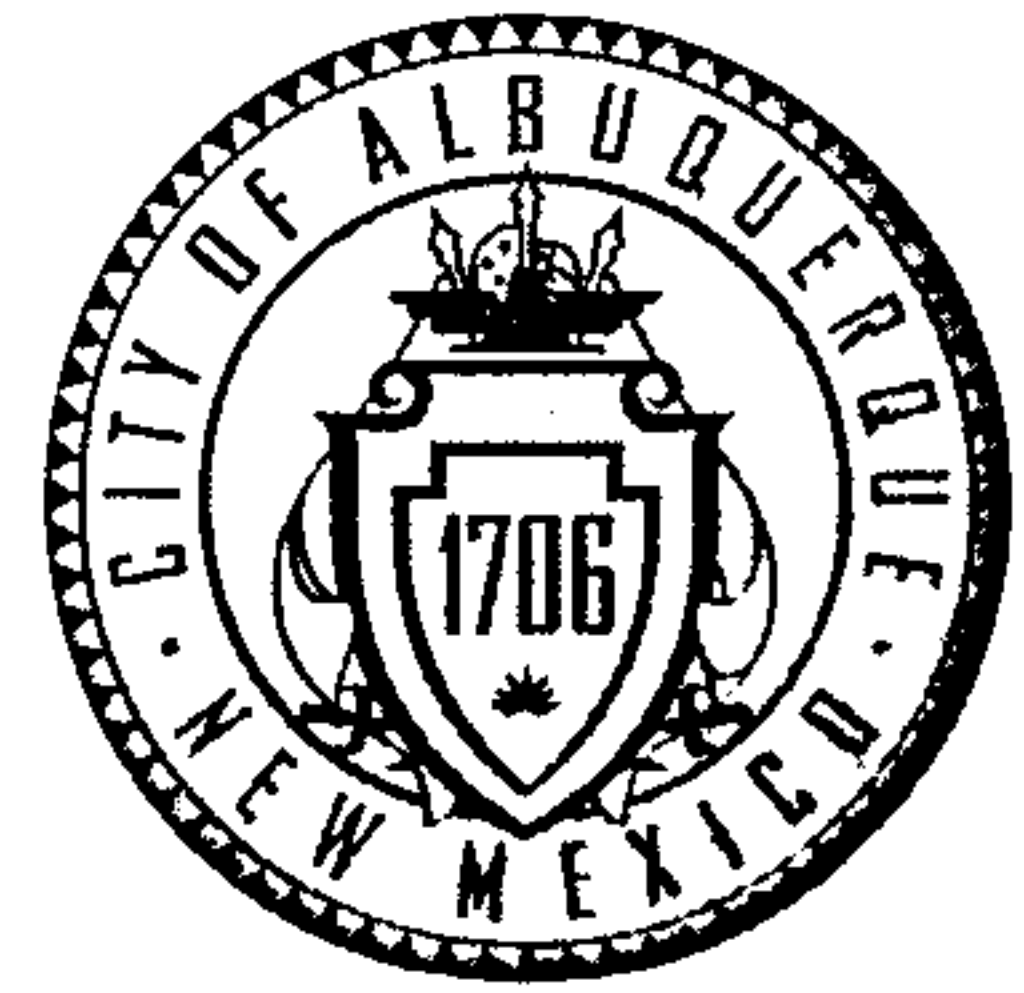


CITY OF ALBUQUERQUE



April 11, 2016

Verlyn Miller, PE
Miller Engineering Consultants
3500 Comanche NE Bldg. F
Albuquerque, NM 87110

**Re: Advance Auto Parts
2801 4th St NW
Request for Permanent C.O. - Accepted
Engineer's Stamp dated: 9-15-15 (H14D041)
Certification dated: 3-21-16**

Dear Mr. Miller,

Based on the Certification received 3/21/2016, the site is acceptable for release of a permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

PO Box 1293

Albuquerque

Sincerely,

New Mexico 87103 Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

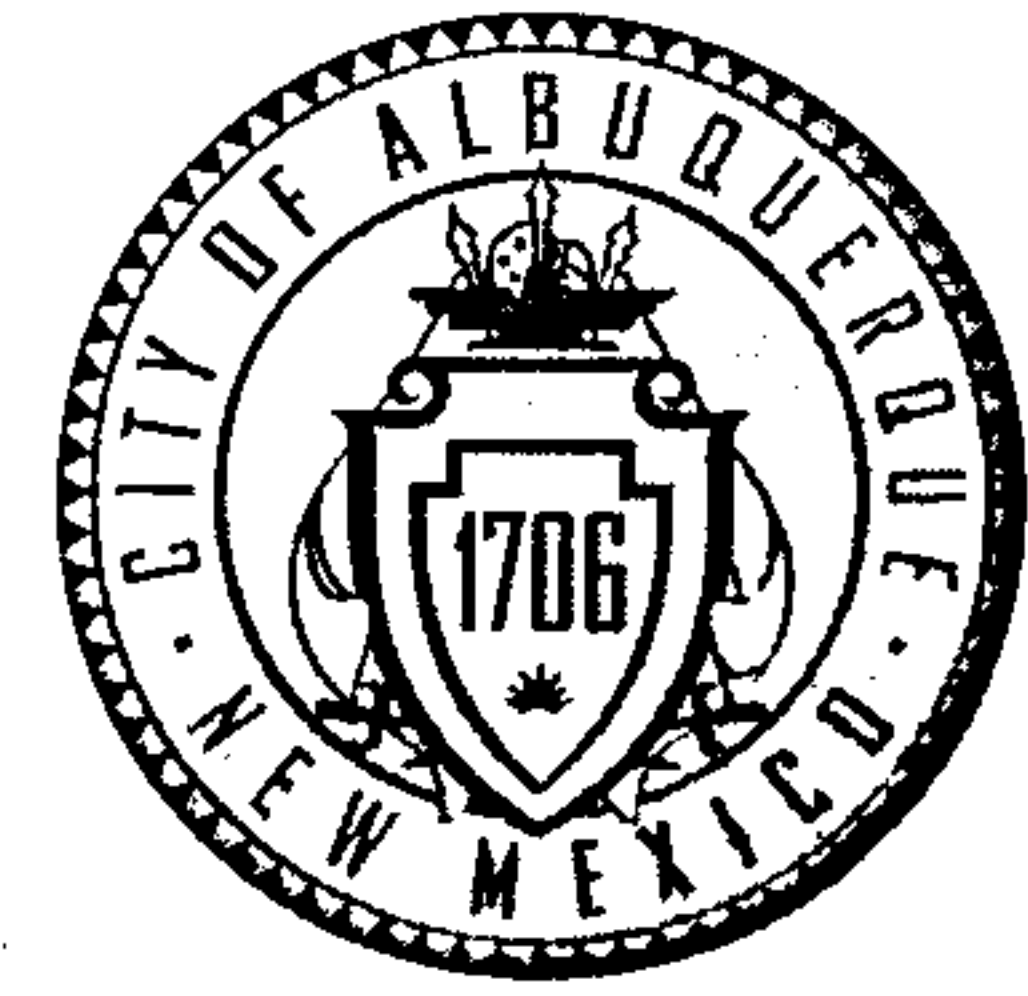
www.cabq.gov

TE/RH

C: email, Cordova, Camille C.; Connor, Miranda, Rachel; Sandoval, Darlene M.;
Blocker, Lois

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



March 23, 2016

Verlyn Miller, PE
Miller Engineering Consultants
3500 Comanche NE
Albuquerque, NM 87107

Richard J. Berry, Mayor

RE: Advanced Auto Parts (File: H14D041)
Grading and Drainage Plan , Engineer's Stamp Date 8-17-2015
Engineer's Certification Dated 3-21-16

Dear Mr. Miller:

Based upon your Engineer's Certification received 3-21-16, the site is acceptable for a TEMPORARY 60-day Certificate of Occupancy by Hydrology.

Prior to permanent C.O. the following must be resolved or completed:

- 1) The roof drain on the north side of the building must discharge into the sidewalk culvert next to it.
- 2) The property to the south has the pavement collapsing along the edge since there appears to be no tie-in to the existing grade.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

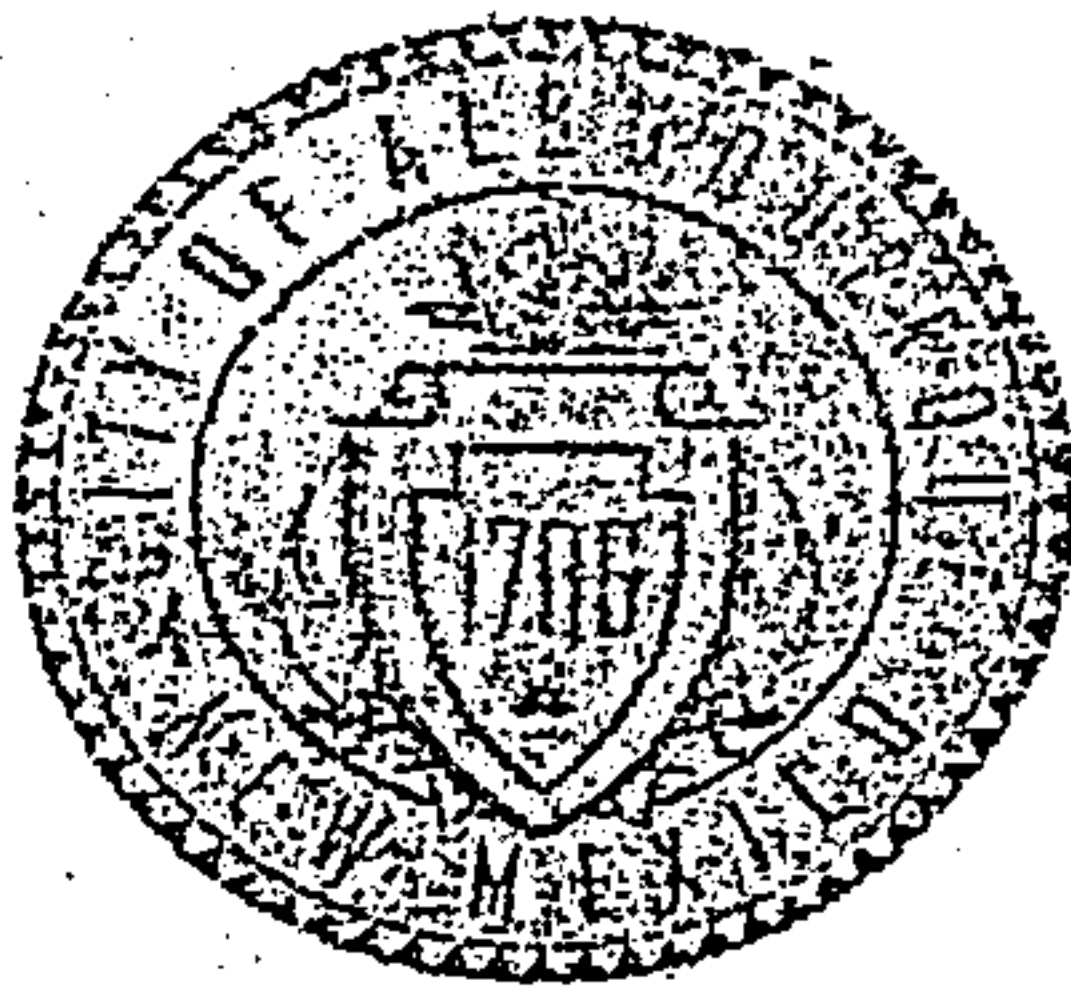
Sincerely,

New Mexico 87103

www.cabq.gov

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf via email: Recipient, Camelle Cordova, Darlene Sandoval, Rachel Miranda, Lois Blocker



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Advanced Auto Parts Building Permit #: _____ City Drainage #: H-14-d041

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract A-1 and A-2 of White City-Glen Haven Addition

City Address: 2715 4th Street NW, Albuquerque, NM 87107

Engineering Firm: Miller Engineering Consultants

Contact: John Jacquez

Address: 3500 Comanche NE, bldg F Albuquerque, NM 87107

Phone#: 505-888-7500

Fax#: 505-888-3800

E-mail: jjacquez@mecn.com

Owner: The Skarsgard Firm PC

Contact: Joshua J Skarsgard

Address: 8220 San Pedro NE, Suite 500, Albuquerque, NM

Phone#: 505-262-2323

Fax#: _____

E-mail: _____

Architect: 66 Architect LLC

Contact: Clint Wilsey

Address: 2041 S. Plaza Street NW, Albuquerque NM 87104

Phone#: 505-280-0043

Fax#: _____

E-mail: _____

Other Contact: _____

Contact: _____

Address: _____

Phone#: _____

Fax#: _____

E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 3-21-2016

By: John Jacquez

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

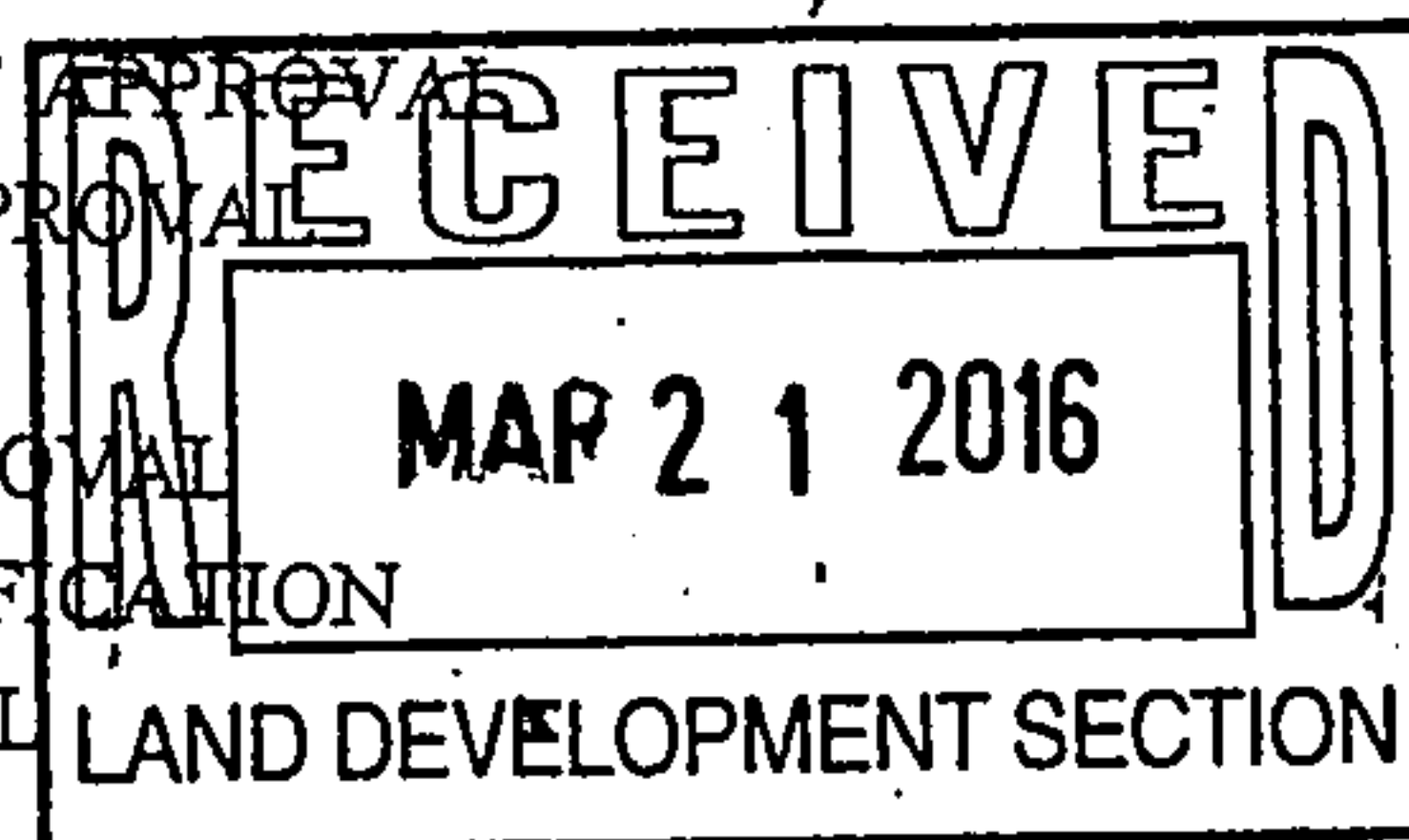
☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

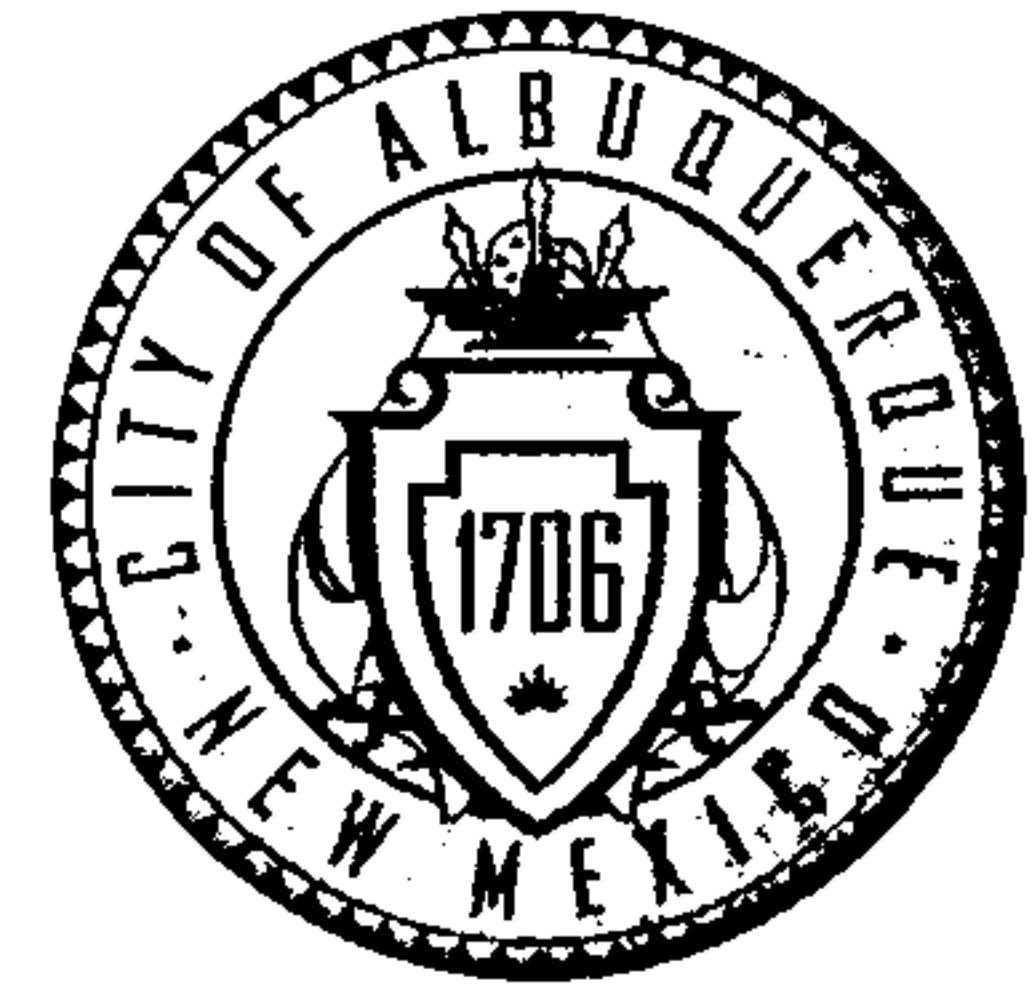
☐ OTHER (SPECIFY) _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



