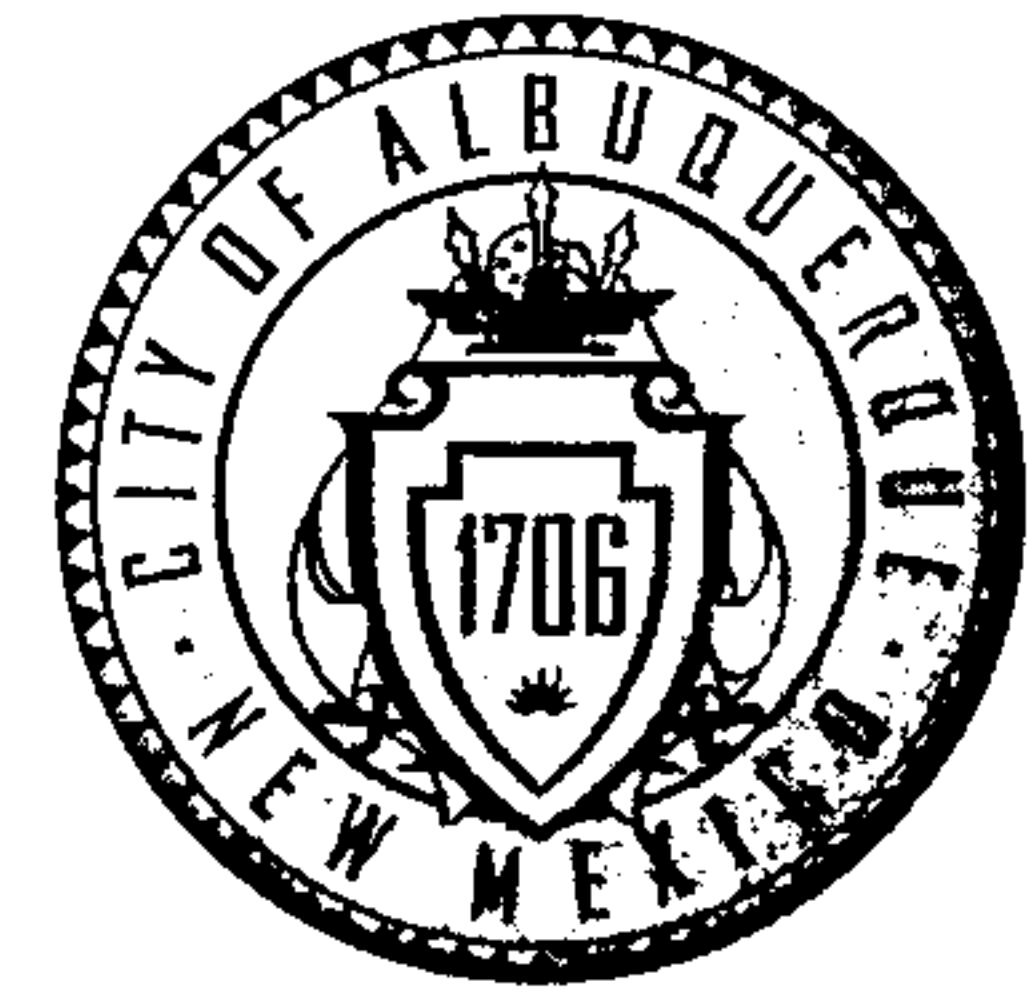


CITY OF ALBUQUERQUE



September 21, 2016

Richard J. Berry, Mayor

Scott M. McGee, P.E.
SMMPE, LLC
9700 Tanoan Dr. NE
Albuquerque, NM, 87111

**RE: Perez Collision Center
Grading and Drainage Plan
Engineer's Stamp Date 7-28-16 (File: H14D039)**

Dear Mr. McGee:

Based upon the information provided in your submittal received 8-2-2016, the above-referenced plan is approved for Building Permit and SO-19 Permit with the following conditions:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. The 4" PVC drains across the sidewalk need to be completed through an SO-19 Permit. Attached are the Standard SO-19 Notes, please ensure that they are forwarded to the Contractor prior to Construction. Work in the Right of Way needs to be pre-authorized and accepted by the City. Removals of sidewalk will need to be made at the nearest joint.
2. Provide first flush calculations (required vs provided).
3. Label the areas that will be gravel surfaced and asphalt surfaced.

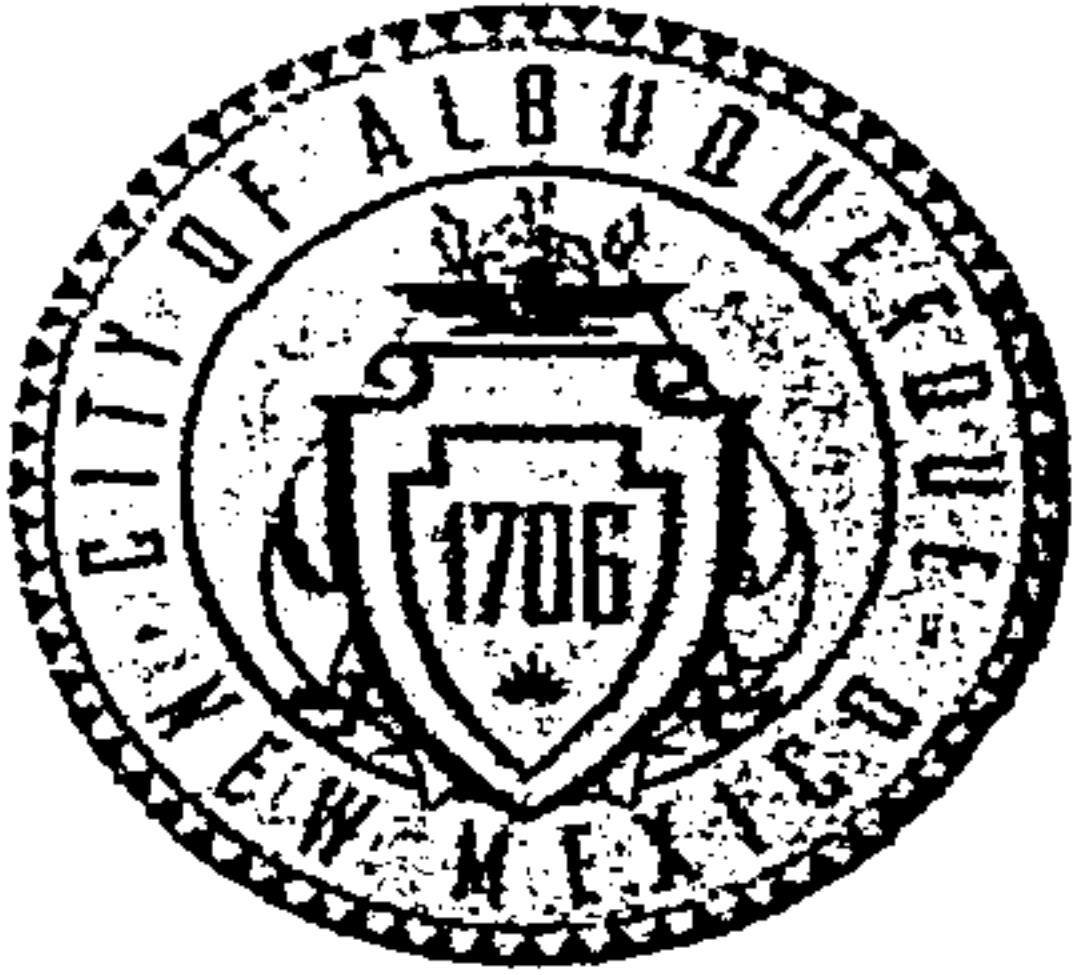
Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required; the Certification will need to include the conditions above.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

H14D039

Project Title: PEREZ AUTO COLLISION Building Permit #: _____ City Drainage #: H-14
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TR. A-1 LANDS OF COMFORT AIR SYSTEMS
City Address: 2415 2ND STREET NW
Engineering Firm: SMM PE Contact: SCOTT MCGEE
Address: 9700 TANDAN DR NE
Phone#: 263-2905 Fax#: _____ E-mail: scottmcmgee@gmail.com
Owner: JORDAN PEREZ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Architect: CASA DESIGN STUDIO Contact: WILLY AMAYA
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

OTHER (SPECIFY) \$100.00

IS THIS A RESUBMITTAL?: Yes ☐ No ☒

DATE SUBMITTED: 8/5/16 By: Scott McGee

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☒ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



August 31, 2016

Freddie P. Montoya
Casa Design Studio
1250 Angel Rd
Corrales, NM 87048

Re: Perez Collision Center
2415 2nd St NW
Traffic Circulation Layout
Architect's Stamp dated 08-24-16 (H14D039)

Dear Mr. Montoya,

The TCL submittal received 08-25-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File

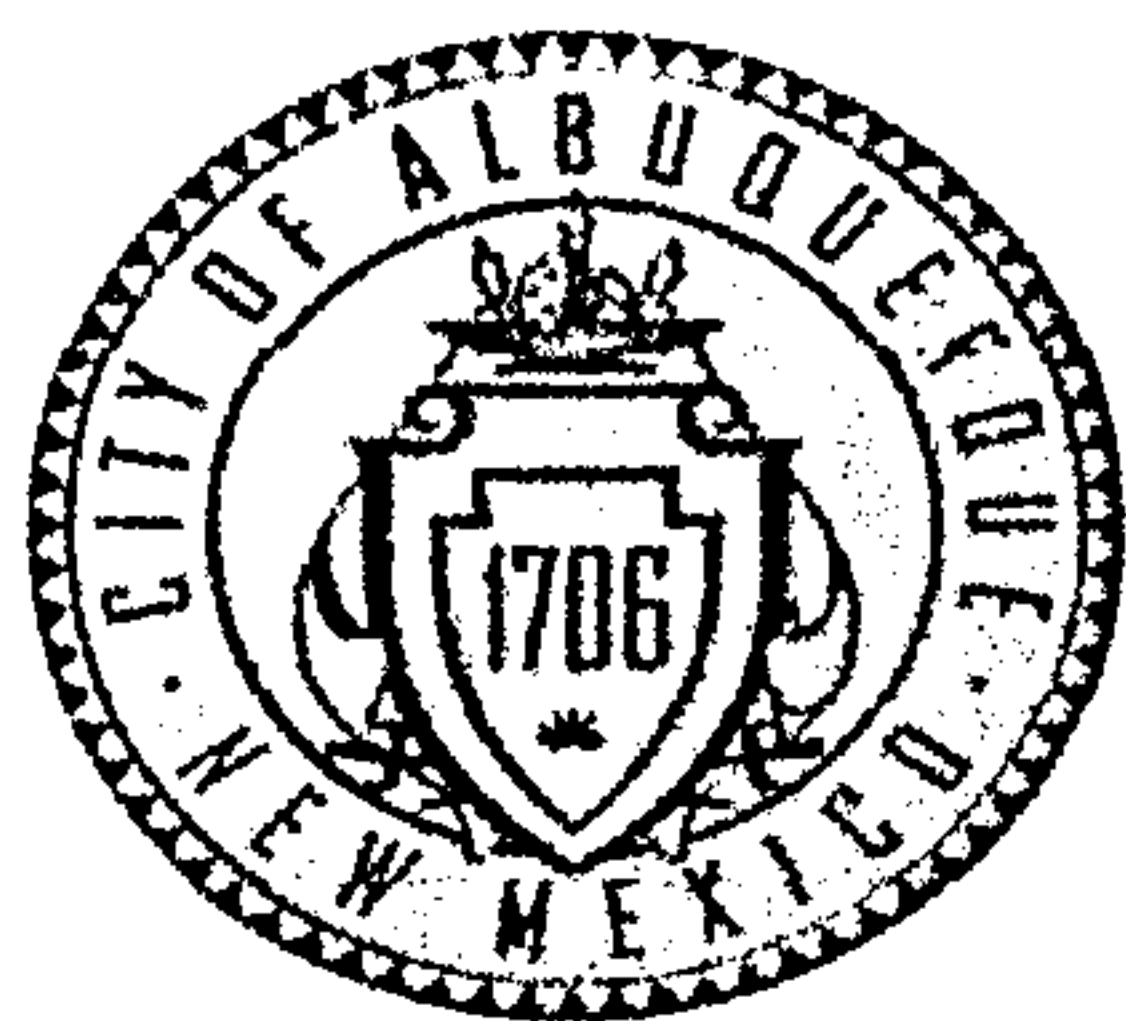
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

22



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Perez Collision Center Addition & Renovation Building Permit #: _____ Hydrology File #: H14D039

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT A-1 LANDS OF COMFORT AIR SYSTEMS INC.

City Address: 2415 2ND STREET NW, ALBUQUERQUE, NM 87102

Applicant: OSWALDO AMAYA (CASA DESIGN STUDIO) Contact: OSWALDO AMAYA

Address: 1250 ANGEL RD., CORRALES, NM, 87048

Phone#: 505-908-0066 Fax#: _____ E-mail: oswaldo.amaya@yahoo.com

Other Contact: PEREZ COLLISION CENTER Contact: JORDAN PEREZ

Address: 2520 2ND ST. NW, ALBUQUERQUE, NM 87102

Phone#: 505-934-2317 Fax#: _____ E-mail: perezjordan39@yahoo.com

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
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☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION SECTION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING? YES (DONE ALREADY)

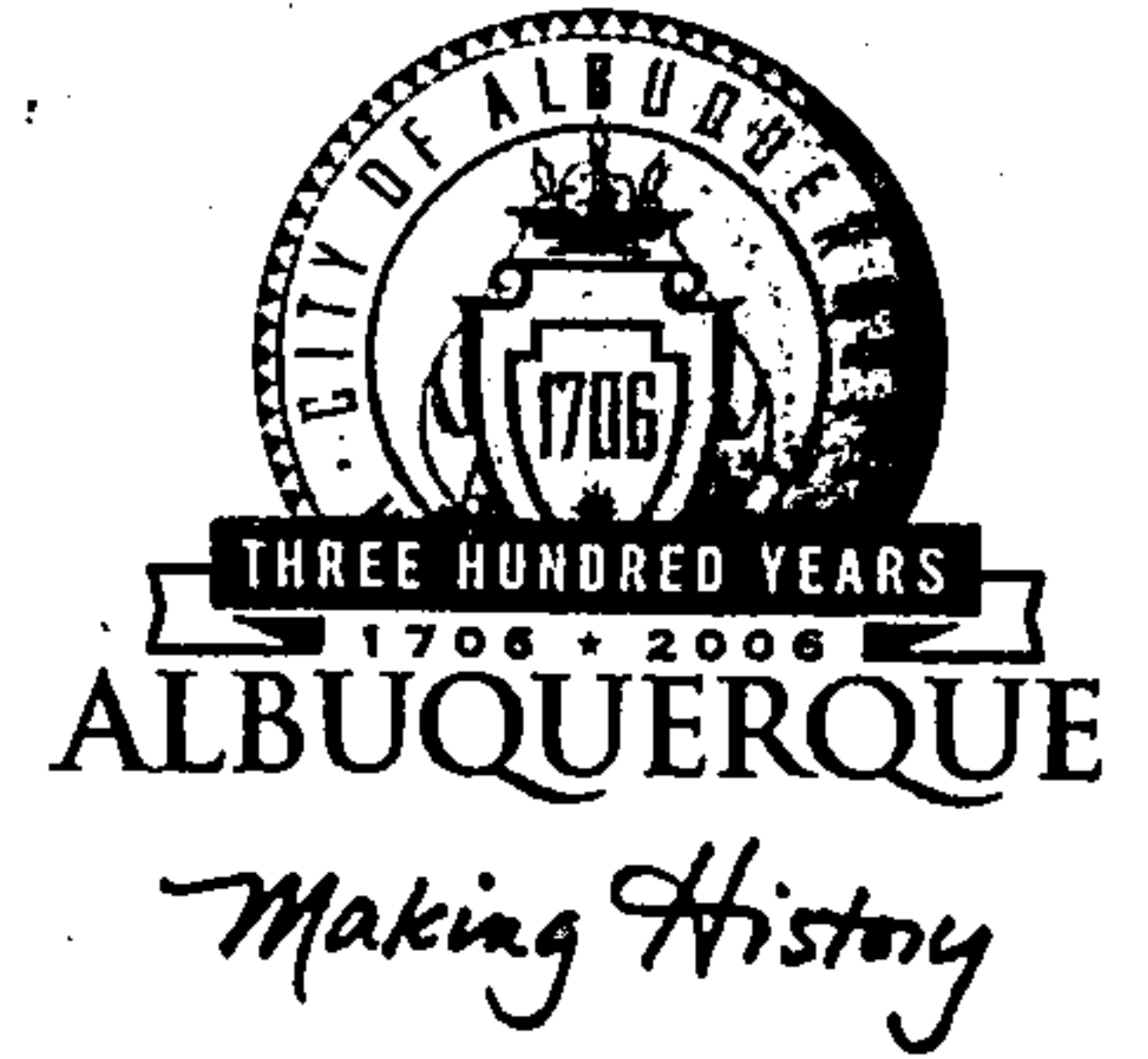
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 08/25/2016 By: [Signature] (OSWALDO AMAYA)

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



November 5, 2004

Ray Padilla
12400 Menaul Blvd NE
Albuquerque, NM 87112

Re: Drainage Complaint at 2413 Second Street NW (H-14/D039)

Dear Mr. Padilla,

In February of 2000 and again in January of 2001, letters were sent to you (copies enclosed) asking you to address the problem created when runoff from your property enters the property to the south (2415 Second Street). To date, **nothing** has been done to rectify this problem. I am very concerned about the inaction and would like you to contact my office to discuss this situation. Please contact me at 924-3986.

P.O. Box 1293

Albuquerque

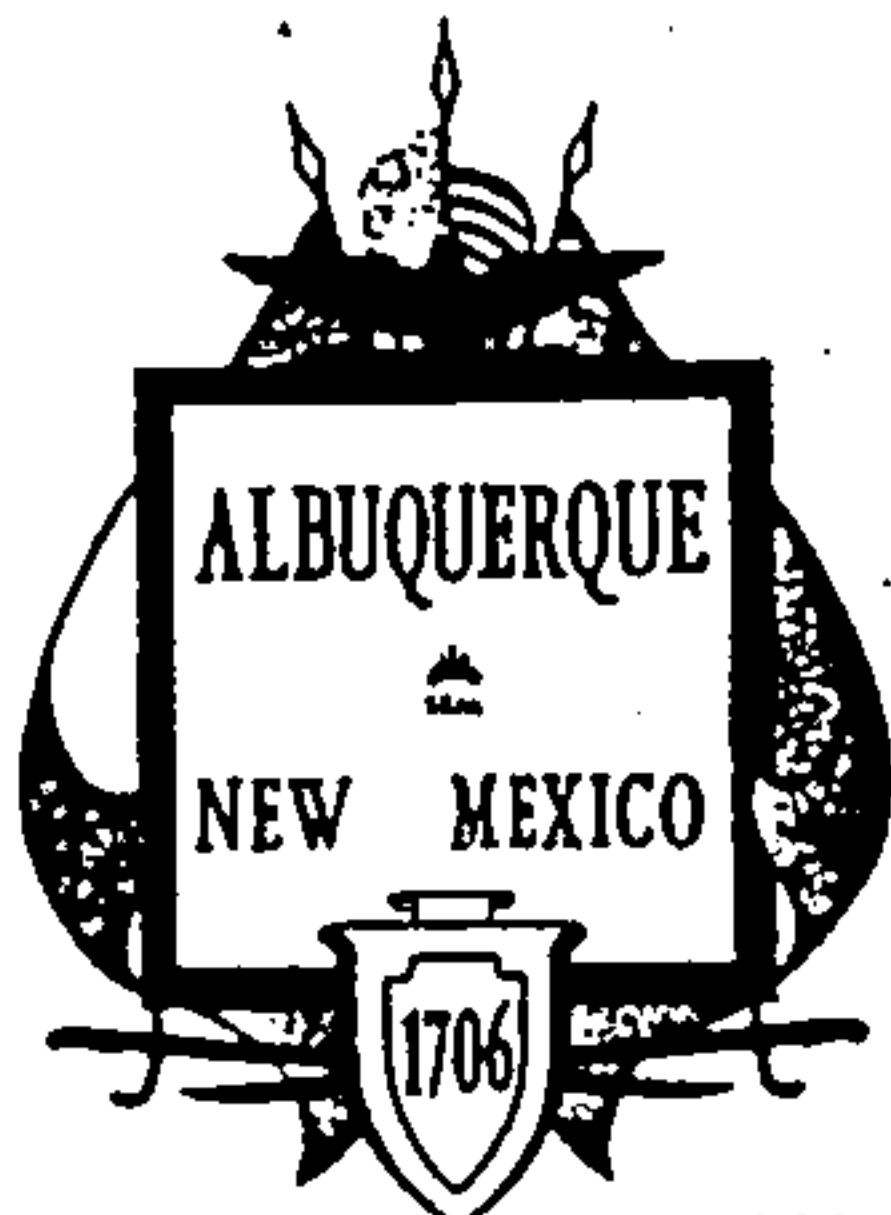
New Mexico 87103

Sincerely,

Bradley L. Bingham, PE
City Hydrologist

www.cabq.gov

C: RJ Marney, 6812 Tokay NE, 87113
file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 9, 2001

Mr. Ray Padilla, Esq.
Ray Padilla & Assoc.
12400 Menaul Blvd. NE
Albuquerque, NM 87112

CERTIFIED MAIL

RE: DRAINAGE REQUIREMENTS REGARDING PROPERTY AT 2413 SECOND STREET NW (H14-D39).

Dear Mr. Padillo:

A year ago next month, City Hydrology apprised you of deficiencies in/problems with the existing drainage conditions for the 2413 Second Street NW property. (Enclosure)

Storm runoff from this property was intended to discharge to Second Street and on into the storm drain system. The current condition still has the runoff from the north and west portions of your building/site discharge across the adjacent property to the south. This crosslot drainage is prohibited by ordinance. While the gutter (channel) installed at the base of the south side of your building now collects and prevents direct discharge of roof runoff onto the neighboring property, its location along/on the property line will make for difficult, if not, impossible maintenance once that neighboring property is developed.

Your neighbor is quite anxious to develop his property for business; however, he cannot do so with any degree of assurance until the storm drainage issues/problems associated with your property are addressed. A Professional Engineer specializing in Drainage should be engaged to evaluate your site and to recommend the necessary measures to meet the Drainage Ordinance requirements. Your neighbor will be required to do the same in developing his site.

***Please inform us of your anticipated schedule to rectify these conditions.

If we can be of further assistance, please feel free to contact me at 924-3980 or John Murray at 924-3984

Encl.

✓ c: R.J. Marmey
Whitney Reiersen
File

Sincerely,

Loren Mainz, P.E.

Chief, Hydrology Division



City of Albuquerque

February 11, 2000

Mr. Ray Padilla, Esq.
Ray Padilla & Assoc.
12400 Menaul Blvd .NE
Albuquerque, N.M.87112

REGISTERED MAIL

RE: DRAINAGE INQUIRY/COMPLAINT REGARDING PROPERTY AT 2413 SECOND STREET NW.

Dear Mr.

The property owner to your south at 2409 Second Street NW is concerned about the existing drainage (storm water runoff) conditions from your property and the adverse effects thereof on his property. In order for him to develop/improve/utilize his property in confidence, the cross lot drainage situation needs to be addressed.

Undoubtedly, this is an inherited situation on your part. The dainage plan of record, H14/D39, dates from 1984 when the north half of your building was added. That plan indicated that all the runoff would be directed to Second Street. It also indicated that the roof drainage from the existing building (the south half) was to the west..

A field inspection of the site on January 27, 2000 showed that the plan of record had not been followed and/or was altered over the years. At the present time, the original building or south half roof drainage is to the southside with the gutter draining to the west and the downspout at the southwest corner of the building. Several small diameter plastic pipe downspouts had been added and an awkward trough (gutter) installed near ground level to bring the roof drainage back to the southeast corner of the building. The uneven condition of the parking lot would interfere with runoff discharging to Second Street. When your neighbor secures his property with fence or wall, the improvised trough/gutter would be inaccessible for maintenance.

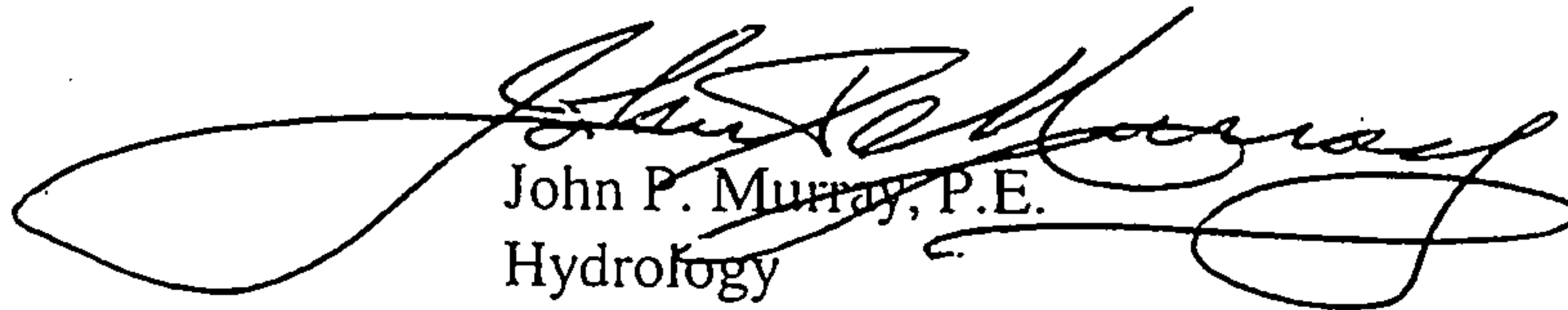
The roof drainage from the newer part of the building discharges through canales to the west side of the building, It does not appear that this runoff can get to Second Street but drains southward along the west side of the entire building. Any vestage of ponds has all but been obiterated. Again, storm runoff would drain onto the adjacent property.

P.2 Drainage inquiry/complaint re 2413 Second Street NW

In order to correct the apparent drainage problems on your property, it would be well to have a Professional Engineer evaluate the current situation. The Yellow Pages have a listing under Engineers-Drainage who are familiar with the City's drainage requirements, Your neighbor will go through the same process when he develops his property.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.
Hydrology

c: ✓ R.J. Marney
WR
File

**U.S. Postal Service
CERTIFIED MAIL RECEIPT**

Loren

(Domestic Mail Only; No Insurance Coverage Provided)

2963 2720 1003 0220 3220 6602 7099

Article Sent To:

Mr. Ray Padilla, Esq.

Postage

\$

Certified Fee

Return Receipt Fee
(Endorsement Required)

Restricted Delivery Fee
(Endorsement Required)

Total Postage & Fees

\$

Postmark
Here

1-10-01

Name (Please Print Clearly) (To be completed by mailer)

Ray Padilla & ASSOC.

Street, Apt. No.; or PO Box No.

12400 Menaul Blvd., NE

City, State, ZIP+4

Albuquerque, NM 87112

Certified Mail Provides:

- A mailing receipt
- A unique identifier for your mailpiece
- A signature upon delivery
- A record of delivery kept by the Postal Service for two years

Important Reminders:

- Certified Mail may ONLY be combined with First-Class Mail or Priority Mail.
- Certified Mail is not available for any class of international mail.
- NO INSURANCE COVERAGE IS PROVIDED with Certified Mail. For valuables, please consider Insured or Registered Mail.
- For an additional fee, a Return Receipt may be requested to provide proof of delivery. To obtain Return Receipt service, please complete and attach a Return Receipt (PS Form 3811) to the article and add applicable postage to cover the fee. Endorse mailpiece "Return Receipt Requested". To receive a fee waiver for a duplicate return receipt, a USPS postmark on your Certified Mail receipt is required.
- For an additional fee, delivery may be restricted to the addressee or addressee's authorized agent. Advise the clerk or mark the mailpiece with the endorsement "Restricted Delivery".
- If a postmark on the Certified Mail receipt is desired, please present the article at the post office for postmarking. If a postmark on the Certified Mail receipt is not needed, detach and affix label with postage and mail.

IMPORTANT: Save this receipt and present it when making an inquiry.

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Mr. Ray Padilla, Esq.
Ray Padilla + Assoc.
12400 Menaul Blvd., NE
Albuquerque, NM 87112

COMPLETE THIS SECTION ON DELIVERY

A. Received by (Please Print Clearly)

B. Date of Delivery

1-11

C. Signature

X

x Dianna Saffron

☐ Agent

☐ Addressee

D. Is delivery address different from item 1?

☐ Yes

If YES, enter delivery address below:

☒ No

3. Service Type

☒ Certified Mail

☐ Express Mail☐ Registered☐ Return Receipt for Merchandise☐ Insured Mail

☐ C.O.D.

4. Restricted Delivery? (Extra Fee)

☐ Yes

2. Article Number (Copy from service label)

7099 : 3220 : 0001 : 2720 : 2963

UNITED STATES POSTAL SERVICE



First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10

- Sender: Please print your name, address, and ZIP+4 in this box •

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION/DESIGN REVIEW SECTION
P.O. Box 1293
Albuquerque, N.M. 87103

ATT: LOREN MEINZ



U.S. Postal Service

CERTIFIED MAIL RECEIPT

(Domestic Mail Only; No Insurance Coverage Provided)

John M.

Article Sent To:

Ms. Michelle Hale Customer

Postage

\$

Certified Fee

Return Receipt Fee
(Endorsement Required)

Restricted Delivery Fee
(Endorsement Required)

Total Postage & Fees

\$

Service
Manager

Postmark
Here

1-9-01

Name (Please Print Clearly) (To be completed by mailer)

Kaufman + Broad

Street, Apt. No.; or PO Box No.

4921 Alexander NE, Suite B

City, State, ZIP+4

Albuquerque, NM 87107

2956 022 0001 022 3220 022 6602

Certified Mail Provides:

- A mailing receipt
- A unique identifier for your mailpiece
- A signature upon delivery
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Important Reminders:

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- For an additional fee, a Return Receipt may be requested to provide proof of delivery. To obtain Return Receipt service, please complete and attach a Return Receipt (PS Form 3811) to the article and add applicable postage to cover the fee. Endorse mailpiece "Return Receipt Requested". To receive a fee waiver for a duplicate return receipt, a USPS postmark on your Certified Mail receipt is required.
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IMPORTANT: Save this receipt and present it when making an inquiry.

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Ms. Michelle Hale
Customer Service Manager
Kaufman & Broad
4921 Alexander NE, Suite B
Albuquerque, NM 87107

2. Article Number (Copy from service label)

7099: 3220 0001 2720: 2956: ||||| |||||

COMPLETE THIS SECTION ON DELIVERY

A. Received by (Please Print Clearly)

B. ~~Date of Delivery~~

11/0/01

C. Signature

~~Agent~~

~~☐ Addressee~~

D. Is delivery address different from item 1? ☐ Yes

If YES, enter delivery address below: ☒ No

3. Service Type

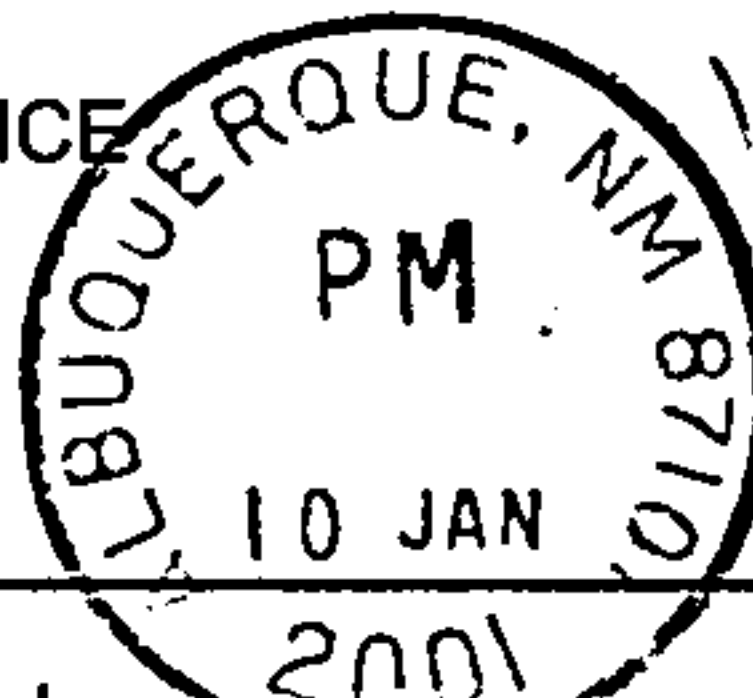
☒ Certified Mail

☐ Registered☐ Insured Mail☐ Express Mail☐ Return Receipt for Merchandise☐ C.O.D.

4. Restricted Delivery? (Extra Fee)

☐ Yes

UNITED STATES POSTAL SERVICE



**HAPPY
WHO-L**
from the

First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10

U.S. Postal Service!

- Sender: Please print your name, address, and ZIP+4 in this box •

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION/DESIGN REVIEW SECTION
P.O. Box 1293
Albuquerque, N.M. 87103**

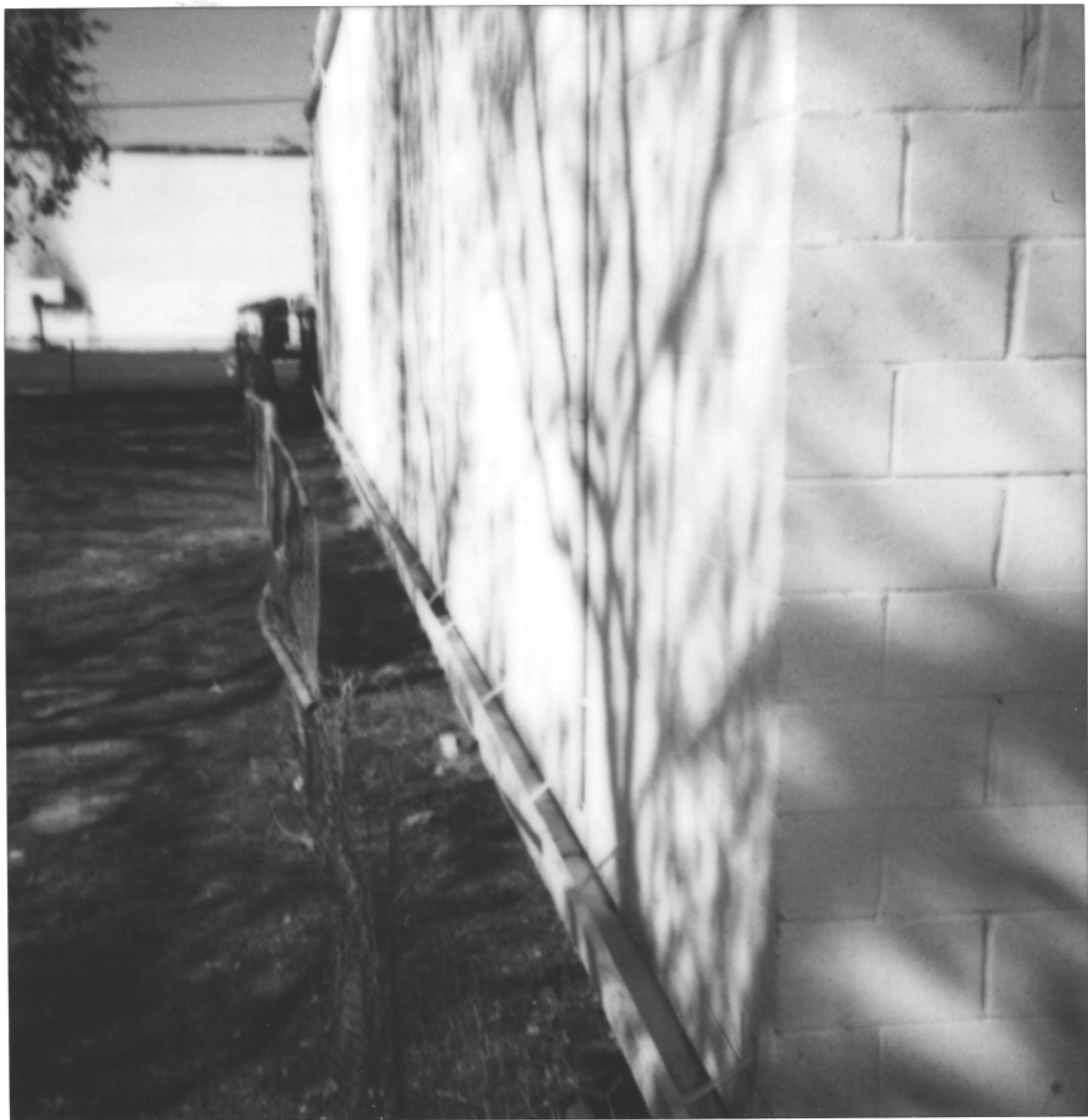
ATTN: John Murray, P.E.

103/1293





11/9/00 2415 2NDSTm



11/9/00 2415 2ND NW



11/19/00 2415 2ND NW

11/16

Paul Chavez

321-9821

Dover Court

Called back @ 11:30

3:30

~~Pat Joseph~~

SAD 225

IMPORTANT MESSAGE

FOR _____

DATE _____

TIME _____

11/13

11:13 AM
11:13 PM

WHILE YOU WERE AWAY

M _____

OF _____

PHONE NO. _____

Clavis Giffly

Hobo Lawn

cell 975-1227

TELEPHONED		RET'D YOUR CALL	
PLEASE CALL		URGENT	
WILL CALL AGAIN		WANTS TO SEE YOU	

MESSAGE _____

342-0003

office

8928 Robb's Place
NE

SIGNED _____

87122



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 9, 2001

Mr. Ray Padilla, Esq.
Ray Padilla & Assoc.
12400 Menaul Blvd. NE
Albuquerque, NM 87112

CERTIFIED MAIL

RE: DRAINAGE REQUIREMENTS REGARDING PROPERTY AT 2413 SECOND STREET NW (H14-D39).

Dear Mr. Padillo:

A year ago next month, City Hydrology apprised you of deficiencies in/problems with the existing drainage conditions for the 2413 Second Street NW property.

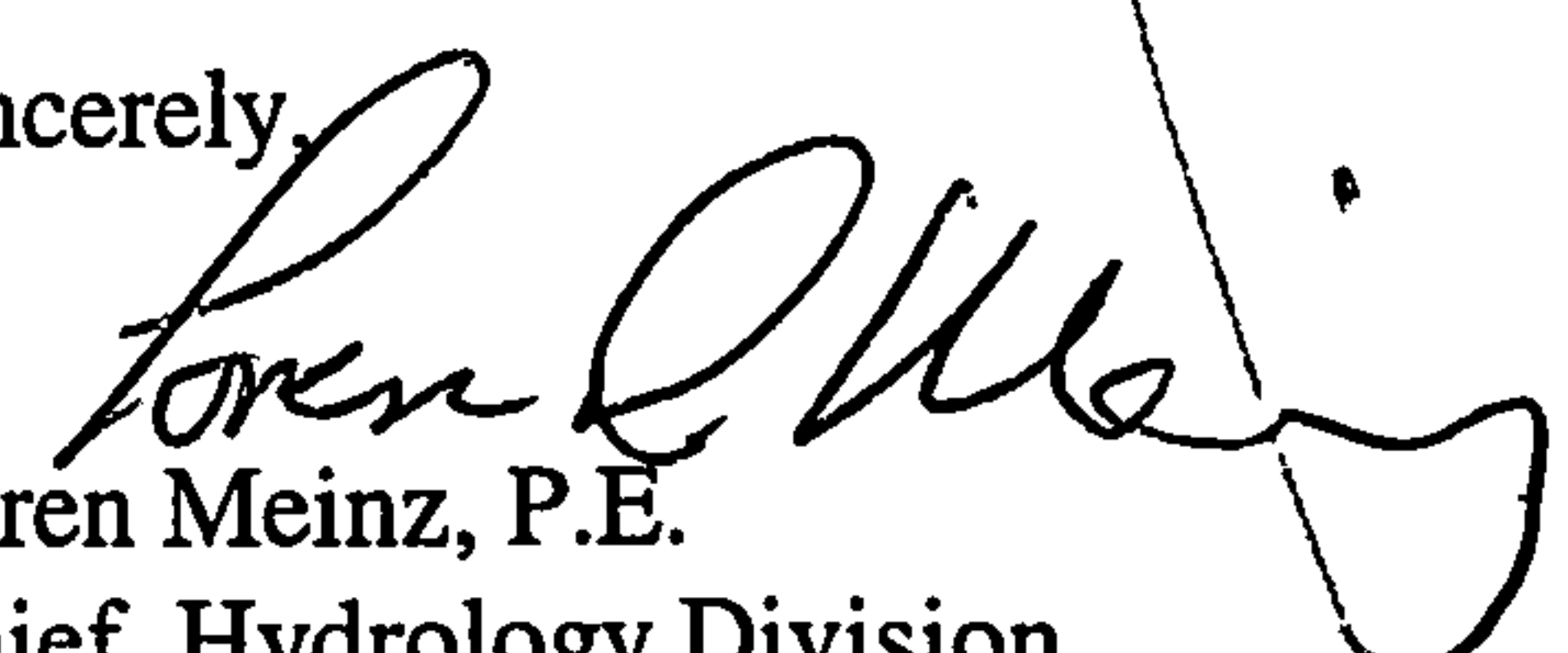
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Your neighbor is quite anxious to develop his property for business; however, he cannot do so with any degree of assurance until the storm drainage issues/problems associated with your property are addressed. A Professional Engineer specializing in Drainage should be engaged to evaluate your site and to recommend the necessary measures to meet the Drainage Ordinance requirements. Your neighbor will be required to do the same in developing his site.

***Please inform us of your anticipated schedule to rectify these conditions.

If we can be of further assistance, please feel free to contact me at 924-3980 or John Murray at 924-3984.

Sincerely,


Loren Mainz, P.E.
Chief, Hydrology Division

c: R.J. Marney
Whitney Reiersen
File

H 14/D 39

cy

February 11, 2000

Mr. Ray Padilla, Esq.
Ray Padilla & Assoc.
12400 Menaul Blvd .NE
Albuquerque, N.M.87112

Certified
REGISTERED MAIL

RE: DRAINAGE INQUIRY/COMPLAINT REGARDING PROPERTY AT 2413 SECOND STREET NW.

Dear Mr. *Padilla*

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P.2 Drainage inquiry/complaint re 2413 Second Street NW

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If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

John P. Murray, P.E.
Hydrology

c: R.J. Marney
WR
File

NEW
C 20/D16



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 9, 2001

Mr. Ray Padilla, Esq.
Ray Padilla & Assoc.
12400 Menaul Blvd. NE
Albuquerque, NM 87112

CERTIFIED MAIL

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***Please inform us of your anticipated schedule to rectify these conditions.

If we can be of further assistance, please feel free to contact me at 924-3980 or John Murray at 924-3984.

Sincerely,

Loren Mainz, P.E.
Chief, Hydrology Division

Encl.
c: R.J. Marmey
Whitney Reiersen
✓ File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 11, 2000

Mr. Ray Padilla, Esq.
Ray Padilla & Assoc.
12400 Menaul Blvd .NE
Albuquerque, N.M.87112

Certified
REGISTERED MAIL

RE: DRAINAGE INQUIRY/COMPLAINT REGARDING PROPERTY AT 2413 SECOND STREET NW.

Dear Mr. Padilla:

The property owner to your south at 2409 Second Street NW is concerned about the existing drainage (storm water runoff) conditions from your property and the adverse effects thereof on his property. In order for him to develop/improve/utilize his property in confidence, the cross lot drainage situation needs to be addressed.

Undoubtedly, this is an inherited situation on your part. The dainage plan of record, H14/D39. dates from 1984 when the north half of your building was added. That plan indicated that all the runoff would be directed to Second Street. It also indicated that the roof drainage from the existing building (the south half) was to the west..

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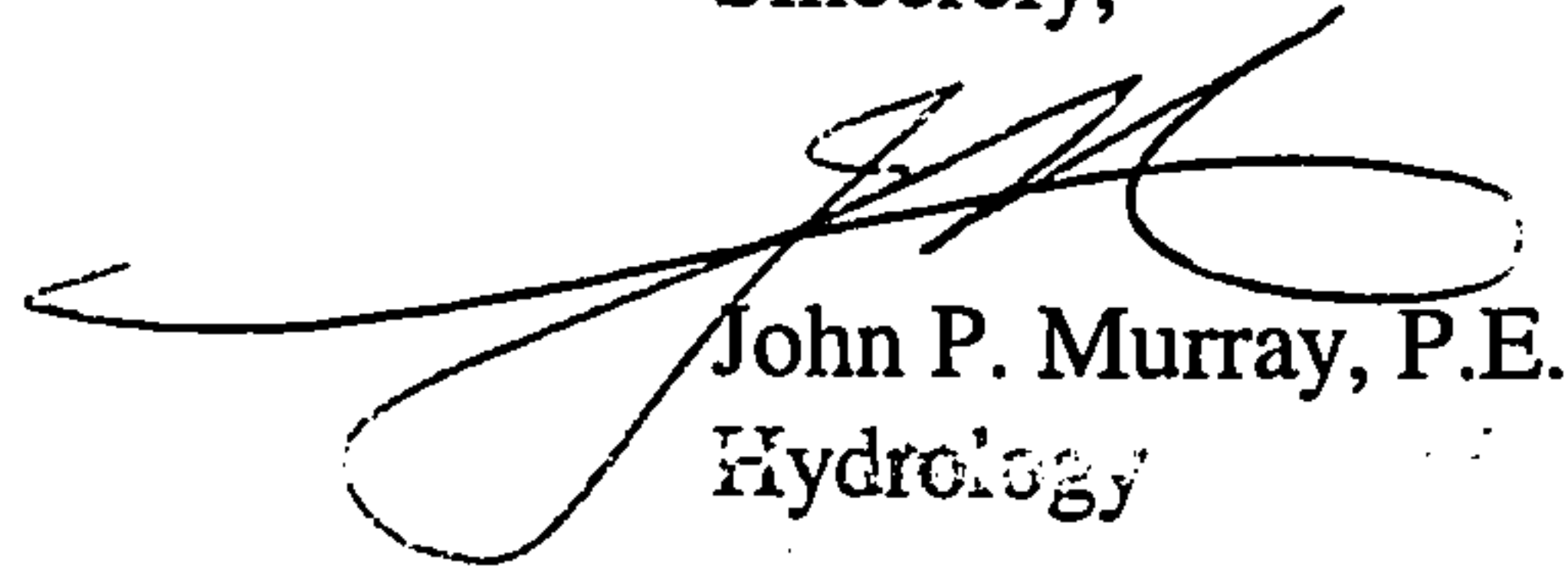
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If I can be of further assistance, please feel free to contact me at 924-3984.

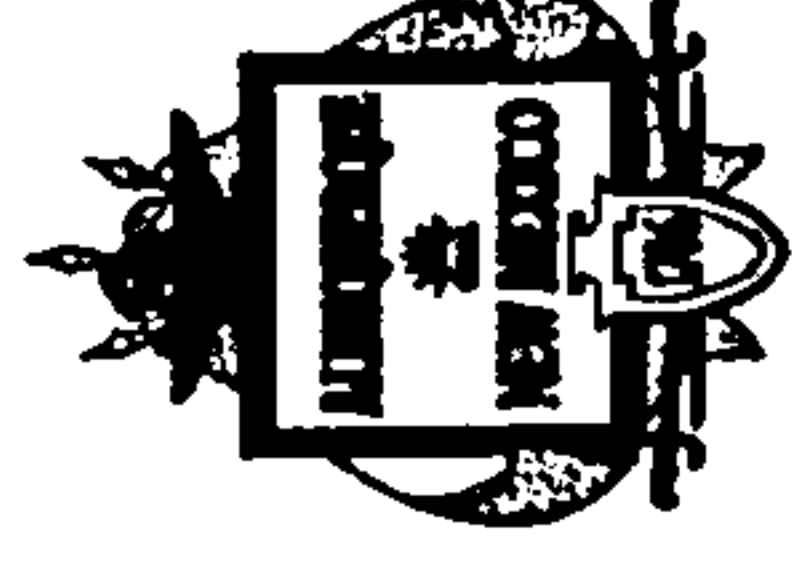
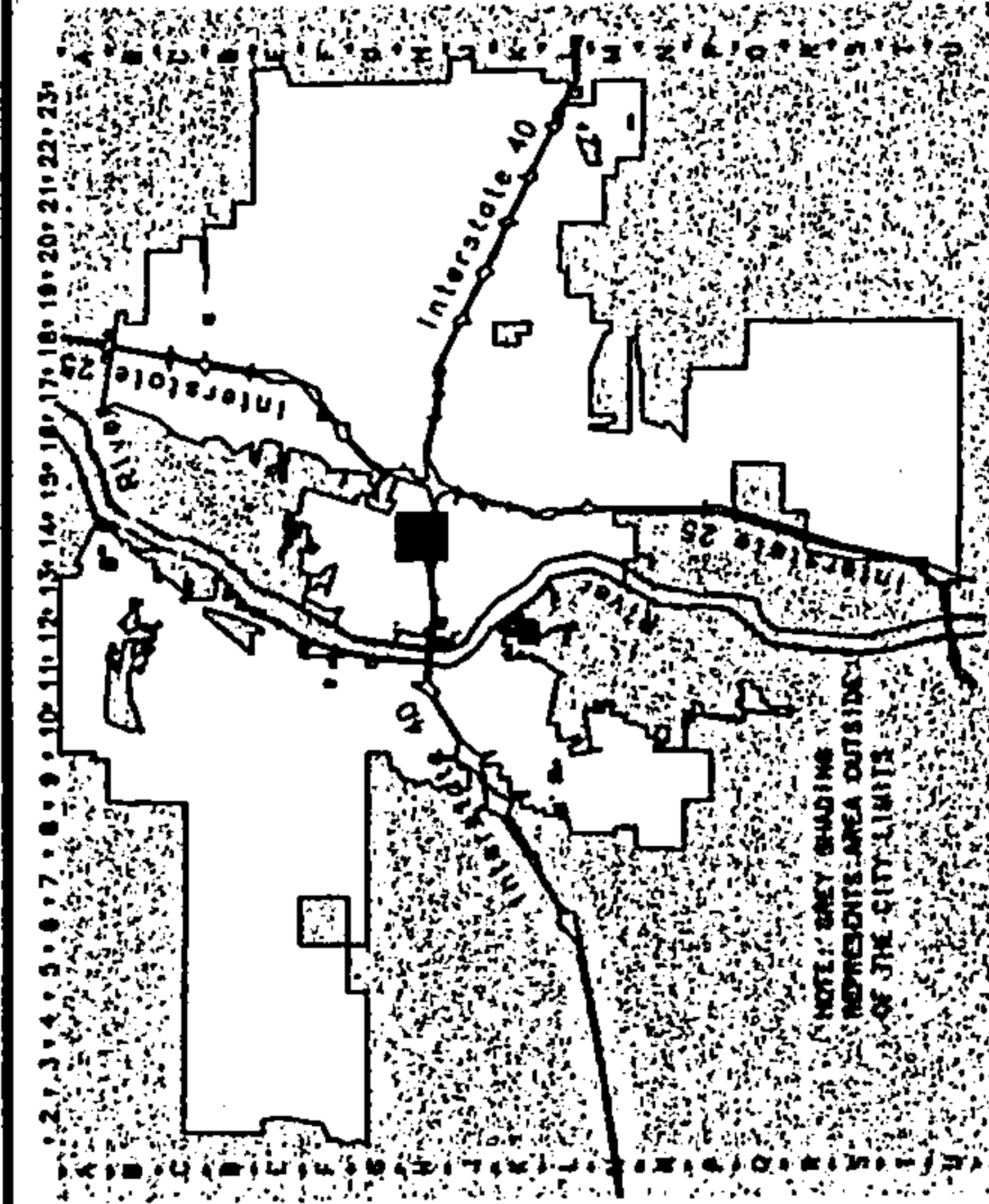
Sincerely,



John P. Murray, P.E.
Hydrology

c: R.J. Marney
WR
File

Cy mailed 1/17
R J Marney
345-1205
6812 Tokay St NE
ALBQ 87113



CITY OF
Albuquerque

Albuquerque **G**eneral **I**nterim
PLANNING DEPARTMENT

© Copyright 2000

2415-240000

GRAPHIC SCALE IN FEET



Zone Atlas Page

H-14-Z

Map Amended through July 28, 2000

RS Maoney

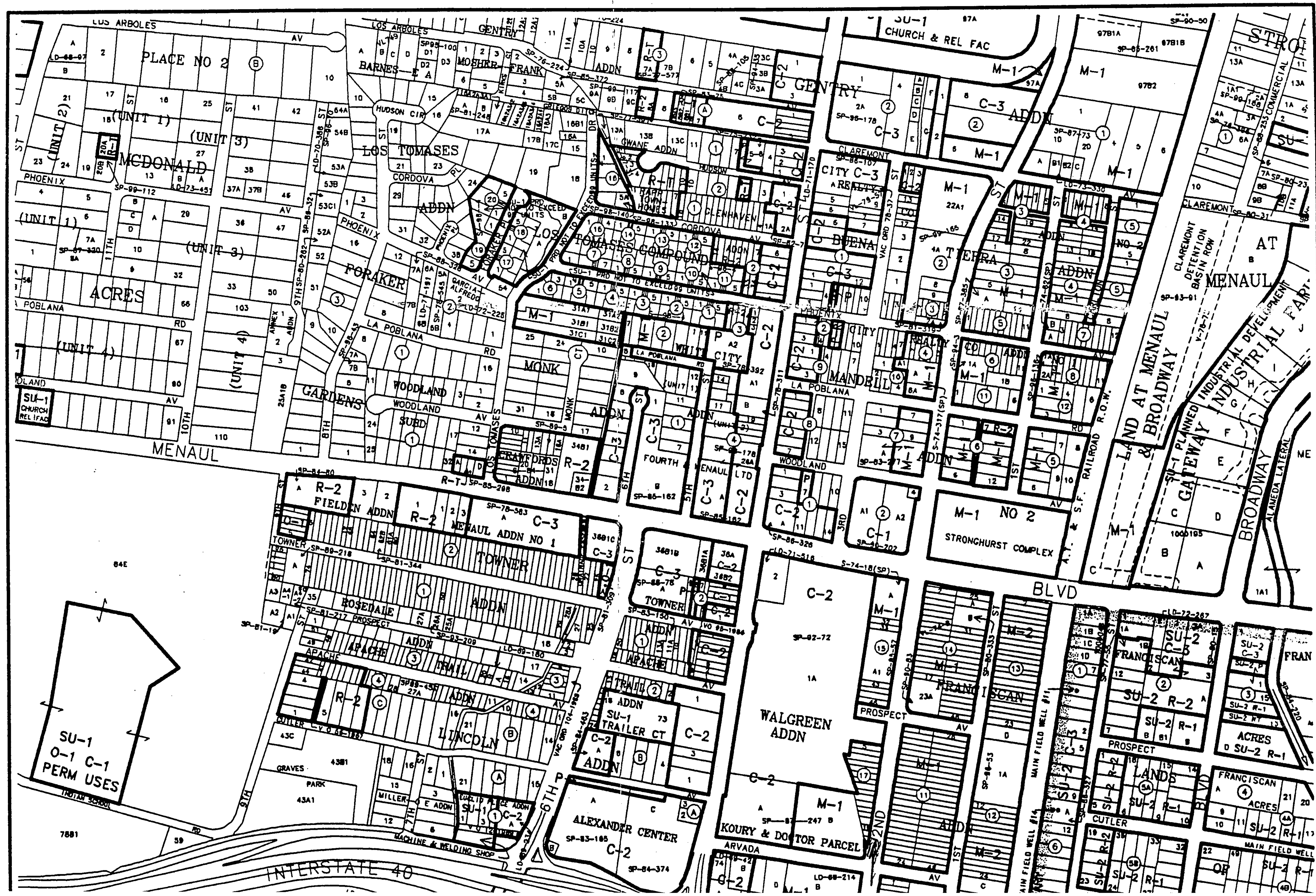
6812 Tokay St

UE

Atty. 87113

RS Maoney

845-1265



February 11, 2000

Mr. Ray Padilla, Esq.
Ray Padilla & Assoc.
12400 Menaul Blvd .NE
Albuquerque, N.M.87112

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**RAY A. PADILLA, P.C.
ATTORNEY AT LAW**

12400 Menaul Blvd., NE, Suite 120
Albuquerque, NM 87112
Telephone (505)298-5130

DATE: November 16, 2004

TIME:

OPERATOR: Dianna

FAXING 2 PAGES, including this page, TO-FAX NO.: 924-3864

TO: Brad Bingham

**FROM: RAY A. PADILLA, P.C.
RAY A. PADILLA, Esq.
12400 Menaul Blvd. NE, Suite 120
Albuquerque, New Mexico 87112**

505/298-5130/298-8778(FAX)

COMMENTS: See Attached.

FILE NAME/NO.: 2413 Second St. NW

CONFIDENTIALITY NOTICE

The documents accompanying this fax transmission contain information from the law firm of RAY A. PADILLA & ASSOCIATES, P.A., which is confidential and/or legally privileged. The information is intended only for the use of an individual or entity named on this transmission sheet.

If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, action, or reliance upon the contents of the documents is strictly prohibited.



City of Albuquerque

0094

February 11, 2000

Oct 26, 1984

Mr. Ray Padilla, Esq.
Ray Padilla & Assoc.
12400 Menaul Blvd .NE
Albuquerque, N.M.87112

File
2415 2nd St NW

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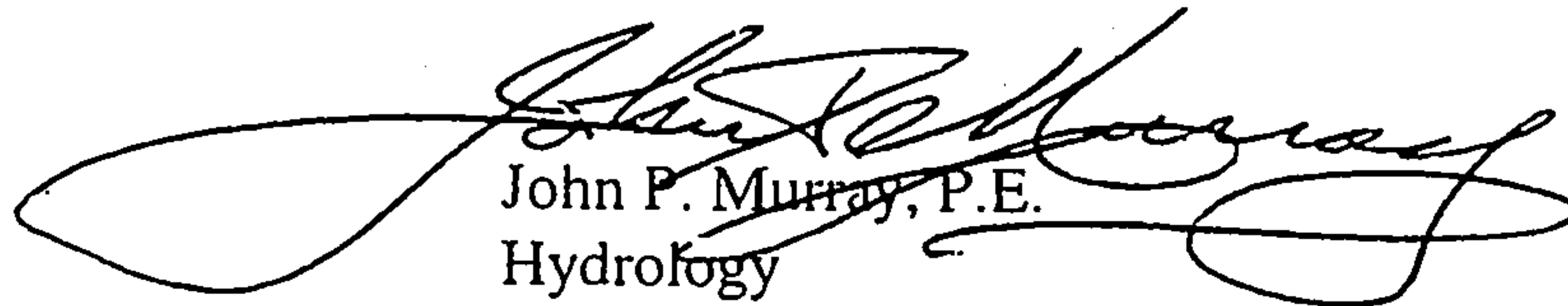
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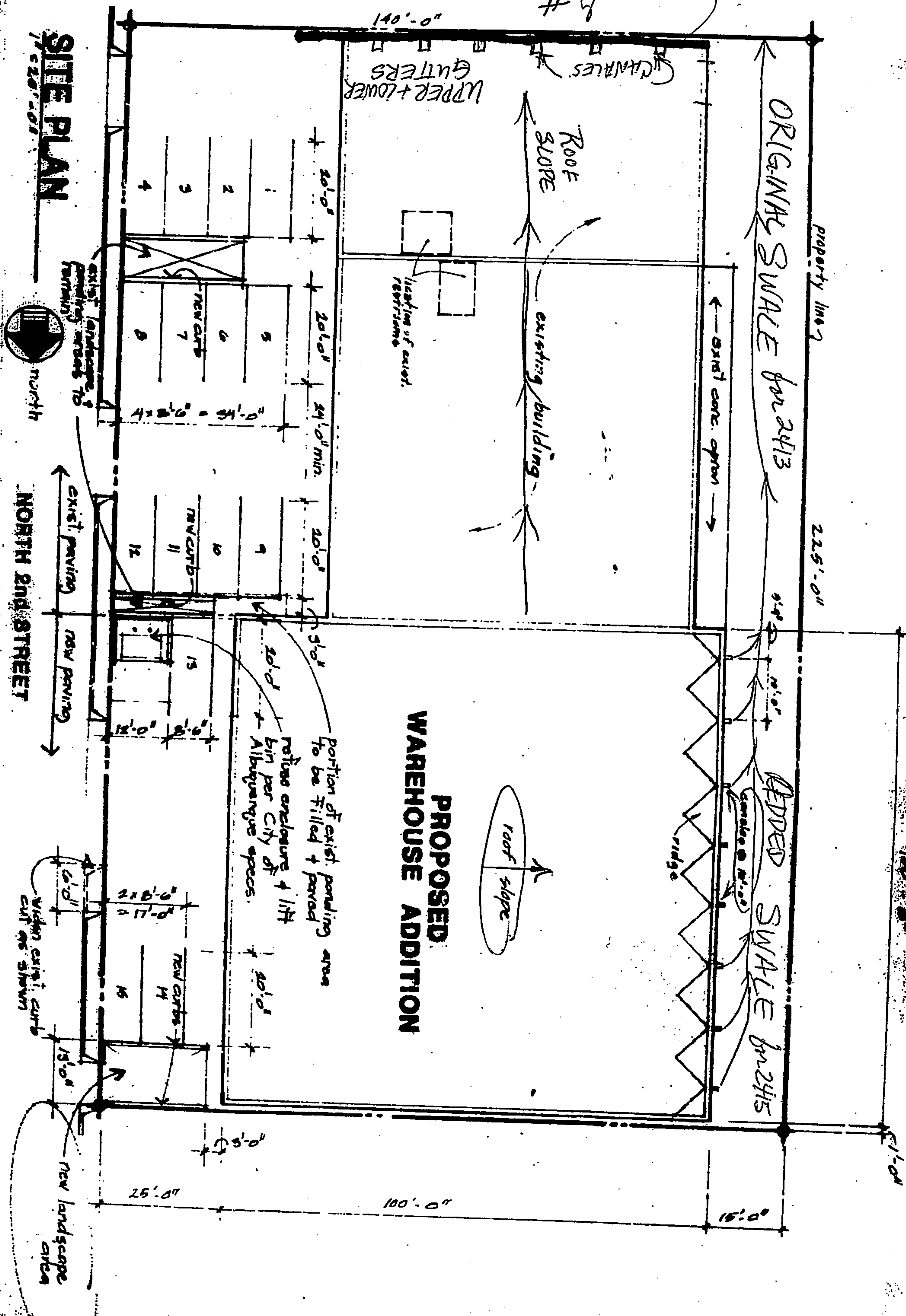
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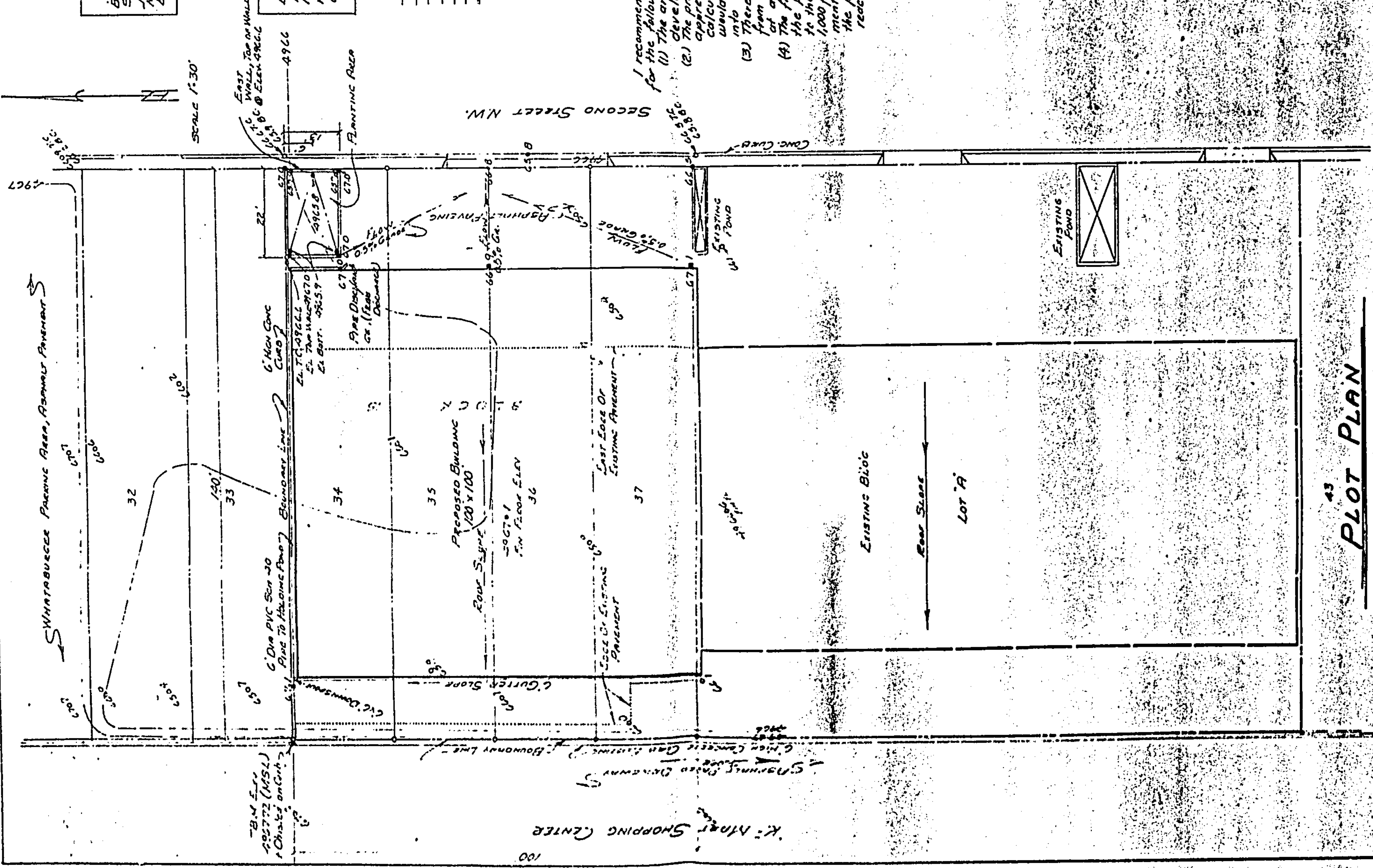
Sincerely,



John P. Murray, P.E.
Hydrology

c: ✓ R.J. Marney
WR
File





BENCH MARK DATA
B.M. Sta. N.M. 47-13, Elev. 4968.372 (SLD 1929)
Station is on the center of Second St. and 51' S. of
the south of the intersection of Second St. and 51' S. of
Main St. Station mark is a standard N.M.S.M.C.
cross tablet, stamped Sta. N.M. 47-13.

LEGAL DESCRIPTION
L17S 34, 35, 36 & 37 in Block No. 15 of the
replat of the Francisco Addition to the City of
Albuquerque, Bernalillo County, New Mexico, said
replat was filed in the Bernalillo County Clerk's
of file on December 17, 1934.

- LEGEND
- Existing Ground Surface contours
 - Contours of finished grades
 - Direction of flow
 - Boundary Lines
 - Proposed Building Lines
 - Existing Building Lines
 - Concrete Curb, Existing & Proposed
 - Spot Elevations on Existing Surface
 - Spot Elevations on Finish Surface

Recommendations

1. I recommend direct drainage into 2nd Street for the following reasons:
(1) The area is located in an 10 ft area which is highly developed.
(2) The area is located in an 10 ft area which is highly developed.
(3) The area is located in an 10 ft area which is highly developed.
2. The area is located in an 10 ft area which is highly developed.
3. The area is located in an 10 ft area which is highly developed.
4. The area is located in an 10 ft area which is highly developed.



CALCULATIONS

1. Ground Cover Information (From the U.S.C.S. Bernalillo Co. Soil Survey Plate 30, Gk.) Glendale Loom
2. Existing Conditions:
(a) Total Area: 100' x 140' = 14,000 Sq. Ft.
(b) Imp. Area: 90' x 100' = 9,000 Sq. Ft.
(c) Area: 90' x 100' = 9,000 Sq. Ft.
3. Developed Conditions:
(a) Imp. Area: 13,150 Sq. Ft.
(b) Area: 850 Sq. Ft.
4. COMPUTATIONS OF RUN-OFF (By Rational Method)
1. Discharge $Q = C \cdot I \cdot A$, where C varies, $I = 5.12''/hr$ from D.P. M. Chart, where C varies, $A = 14,000$ Sq. Ft.
2. Volume, $V = Q \cdot T$, where C varies, $T = 2.45$ (D.P. M. Chart), $V = 1,093$ Cu. Ft.
5. Existing Conditions:
(a) $Q = 1.00(5.12) \times 14,000 = 71,680$ c.f.s.
(b) $V = 1.00 \times 71,680 \times 2.45 = 175,616$ c.f.s.
(c) $Q = 0.30(5.12) \times 14,000 = 21,504$ c.f.s.
(d) $V = 0.30 \times 21,504 \times 2.45 = 15,840$ c.f.s.
(e) $Q = 1.27$ c.f.s. Total Run-Off
 $V = 1,093$ Cu. Ft.
6. Developed Conditions:
(a) $Q = 1.00(5.12) \times 13,150 = 67,328$ c.f.s.
(b) $V = 1.00 \times 67,328 \times 2.45 = 165,155$ c.f.s.
7. Difference in Existing Conditions and Developed Conditions:
(a) $Q = 1.00 - 1.27 = 0.27$ c.f.s.
(b) $V = 1.00 - 1.27 = 0.27$ c.f.s.
8. One-Flow Weir Capacity $Q = 3.33$ L.H.
One-Flow Weir Capacity $Q = 3.33$ L.H.

NOTES:
There are no off site flows into this property.
This area is not located in a flood plane.

- THE FOLLOWING ITEMS ARE CONSIDERED HEREIN:
- (1) Drainage Plan
 - (2) Calculations
 - (3) Vicinity Map
 - (4) Legal Description
 - (5) Bench Mark Data
 - (6) Legend

DRAINAGE PLAN FOR WAREHOUSE ADD.
COMPUTED BY SYSTEMS INC.
2015 2nd St. N.W.
Albuquerque, N.M. 87102
By: Thomas M. M...
Revised on 10-26-1988
Thomas M. M... NARE & L.S. No. 3348

L. Anthony L. Harris, a Professional Surveyor, licensed under the laws of the State of New Mexico, the above described property and that the plat herein drawn is a true and correct representation of the knowledge and belief, and meets the minimum standards for land surveys in the State of New Mexico. It is shown herein are based on the Plat or Deed of Record, unless otherwise indicated herein. That of record; that there are no encumbrances from the said property onto adjoining properties; and that it shows the location of all the improvements pertinent to the said survey.

