMS, INC

SITE AREA: 31,484 SF (0.723 acre)

BENCHMARK: City of Albuquerque Station 'A-438' being a brass cap with ELEV= 4975.35 (NAVD 1988)

SURVEYOR: The Survey Office dated April, 2016

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0332G (9/26/08), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: There is no offsite flow that enters this site.

EXISTING CONDITIONS: The site is an existing commercial building with asphalt and gravel parking areas and minimal landscaping. The site is fairly flat, but slopes down to the east and discharges to 2nd Street NW.

PROPOSED IMPROVEMENTS: The proposed 1,510 SF addition to the east side of the building includes updating the landscaping and the circulation/parking on the east side of the building. These minor improvements are proposed as part of an overall building renovation project.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions with the incorporation of onsite retention of the first flush volume.

Existing land treatment: 9% B, 26% C and 65% D Precipitation Zone: 4
 $Q = [(0.09)(2.28) + (0.26)(3.14) + (0.65)(4.70)](0.723) = 2.9 \text{ CFS}$

Proposed land treatment: 8% B, 35% C and 57% D
 $Q = [(0.08)(2.28) + (0.35)(3.14) + (0.57)(4.70)](0.723) = 2.9 \text{ CFS}$
First flush $V = (17,910)(0.34/12) = 507 \text{ CF}$

The proposed retention pond areas will combine to contain the first flush volume. Site runoff will not increase due to the proposed addition and renovation of existing landscaping areas.

GRADING AND DRAINAGE PLAN



FREDDIE P. MONTOYA ARCHITECT
IN CONJUNCTION WITH
CASA DESIGN STUDIO
CASA DESIGN STUDIO (DESIGNER)
CONTACT NUMBER:
505.908.0046 C



Perez Collision Center
Addition and Renovation

2415 SECOND STREET NW ALBUQUERQUE, NEW MEXICO

REVISIONS		
REVISION	DATE	DESCRIPTION

DRAWN BY: CB
CHECK BY: SMM
DATE: JULY 28, 2016

SHEET NAME:
GRADING PLAN

SHEET NUMBER: