

CITY OF ALBUQUERQUE



August 31, 2016

Freddie P. Montoya
Casa Design Studio
1250 Angel Rd
Corrales, NM 87048

Re: Perez Collision Center
2415 2nd St NW
Traffic Circulation Layout
Architect's Stamp dated 08-24-16 (H14D039)

Dear Mr. Montoya,

The TCL submittal received 08-25-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: PEREZ COLLISION CENTER ADDITION & RENOVATION Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT A-1 LANDS OF COMFORT AIR SYSTEMS INC.

City Address: 2415 2ND STREET NW, ALBUQUERQUE, NM 87102

Applicant: OSWALDO AMAYA (CASA DESIGN STUDIO) Contact: OSWALDO AMAYA

Address: 1250 ANGEL RD., CORRALES, NM, 87048

Phone#: 505-908-0066 Fax#: _____ E-mail: oswaldo.amaya@yahoo.com

Other Contact: PEREZ COLLISION CENTER Contact: JORDAN PEREZ

Address: 2520 2ND ST. NW, ALBUQUERQUE, NM 87102

Phone#: 505-934-2317 Fax#: _____ E-mail: perez.jordan39

@yahoo.com

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING? YES (DONE ALREADY)

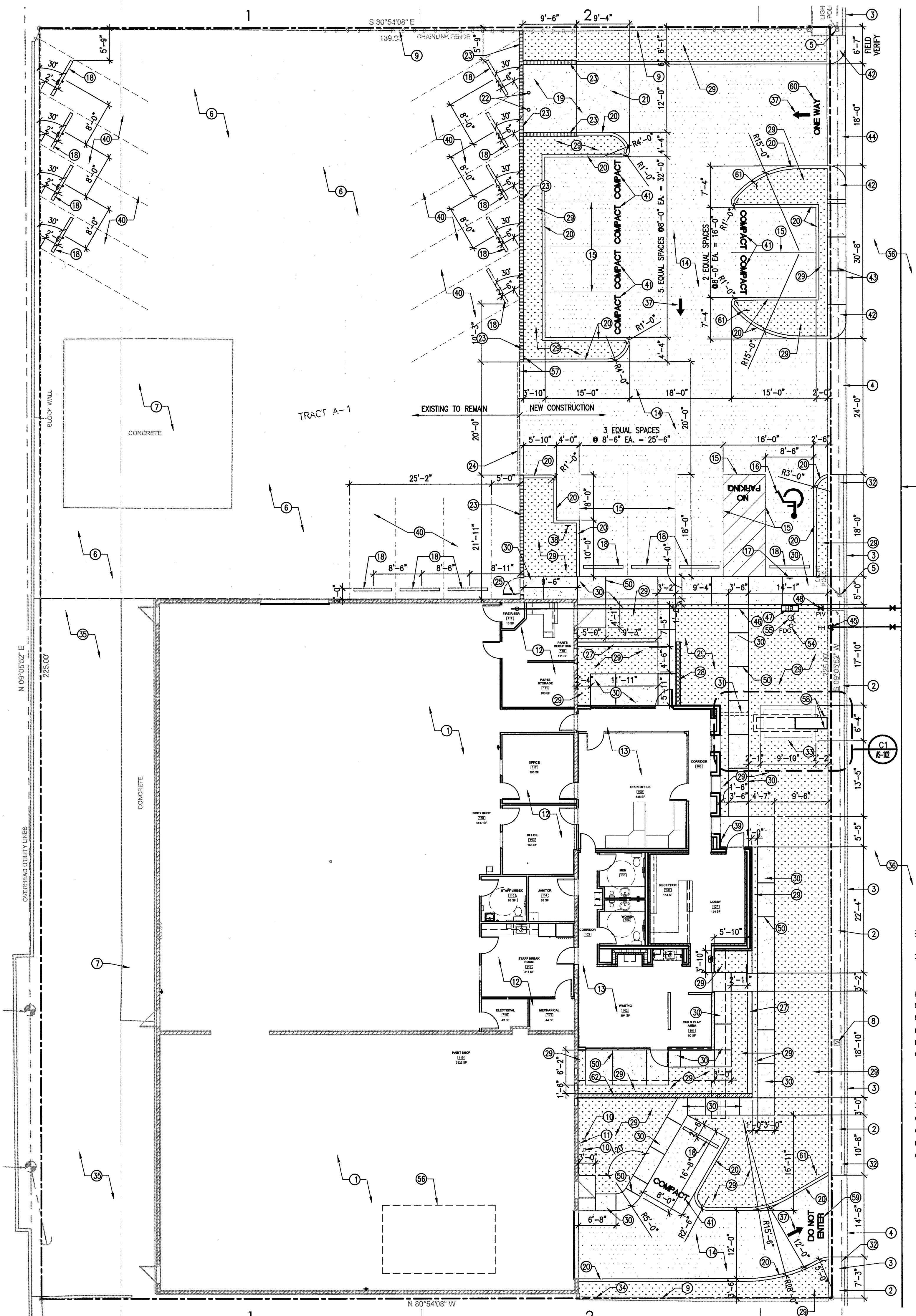
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 08/25/2016 By: [Signature] (OSWALDO AMAYA)

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

D
C
B
A



GENERAL NOTES

- SLOPES REQUIREMENT: 1) PARKING LOTS REQUIRE A SLOPE BETWEEN 1% MIN. AND 8% MAX. 2) PARKING AREA ADJACENT TO MAJOR CIRCULATION AISLES OR ADJACENT TO MAJOR ENTRANCES 1% MIN. TO 2% MAX. 3) HANDICAP PARKING 1% MIN. TO 6% MAX.
- ALL SIDEWALK AND CURB GUTTER ALONG SECOND STREET MUST BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS. UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK CURB & GUTTER. SEE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986- SECTION 2400 STANDARD DETAILS FOR PAVING DRAWING NUMBER 2415A - CURB CUT DETAILS, 2415B - GUTTER DETAILS, AND 2430 - SIDEWALK DETAILS.
- MAXIMUM GRADES SHOULD NOT EXCEED 8% IN PARKING AREAS. FOR MAJOR CIRCULATION AISLES AND ADJACENT TO MAJOR PEDESTRIAN ENTRANCES, THE GRADES SHOULD BE KEPT TO 6% OR LESS. HANDICAP ACCESS TO BUILDING NEEDS TO BE MAINTAINED.

KEYED NOTES

- EXISTING BUILDING TO REMAIN. REFERENCE DEMOLITION FLOOR PLAN.
- EXISTING CONCRETE SIDEWALK TO REMAIN. REFERENCE GENERAL NOTE E THIS SHEET.
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN. REFERENCE GENERAL NOTE E THIS SHEET.
- EXISTING CONCRETE CURB CUT TO REMAIN. REFERENCE GENERAL NOTE E THIS SHEET.
- EXISTING LIGHT POLE TO REMAIN.
- EXISTING DIRT/ GRAVEL PARKING AREA TO REMAIN. ADD GRAVEL AS NEEDED FOR CITY OF ALBUQUERQUE REQUIRED GRAVEL SURFACE.
- EXISTING CONCRETE PAD TO REMAIN.
- EXISTING WATER METER TO REMAIN.
- EXISTING CHAINLINK FENCE TO REMAIN.
- EXISTING STEEL BOLLARDS TO REMAIN.
- EXISTING WATER SPOUT TO REMAIN.
- EXISTING BUILDING RENOVATION AREA.
- NEW ADDITION.
- NEW ASPHALT PAVING.
- NEW 4" TRAFFIC GRADE PAINTED PARKING STRIPING.
- NEW ACCESSIBLE PARKING SYMBOL WITH TRAFFIC GRADE PAINT.
- NEW VAN ACCESSIBLE PARKING SIGN.
- NEW CONCRETE PARKING BUMPER.
- NEW REFUSE ENCLOSURE. REFERENCE SITE DETAILS.
- NEW 6" CONCRETE CURB.
- NEW CONCRETE APRON.
- NEW STEEL BOLLARD.
- NEW 5'-8" HIGH 8" CMU WALL. SEE SECTION A4/AS-501.
- NEW 20" WIDE X 6" HIGH ROLLING GATE.
- NEW CHAINLINK MAIN GATE.
- NEW 2" TRAFFIC GRADE PAINTED LETTERING TO READ "NO PARKING".
- NEW 5'-8" HIGH CMU WALL. SEE SECTION B5/AS-501.
- NEW 7'-8" HIGH CMU WALL. SEE SECTION A5/AS-501.
- NEW PLANTER/ LANDSCAPING AREA.
- NEW 4" CONCRETE PAVING.
- NEW ROOF DRAIN BELOW CONCRETE PAVING.
- EXISTING CONCRETE RAMP, SIDEWALK, CURB AND GUTTER TO MEET COA STANDARD DRAWINGS. CONSTRUCT NEW IF COA STANDARDS ARE NOT MET. REFERENCE GENERAL NOTE E THIS SHEET.
- NEW BUILDING SIGN. REFERENCE SHEET A-202 FOR DETAILING.
- EXISTING CONCRETE CURB TO REMAIN.
- EXISTING DIRT/ GRAVEL AREA TO REMAIN.
- EXISTING 2ND STREET ASPHALT PAVING TO REMAIN.
- NEW 4" TRAFFIC GRADE PAINTED ARROW.
- NEW MOTORCYCLE PARKING SIGN.
- NEW KNOX BOX LOCATION.
- PARKING SPACE (GRAVEL SURFACE PER COA REQUIREMENT).
- NEW 2" TRAFFIC GRADE PAINTED LETTERING TO READ "COMPACT". REFERENCE GENERAL NOTE E THIS SHEET.
- NEW CONCRETE RAMP TO MEET COA STANDARD DRAWINGS. CONSTRUCT NEW IF COA STANDARDS ARE NOT MET. REFERENCE GENERAL NOTE E THIS SHEET.
- NEW CONCRETE SIDEWALK, CURB AND GUTTER TO MEET COA STANDARD DRAWINGS. CONSTRUCT NEW IF COA STANDARDS ARE NOT MET. REFERENCE GENERAL NOTE E THIS SHEET.
- EMPTY ADJACENT LOT.
- NOT USED.
- NEW PUBLIC FIRE HYDRANT.
- NEW BUILDING FIRE LINE (4" OR 6"W). BUILDING FIRE TO BE SIZED BY SPRINKLER CONTRACTOR.
- NEW HOT BOX.
- POST INDICATOR VALVE (PIV).
- EXISTING WATER AT 2ND STREET.
- CONTROL OR EXPANSION JOINT.
- TRAFFIC ADJACENT LOT.
- NOT USED.
- NEW FIRE DEPARTMENT CONNECTION (FDC).
- NEW REMOTE STANDPIPE.
- PAINT BOOTH, FULLY SPRINKLED BY OWNER.
- KNOX BOX WITH SECURITY ACCESS KEY OR WILL PROVIDE KNOX PADLOCK FOR AFTER HOURS FIRE DEPARTMENT ACCESS.
- 10'X 2' W PREMISE I.D. (ADDRESS NUMBERS).
- NEW 2" TRAFFIC GRADE PAINTED LETTERING TO READ "DO NOT ENTER".
- NEW 2" TRAFFIC GRADE PAINTED LETTERING TO READ "ONE WAY".
- NEW TRAFFIC SIGN TO READ "ONE WAY DO NOT ENTER".
- NEW 9'-0" HIGH CMU WALL. SEE SECTION B4/AS-501.

SITE INFORMATION

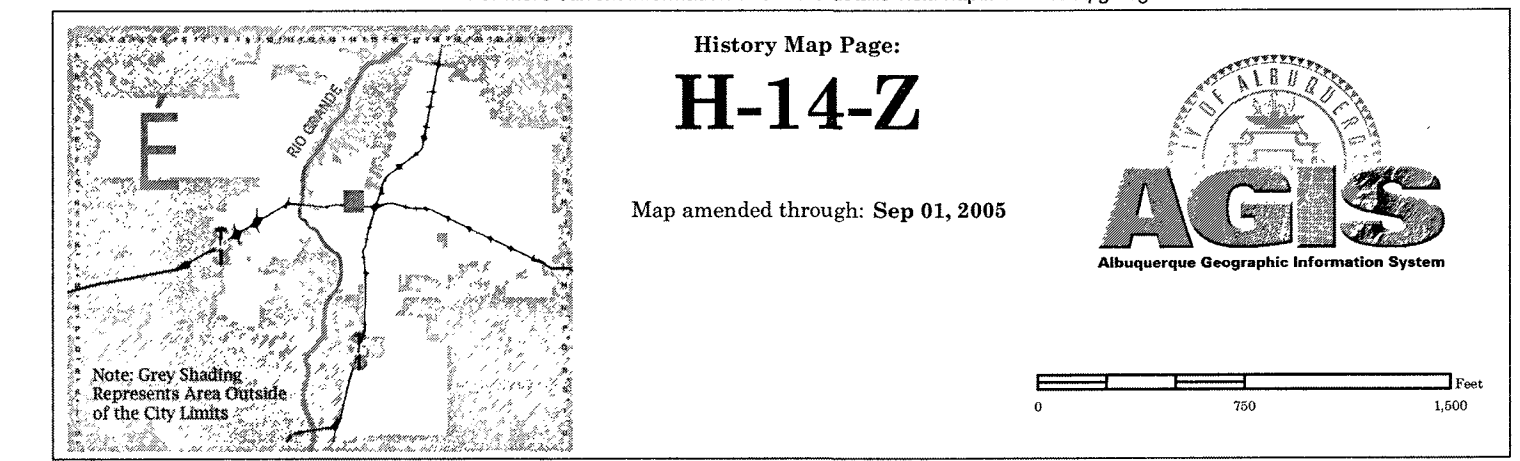
ADDRESS: 2415 2ND STREET NW, ALBUQUERQUE, NM 87102
LEGAL DESCRIPTION: TRACT A-1, LANDS OF COMFORT AIR SYSTEMS, INC.
TYPE OF DEVELOPMENT: PAINT AND BODY SHOP
DEVELOPMENT SIZE:
NEW BUILDING AREAS- EXISTING TO REMAIN- 7,744 SQ. FT.
EXISTING TO BE RENOVATED- 1,083 SQ. FT.
NEW ADDITION- 1,510 SQ. FT.
TOTAL- 10,337 SQ. FT.
LOT SIZE:
NET LOT AREA- 20,215 SQ. FT.
TOTAL BUILDING AREA- 10,337 SQ. FT.
TOTAL LOT AREA- 30,552 SQ. FT.

PARKING SUMMARY

NOTE: PARKING CALCULATIONS PERFORMED IN ACCORDANCE WITH 2014 NEW MEXICO ADMINISTRATIVE CODE, IBC 2009, ALBUQUERQUE CODE OF ORDINANCES AND ALBUQUERQUE DEVELOPMENT PROCESS MANUAL 2015.
PARKING SPACE: A STANDARD SPACE IS 8'-6" X 18'-0", COMPACT OR "C" SIZE IS SMALLER THAN THE STANDARD BUT MEETS THE MINIMUM REQUIREMENTS. COMPACT SPACE MAY TAKE UP A 1/3 OF THE TOTAL PARKING COUNT AND BE AT LEAST 8'-0" IN WIDTH AND 15'-0" IN LENGTH (14:16:1.5).
MANUFACTURING/ WAREHOUSE (1 PARKING SPACE PER 2,000 SQUARE FEET):
7,744 SQUARE FEET / 2,000 = 3.872 OR 4 SPACES REQUIRED
OFFICE:
NEW AREA: 1,510 SQ.FT., EXISTING AREA TO RENOVATE: 1,083 SQ.FT.
1,510+1,083= 2,593 SQUARE FEET
2,346 SQUARE FEET / 200 = 11.73 OR 12 SPACES
PARKING SPACES REQUIRED = 16 SPACES
PARKING REDUCTIONS
10% BUS ROUTE -1 SPACE
TOTAL PARKING SPACES REQUIRED = 15 SPACES
TOTAL STANDARD SPACES REQUIRED = 15 SPACES
TOTAL HANDICAP (VAN ACCESSIBLE) SPACES REQUIRED = 1 SPACE
TOTAL STANDARD SPACES PROVIDED = 16 SPACES (4 AT PAVED PARKING LOT AND 12 AT GRAVEL AREA AS NOTED ON THIS SHEET).
TOTAL COMPACT SPACES PROVIDED = 7 SPACES
TOTAL HANDICAP (VAN ACCESSIBLE) SPACES PROVIDED = 1 SPACE
TOTAL MOTORCYCLE PARKING SPACES REQUIRED: 1 SPACE
TOTAL MOTORCYCLE PARKING SPACES PROVIDED: 1 SPACE

EXECUTIVE SUMMARY

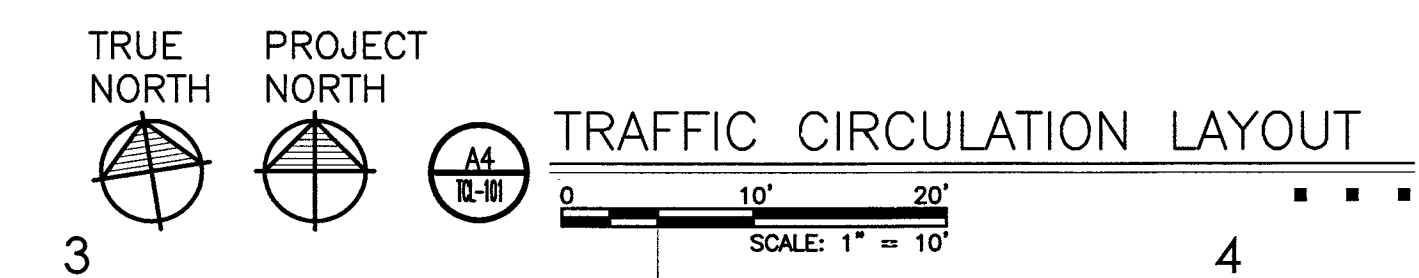
- GENERAL PROJECT LOCATION: SOUTHEAST AREA OF NORTH VALLEY ON SECOND STREET HALF A BLOCK SOUTH OF MENAUL BLVD. ON WEST SIDE OF THE STREET.
- DEVELOPMENT CONCEPT FOR THE SITE: ADD 1,510 SQ.FT. OF LOBBY, RECEPTION, WAITING ROOM, CHILD PLAY AREA, TOILETS AND OPEN OFFICE. RENOVATE 1,083 SQ.FT. OF EXISTING WAREHOUSE TYPE BUILDING TO (2) OFFICES, (1) TOILET, JANITOR, PARTS DELIVERY RECEPTION AND STORAGE, STAFF BREAK ROOM, ELECTRICAL AND MECHANICAL ROOM. EXISTING 7,744 OF EXISTING WAREHOUSE TYPE BUILDING TO BE BODY REPAIR AND PAINT SHOP AREAS. COMPLETELY REPAVE FOR CUSTOMER PARKING AND FOR LANDSCAPING EAST SIDE OF LOT AND USE WEST SIDE OF LOT AS CLIENT AND EMPLOYEE PARKING.
- TRAFFIC CIRCULATION CONCEPT FOR THE SITE: CUSTOMER/ DELIVERIES PARKING AT NORTHEAST CORNER OF LOT, NORTHWEST CORNER TO BE USED BY EMPLOYEES FOR PERSONAL PARKING AND PARKING FOR CLIENTS. AUTOMOBILES TO BE REPAIRED AND PAINTED TO BE BROUGHT INTO BODY REPAIR AND PAINT SHOPS AT THE EXISTING EXTERIOR NORTH WALL AT WEST END, DRIVEN TO SOUTH PORTION THROUGH EXISTING WALL OPENING TO PAINT SHOP AREA AND EVENTUALLY PARKED AT SOUTHEAST LOT PARKING SPACE FOR CLIENT DELIVERY/ PICK UP AND DRIVE OFF TO SECOND STREET TO THE EAST.
- IMPACT ON THE ADJACENT SITES: VISUALLY ENHANCE AND RAISE PROPERTY VALUE DUE TO HIGH END MODERN ARCHITECTURE AND SITE IMPROVEMENTS INCLUDING NEW PAVING, LANDSCAPING, AND LIGHTING. WILL IMPROVE BUSINESS ON WEST SIDE OF SECOND STREET IN THAT PEREZ COLLISION CENTER WILL BE MOVED FROM THEIR 2520 SECOND STREET LOCATION ON THE EAST SIDE OF STREET NEARLY DIRECTLY ACROSS THE STREET TO THE WEST SIDE OF STREET. TRAFFIC FROM THEIR BUSINESS WILL MOVE TO WEST SIDE OF SECOND STREET.



TRAFFIC CIRCULATION LAYOUT APPROVED

Signed _____ Date _____

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



FREDDIE P. MONTOYA ARCHITECT
IN CONJUNCTION WITH
CASA DESIGN STUDIO
CONTACT NUMBER:
505.968.0066 C

PROFESSIONAL STAMP

STATE OF NEW MEXICO
REGISTERED ARCHITECT
FREDDIE P. MONTOYA
NO. 2676
12/26/2014

PEREZ COLLISION CENTER
ADDITION AND RENOVATION

ALBUQUERQUE
NEW MEXICO

REVISIONS

REVISION	DATE	DESCRIPTION

DRAWN BY: WA
CHECK BY: FM
DATE: AUGUST 24, 2016

SHEET NAME:
TRAFFIC CIRCULATION LAYOUT

SHEET NUMBER:
TCL-101