Given under my hand and seal of Abundance, New Mexico, this 06th day of SEPTEMBER

[illegible]

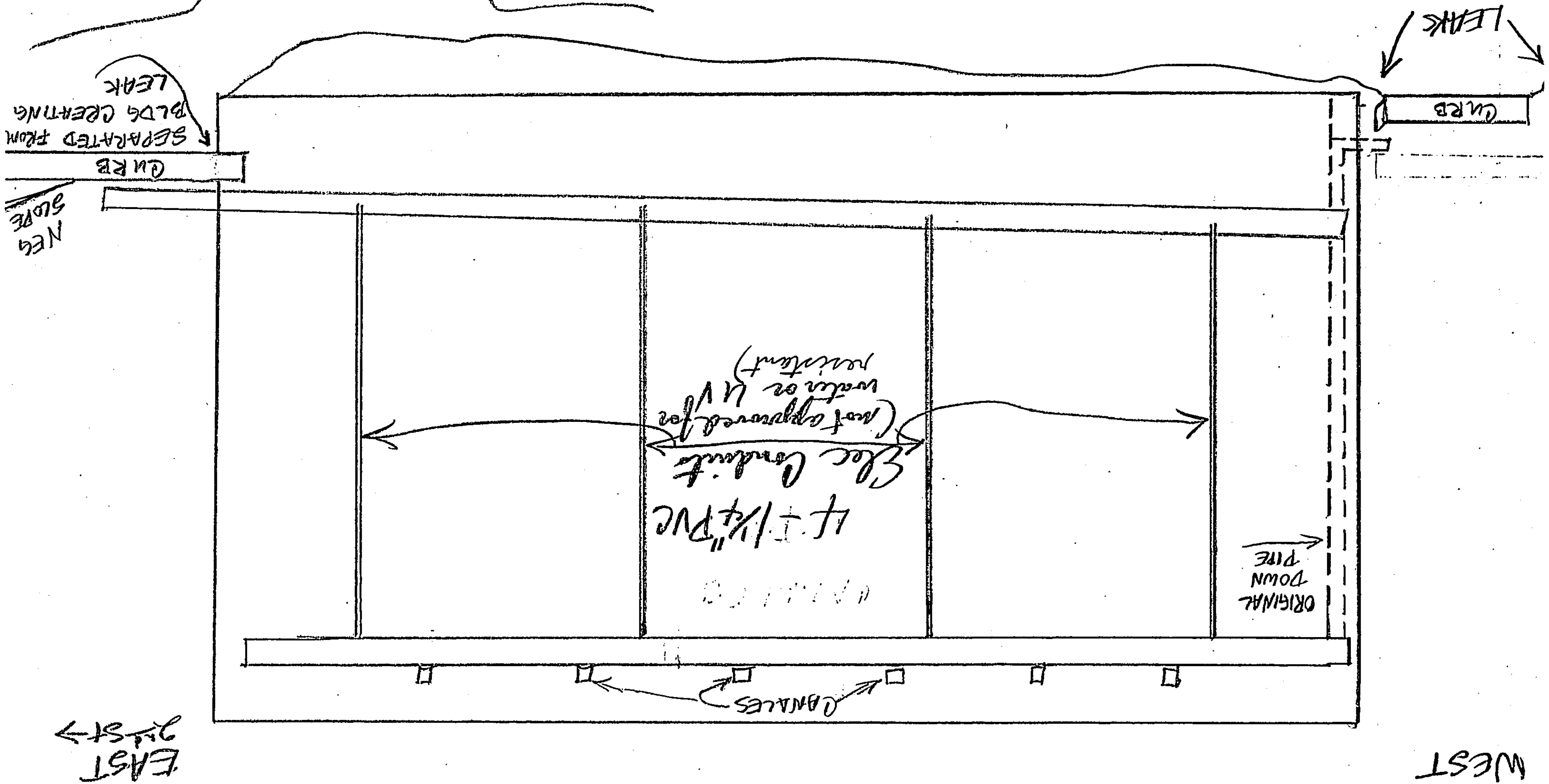
LOT NUMBERED FORTY-THREE (43), FORTY-FOUR (44), FORTY-FIVE (45), FORTY-SIX (46), FORTY-SEVEN (47), FORTY-EIGHT (48), FORTY-NINE (49), FIFTY (50), FIFTY-ONE (51), FIFTY-TWO (52), FIFTY-THREE (53), FIFTY-FOUR (54), FIFTY-FIVE (55), FIFTY-SIX (56), FIFTY-SEVEN (57), FIFTY-EIGHT (58), FIFTY-NINE (59), SIXTY (60), SIXTY-ONE (61), SIXTY-TWO (62), SIXTY-THREE (63), SIXTY-FOUR (64), SIXTY-FIVE (65), SIXTY-SIX (66), SIXTY-SEVEN (67), SIXTY-EIGHT (68), SIXTY-NINE (69), SEVENTY (70), SEVENTY-ONE (71), SEVENTY-TWO (72), SEVENTY-THREE (73), SEVENTY-FOUR (74), SEVENTY-FIVE (75), SEVENTY-SIX (76), SEVENTY-SEVEN (77), SEVENTY-EIGHT (78), SEVENTY-NINE (79), EIGHTY (80), EIGHTY-ONE (81), EIGHTY-TWO (82), EIGHTY-THREE (83), EIGHTY-FOUR (84), EIGHTY-FIVE (85), EIGHTY-SIX (86), EIGHTY-SEVEN (87), EIGHTY-EIGHT (88), EIGHTY-NINE (89), NINETY (90), NINETY-ONE (91), NINETY-TWO (92), NINETY-THREE (93), NINETY-FOUR (94), NINETY-FIVE (95), NINETY-SIX (96), NINETY-SEVEN (97), NINETY-EIGHT (98), NINETY-NINE (99), ONE HUNDRED (100).

Scale: 1" = 20'
Order No. 95-1446
Field Book
Ordered By
Page:

The property shown hereon is ACT w
100 year flood plain. Zone "X". FIRM
35001C332D Dated: 5-26

27

2413 2nd St South Elevation



Summary:

Question: Is it not illegal to alter a component or a system that originally required approval, permit, and inspection without going through the approval process again?

When a property deteriorates to a point where it becomes a safety hazard, or is no longer in compliance with the original approved building design, does the City have recourse to force correction or compliance?

Where is the paper file on this property? A copy of the entire file is needed to pursue a legal remedy to this problem.

Is there a letter written in year 2000 from a hydrology engineer sent to Brad Bingham addressing the drainage problems on this property? The owner says it was sent to Brad Bingham in response to Brad's letter to him.

The original system for the south building was deficient and has been allowed to deteriorate to a point where it no longer functions. This problem has caused the building to settle and the walls to crack. Weeds have been allowed to grow high enough to make it difficult to see a new break in the swale, but can still be located.

The building code was violated and the problem was exacerbated by the failure to build the engineered system when the north addition was constructed. (See drawings in file H14/D39. Ref letter by John Murray)

The building code was violated again when the substandard and unapproved alterations of 1 1/4" PVC conduits were added and runoff was dumped on adjoining property.

The building code was violated again when the lower substandard gutter was added dumping water into a parking lot that does not drain. In addition this gutter will become inaccessible for maintenance and repairs when I start utilizing my property.

The parking lot has deteriorated with large cracks creating a safety hazard.

Because the parking lot does not drain, the required parking is no longer being provided due to water standing for several days.

The current lease expires today, 3/31/05. The tenant is moving, leaving the building empty and creating an opportune time to make the needed corrections.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 9, 2001

Mr. Ray Padilla, Esq.
Ray Padilla & Assoc.
12400 Menaul Blvd. NE
Albuquerque, NM 87112

CERTIFIED MAIL

RE: DRAINAGE REQUIREMENTS REGARDING PROPERTY AT 2413 SECOND STREET NW (H14-D39).

Dear Mr. Padillo:

A year ago next month, City Hydrology apprised you of deficiencies in/problems with the existing drainage conditions for the 2413 Second Street NW property. (Enclosure)

Storm runoff from this property was intended to discharge to Second Street and on into the storm drain system. The current condition still has the runoff from the north and west portions of your building/site discharge across the adjacent property to the south. This crosslot drainage is prohibited by ordinance. While the gutter (channel) installed at the base of the south side of your building now collects and prevents direct discharge of roof runoff onto the neighboring property, its location along/on the property line will make for difficult, if not, impossible maintenance once that neighboring property is developed.

Your neighbor is quite anxious to develop his property for business; however, he cannot do so with any degree of assurance until the storm drainage issues/problems associated with your property are addressed. A Professional Engineer specializing in Drainage should be engaged to evaluate your site and to recommend the necessary measures to meet the Drainage Ordinance requirements. Your neighbor will be required to do the same in developing his site.

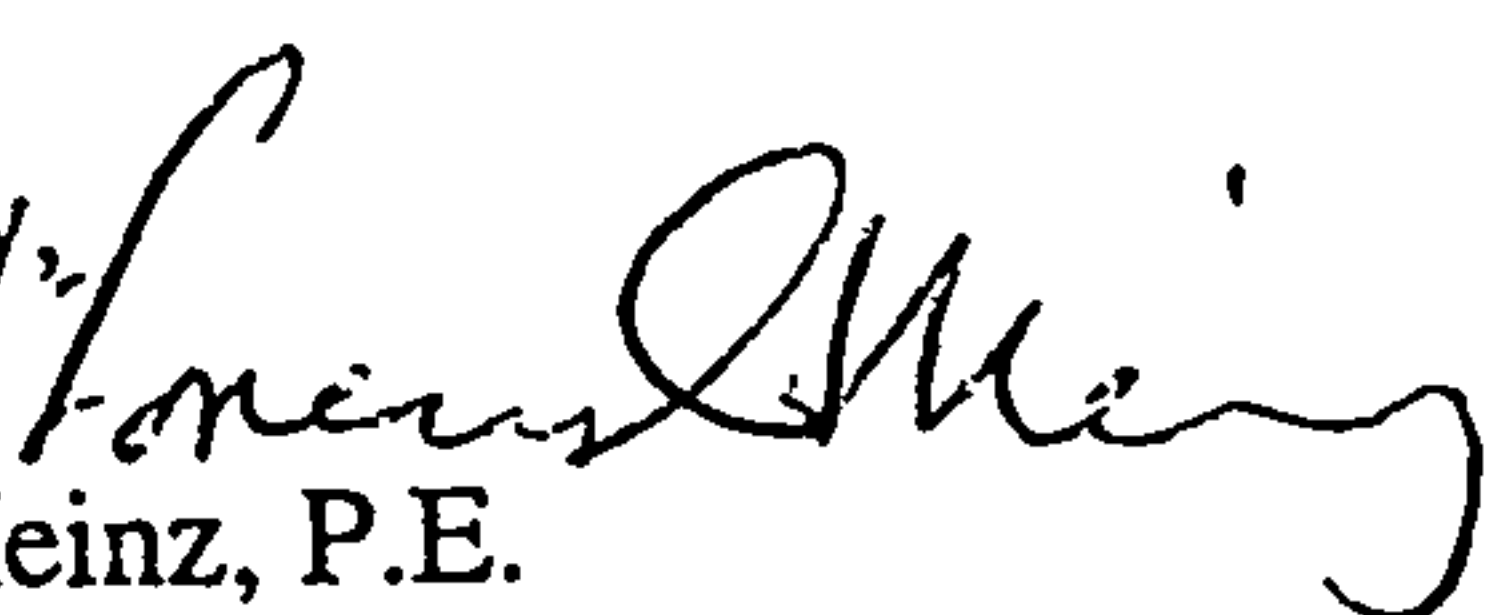
***Please inform us of your anticipated schedule to rectify these conditions.

If we can be of further assistance, please feel free to contact me at 924-3980 or John Murray at 924-3984

Encl.

✓ c: R.J. Marmey
Whitney Reiersen
File

Sincerely,


Loren Mainz, P.E.
Chief, Hydrology Division



City of Albuquerque

0094

February 11, 2000

Mr. Ray Padilla, Esq.
Ray Padilla & Assoc.
12400 Menaul Blvd .NE
Albuquerque, N.M.87112

*File
2415 2nd St NW*

REGISTERED MAIL

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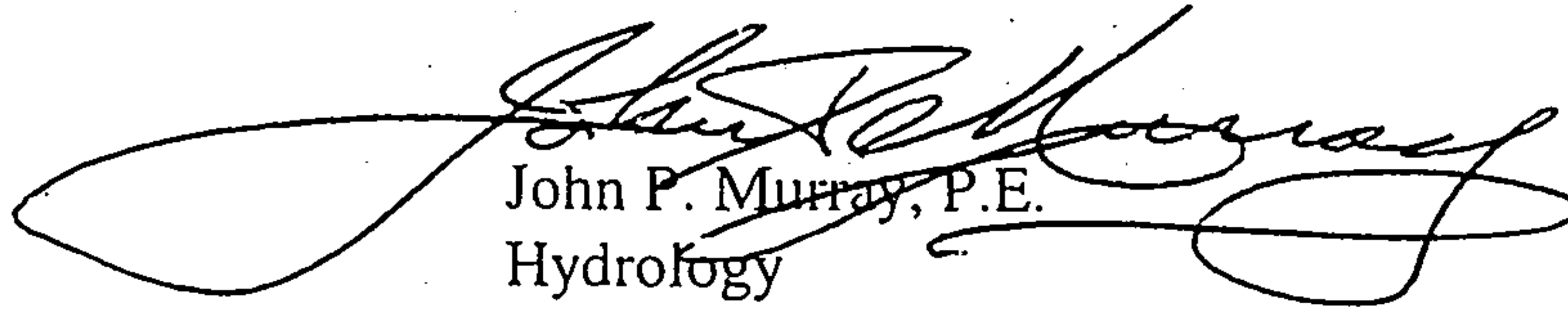
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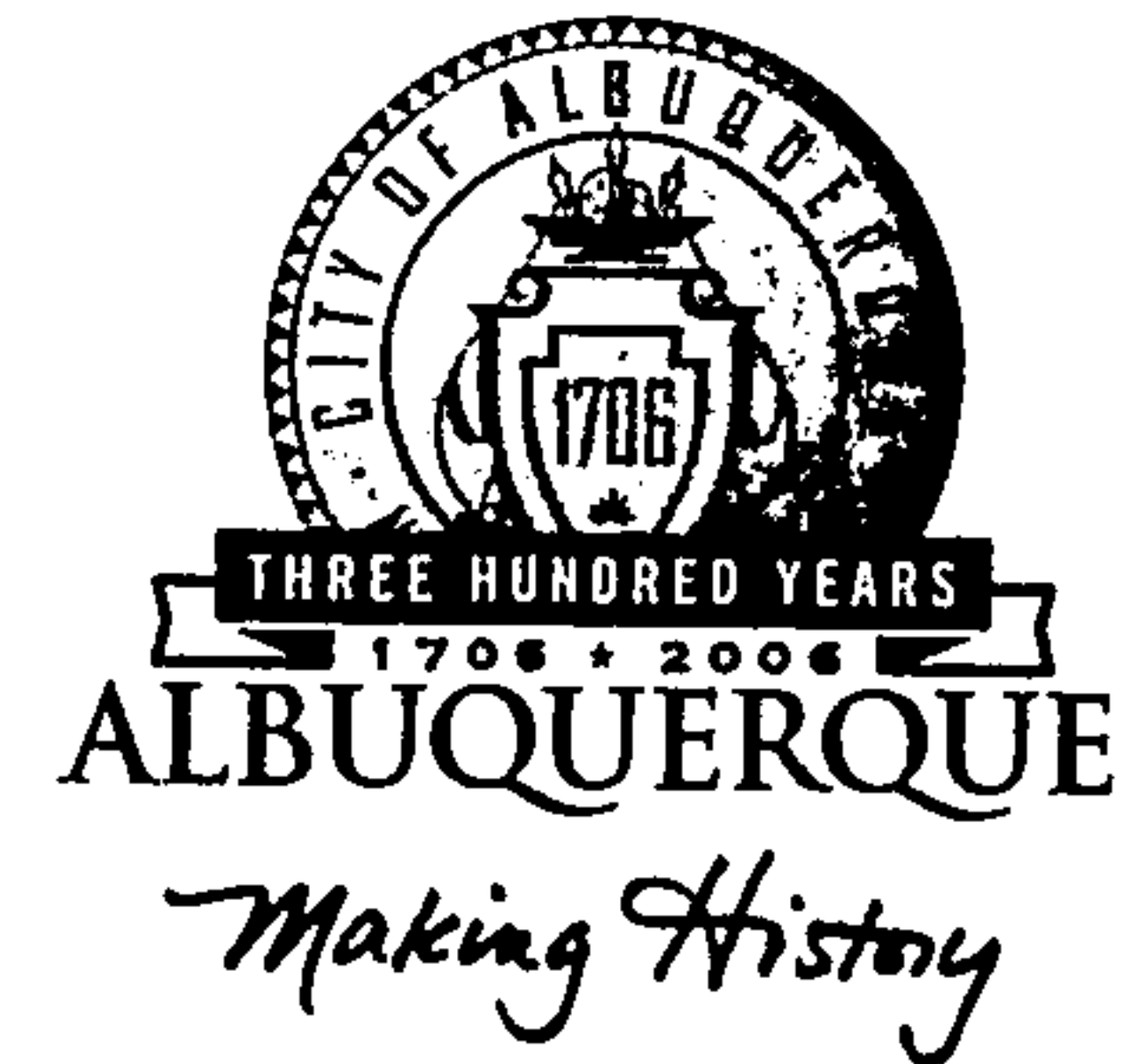
Sincerely,



John P. Murray, P.E.
Hydrology

c: ✓ R.J. Marney
WR
File

CITY OF ALBUQUERQUE



November 5, 2004

Ray Padilla
12400 Menaul Blvd NE
Albuquerque, NM 87112

Re: Drainage Complaint at 2413 Second Street NW

Dear Mr. Padilla,

In February of 2000 and again in January of 2001, letters were sent to you (copies enclosed) asking you to address the problem created when runoff from your property enters the property to the south (2415 Second Street). To date, **nothing** has been done to rectify this problem. I am very concerned about the inaction and would like you to contact my office to discuss this situation. Please contact me at 924-3986.

P.O. Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Bradley L. Bingham, PE
City Hydrologist

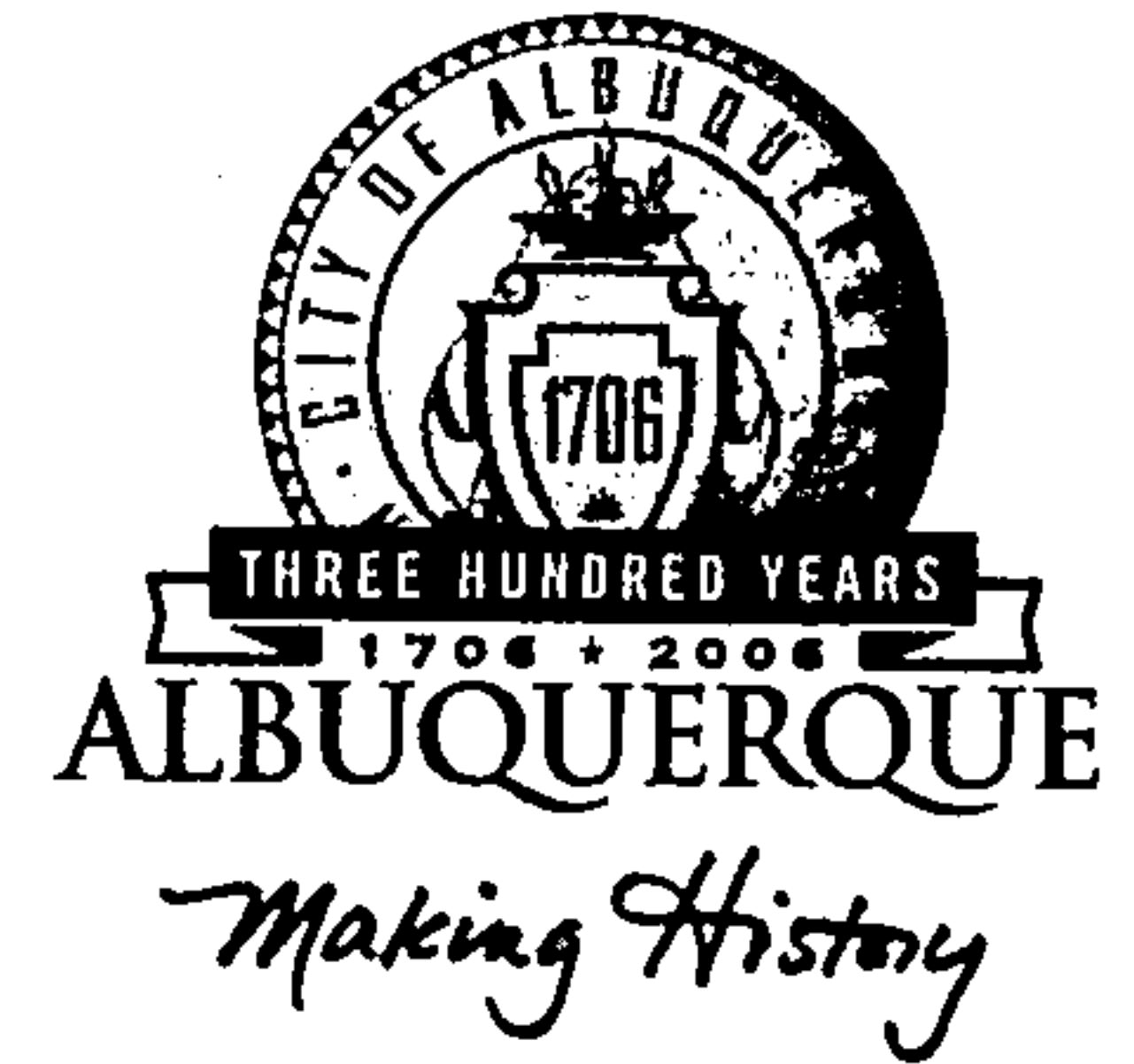
www.cabq.gov

C: RJ Marney, 6812 Tokay NE, 87113
file

CITY OF ALBUQUERQUE

April 14, 2005

Ray Padilla
12400 Manual Blvd. NE
Albuquerque, NM 87112



RE: Storm Drainage runoff from 2415 Second Street NW onto 2413 Second Street NW

Dear Mr. Padilla,

It has come to my attention that there is storm water runoff generated from 2415 Second Street NW flowing onto 2413 Second Street located just south of your property. This storm water issue has been brought to your attention in previous letters to you from Mr. John Murray, PE dated Feb. 11, 2000, Mr. Loren Mainz, PE dated Jan. 9, 2001 and Mr. Bradley Bingham, PE dated Nov. 5, 2004 (letters enclosed).

Mr. Bradley Bingham of the City Engineer's office recently conducted a site inspection of your property. Your property is presently draining across and/or into 2413 Second Street without an easement, which is a violation of the Drainage Ordinance, Section 12(B)(1) (copy enclosed). This section states "Construction, grading or paving on any lot within the jurisdiction of the City of Albuquerque shall not increase the damage potential to upstream, downstream or adjacent properties or public facilities...."

A New Mexico Professional Registered Engineer specializing in drainage should be engaged to evaluate your site and to recommend the necessary measures to comply with the requirements of the Drainage Ordinance.

Please contact my office at 924-3999 and notify me as for when we can expect to hear from your engineer.

Thank you in advance for your cooperation.

www.cabq.gov

Sincerely,

Richard Dourte, PE
City Engineer

Cc: R. J. Marney (enclosures)
Richard Dineen, AIA, Planning Director
~~Bradley Bingham, PE, City Hydrologist~~
Kevin Curran, Esq., Assist. City Attorney



City of Albuquerque

0684

February 11, 2000

Mr. Ray Padilla, Esq.
Ray Padilla & Assoc.
12400 Menaul Blvd .NE
Albuquerque, N.M.87112

File
2415 2nd St NW

REGISTERED MAIL

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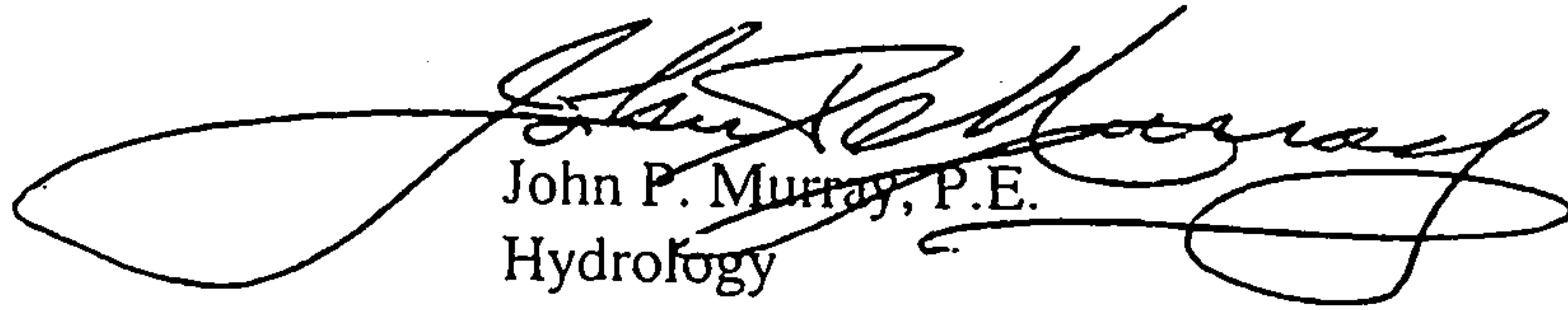
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John P. Murray, P.E.
Hydrology

c: ✓ R.J. Marney
WR
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 9, 2001

Mr. Ray Padilla, Esq.
Ray Padilla & Assoc.
12400 Menaul Blvd. NE
Albuquerque, NM 87112

CERTIFIED MAIL

RE: DRAINAGE REQUIREMENTS REGARDING PROPERTY AT 2413 SECOND STREET NW (H14-D39).

Dear Mr. Padillo:

A year ago next month, City Hydrology apprised you of deficiencies in/problems with the existing drainage conditions for the 2413 Second Street NW property. (Enclosure)

Storm runoff from this property was intended to discharge to Second Street and on into the storm drain system. The current condition still has the runoff from the north and west portions of your building/site discharge across the adjacent property to the south. This crosslot drainage is prohibited by ordinance. While the gutter (channel) installed at the base of the south side of your building now collects and prevents direct discharge of roof runoff onto the neighboring property, its location along/on the property line will make for difficult, if not, impossible maintenance once that neighboring property is developed.

Your neighbor is quite anxious to develop his property for business; however, he cannot do so with any degree of assurance until the storm drainage issues/problems associated with your property are addressed. A Professional Engineer specializing in Drainage should be engaged to evaluate your site and to recommend the necessary measures to meet the Drainage Ordinance requirements. Your neighbor will be required to do the same in developing his site.

***Please inform us of your anticipated schedule to rectify these conditions.

If we can be of further assistance, please feel free to contact me at 924-3980 or John Murray at 924-3984

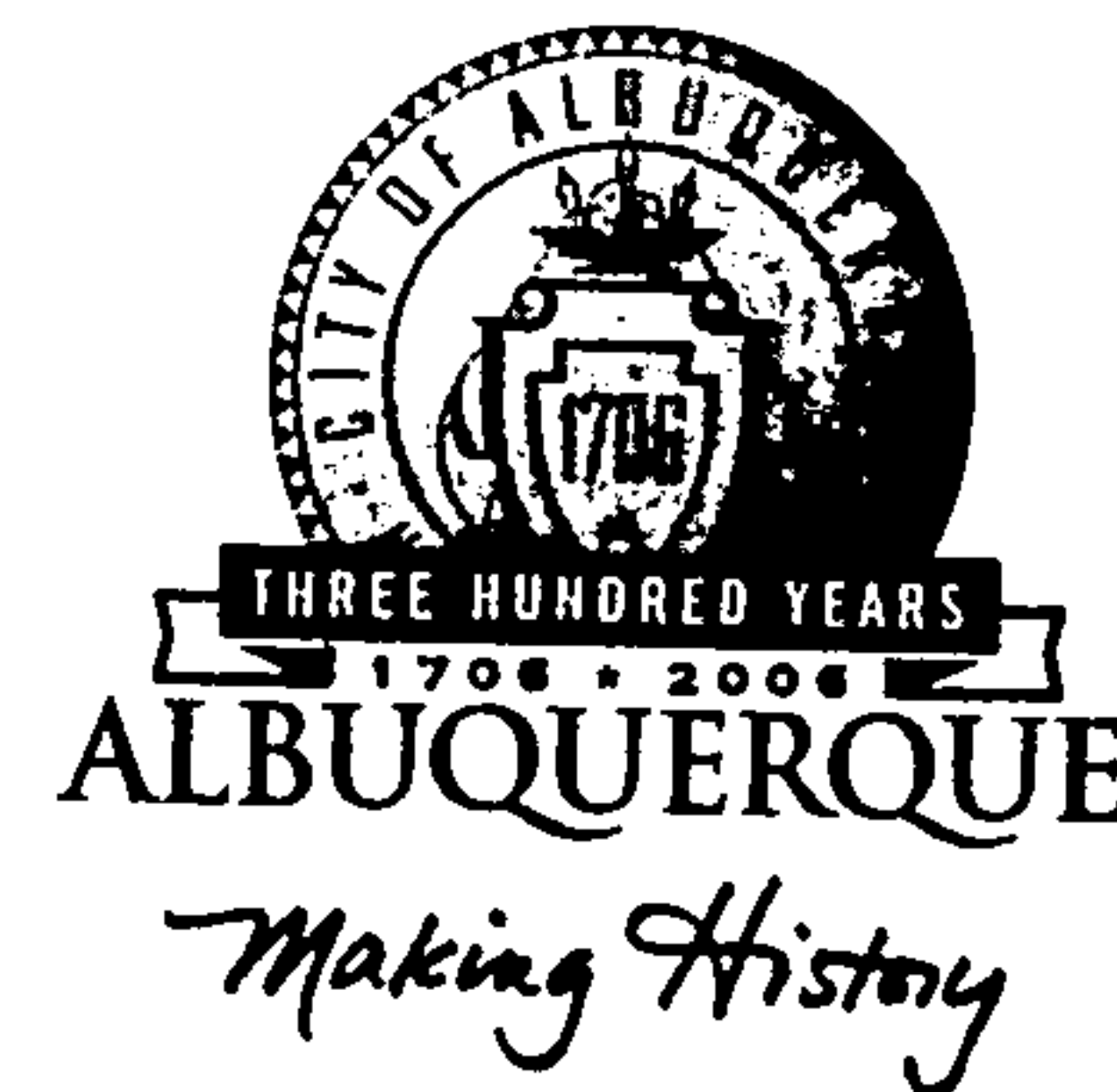
Sincerely,

Loren Mainz, P.E.
Chief, Hydrology Division

Encl.

✓ c: R.J. Marmey
Whitney Reiersen
File

CITY OF ALBUQUERQUE



November 5, 2004

Ray Padilla
12400 Menaul Blvd NE
Albuquerque, NM 87112

Re: Drainage Complaint at 2413 Second Street NW

Dear Mr. Padilla,

In February of 2000 and again in January of 2001, letters were sent to you (copies enclosed) asking you to address the problem created when runoff from your property enters the property to the south (2415 Second Street). To date, **nothing** has been done to rectify this problem. I am very concerned about the inaction and would like you to contact my office to discuss this situation. Please contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
City Hydrologist

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

C: RJ Marney, 6812 Tokay NE, 87113
file

Albuquerque Code of Ordinances

criteria and standards formulated by the City Engineer and in accordance with the policies established in §§ 14-5-2-1 et seq.

(B) All construction activities within the jurisdiction of the city shall conform to the requirements of the City Engineer with respect to drainage control, flood control and erosion control. Original construction and modifications and/or additions to existing structures constituting less than 500 square feet, in plan view, are excluded.

~~(1) Construction, grading or paving on any lot within the jurisdiction of the city shall not increase the damage potential to upstream, downstream or adjacent properties or public facilities.~~ Damages shall be defined as those caused by flooding from the 100-year design storm and all smaller storms and from erosion and sedimentation resulting from the 10-year design storm and all smaller storms.

(2) During the months of July, August or September, any grading within or adjacent to a watercourse defined as a major facility shall provide for erosion control and the safe passage of the 10-year design storm runoff during the construction phase.

(3) Grading, cut, fill or importation of material in excess of 500 cubic yards or grading of any area of one acre or more shall conform to drainage control, flood control and erosion control policies and to standards, criteria and procedures established by the City Engineer with respect to drainage, flood control and erosion control. A grading permit, issued by the City Engineer, shall be required for projects involving more than 500 cubic yards of material or one acre or more in area. Applications for development of areas known to have been sanitary landfills shall be accompanied by a report which discusses potential health and soil mechanics problems and their solutions. Such reports shall be prepared by a New Mexico Professional Engineer competent in soil mechanics.

(4) Paving an area larger than 1,000 square feet shall require a paving permit. Applications for paving permit shall be accompanied by a drainage plan if deemed necessary by City Engineer. Repaving of existing paved areas in which no grading is planned is excluded.

(5) The City Engineer shall not issue a grading or paving permit unless the proposed grading or paving is in compliance with the policies of §§ 14-5-2-1 et seq. and the standards and criteria of the City Engineer as provided for by § 14-5-2-13.

(C) The city may participate with the private sector, other public bodies and agencies operating within the jurisdiction of this policy in order to accomplish the goals and implement the policies adopted in §§ 14-5-2-1 et seq. This includes, but shall not be limited to, the development and adoption of master plans, participation in the construction of projects and exercising control through the planning, platting, zoning, and permitting processes. Projects involving city funding shall be prioritized, funded and scheduled within the guidelines of the CIP and with CIP Projects.

July 5, 2000

JUL 7 2000

Mr. John Murray
City of Albuquerque PWD - Hydrology Dept.
Plaza del Sol Building
600 Second St. N.W.
Albuquerque NM 87104

Re: Letter of February 11, 2000 to Ray Padilla concerning drainage issues as 2413 Second Street N.W.

Dear John,

In follow-up to our phone conversation last week I am enclosing a "mark-up" drawing of the existing drainage plan for the property at 2413 Second Street. As I explained last week, Mr. Padilla has made improvements (as noted in your letter) that prevent any drainage from the south building from discharging onto the residential property to the south. At the present time all run-off from Mr. Padilla's property is either retained on-site or freely discharges to Second Street.

After reviewing the existing drainage plan, Mr. Padilla has expressed an interest in taking advantage of the "free discharge" provision of the plan as appears to be intended by the "recommendations" section of the plan. The "mark-up" plan as enclosed would accomplish this goal and would address all of your concerns as outlined in your letter.

Mr. Padilla is prepared to consider this remedy under the condition that the City verifies the improvements on an administrative level. The prospect of processing an updated drainage plan through the City DRC process would likely result in engineering costs in excess of construction costs, and in this case would be of no additional benefit to the City. In any event, Mr. Padilla will ultimately require a letter from the City that confirms that no run-off from his property is discharging to the residential property to the south, and that all run-off from his property is either retained on-site or discharges freely to Second Street as allowed by the existing approved drainage plan.

Thanks in advance for your help in resolving this matter. If you would like to discuss this situation further with me, I can be reached at (505) 235-2790 or a message can be left at (505) 881-5357. We await your recommendations on how best to proceed.

Sincerely,



Carlos G. Padilla, P.E.

Copy: Ray A. Padilla, Esq.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

SURVEY SECTION

123 Central NW, Albuquerque, NM 87102
(505) 766-5046

October 26, 1984

Mr. Tom Martinez
P.O. Box 556
Cedar Crest, NM 87008

RE: Drainage Plan for Warehouse Construction (H-14/C-39)
Received October 23, 1984

Dear Tom:

The above referenced plan, dated October 23, 1984 is approved.

Please attach a copy of this approved plan to the construction set prior to hydrology sign-off.

If I can be of further assistance, please contact me at 766-7644.

Sincerely,

Carlos A. Montoya
City/County Flood Plain Administrator

CAM/jr

cc: Pete Sisneros

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Shoppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 768-7487

AN EQUAL OPPORTUNITY EMPLOYER

RS Murray
345-1205
6812 Tokay NE
87113

H14/D39

1 Plan

Richard Arman

INFORMATION SHEET

PROJECT TITLE Warehouse Constr. TYPE OF SUBMITTAL Drainage Plan
 ZONE ATLAS PAGE NO. H-1402 CITY ADDRESS 2415 2nd St, Albany, N.Y. 12202
 LEGAL DESCRIPTION Lots 34, 35, 36 & 37 Francis Addition
 ENGINEERING FIRM Tom Martinez CONTACT Tom Martinez
 ADDRESS RU Box 556 Cedar Crest PHONE 281-5616
 ADDRESS N.Y. 12202
 OWNER Pete Sinneris CONTACT Pete Sinneris
 ADDRESS 2415 2nd St NW. PHONE _____
 ADDRESS Albany 12202
 ARCHITECT _____ CONTACT _____
 ADDRESS _____ PHONE _____
 SURVEYOR _____ CONTACT _____
 ADDRESS _____ PHONE _____
 CONTRACTOR _____ CONTACT _____
 ADDRESS _____ PHONE _____

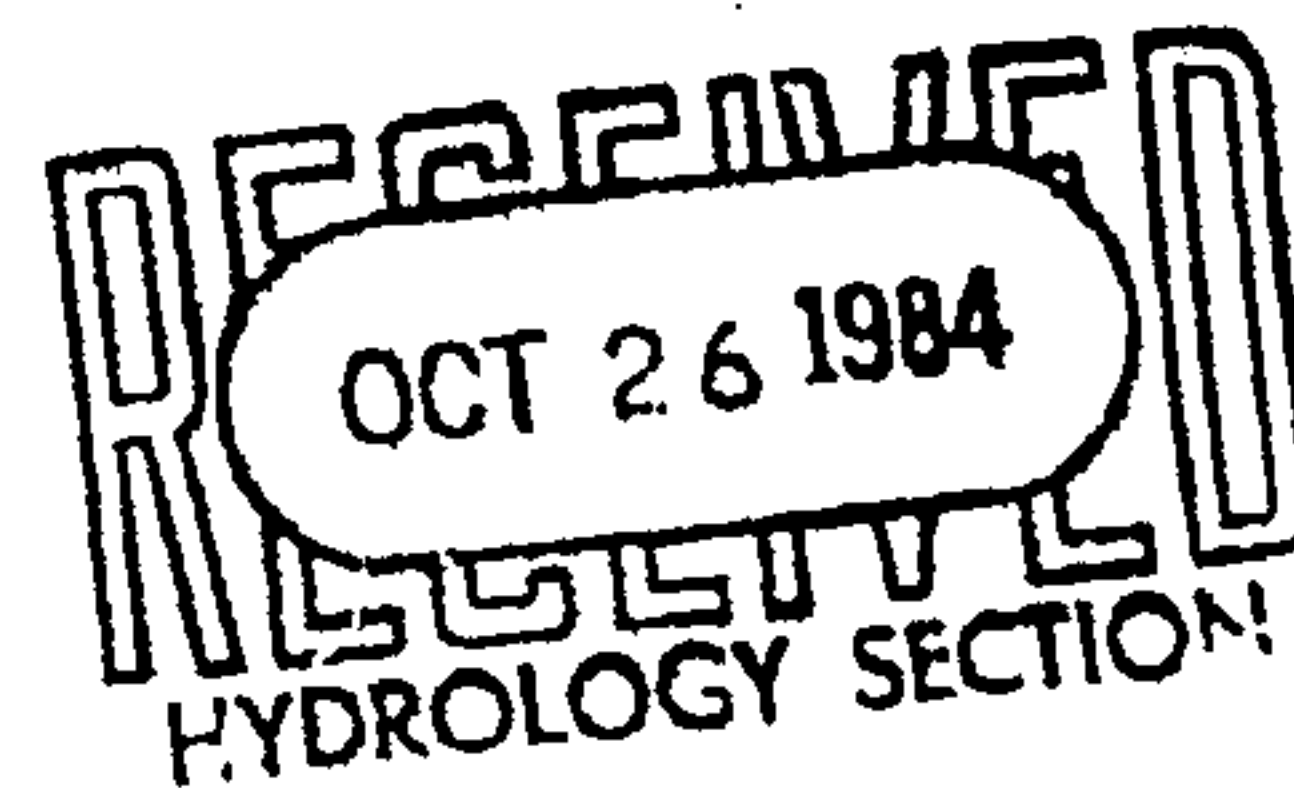
PRE-DESIGN MEETING:

☒ YES
☐ NO
☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

PLEASE CHECK TYPE OF APPROVAL EXPECTED WITH THIS SUBMITTAL:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: Oct 26, 1984
 BY: Thomas Martinez



Approved —
 Form 1

INFORMATION SHEET

PROJECT TITLE Warehouse Addition TYPE OF SUBMITTAL DRAINAGE PLAN
ZONE ATLAS PAGE NO. H-14-2 CITY ADDRESS 2415 2ND ST. NW ALBUQ 87102
LEGAL DESCRIPTION Lots 34, 35, 36 & 37, Blk 15, Franciscan Addition
ENGINEERING FIRM Tom Martinez CONTACT same.
ADDRESS P.O. Box 556, Cedar Crest, 87042 PHONE 281-5616
OWNER Pete Sinaids CONTACT same.
ADDRESS 2415 2nd St. N.W. Albuquerque, 87102 PHONE 842-6720
ARCHITECT _____ CONTACT _____
ADDRESS _____ PHONE _____
SURVEYOR Tom Martinez CONTACT same.
ADDRESS _____ PHONE 281-5616
CONTRACTOR _____ CONTACT _____
ADDRESS _____ PHONE _____

PRE-DESIGN MEETING:

☐ YES
☐ NO
☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

PLEASE CHECK TYPE OF APPROVAL EXPECTED WITH THIS SUBMITTAL:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: Oct. 23, 1984

BY Thomas Martinez