September 21, 2015

Verlyn Miller, PE
Miller Engineering Consultants
3500 Comanche NE
Albuquerque, NM 87107

Richard J. Berry, Mayor

**RE: Advanced Auto Parts
Grading and Drainage Plan
Engineer's Stamp Date 9-15-2015 (File: H14D041)**

Dear Mr. Miller:

Based upon the information provided in your submittal received 9-15-15, the above referenced plan is approved for Building Permit and SO-19 Permit with the following conditions:

1. Keyed note #9 must be modified to add that the SW culvert (both plate and channel) must be extended 2ft. past the back of Sidewalk. Note that the bolts must be tack welded to the plate.
2. Keyed note #7 must be modified. An open concrete channel presents a tripping hazard. If there is sidewalk, then a Sidewalk culvert should be used (extended per above comment). It is unclear if there is Sidewalk. If there is not sidewalk, then the channel should be an earthen channel filled with riprap to avoid falling into it.

PO Box 1293

Albuquerque

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103

A separate SO-19 permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. The work in the City ROW must be inspected and accepted. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

www.cabq.gov

If the disturbed area on this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site. Call Curtis Cherne at 924-3420 to verify since it appears that this first phase is less than an acre, but the entire site is more than an acre.

Phase 1 is ~ 0.8 Acre
mostly Retention

7.0 ~ .36	Basin
.43	2%
.79	

Cond

1 of 2

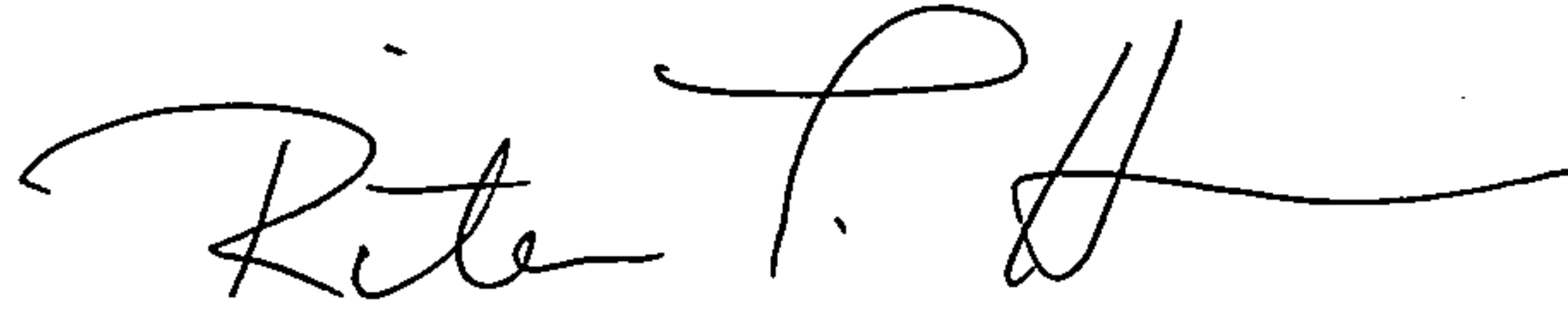
H14D041_BP_Appr.doc

— cond.
— SO19

Albuquerque - Making History 1706-2006

If you have any questions, you can contact me at 924-3695.

Sincerely,

A handwritten signature in black ink, appearing to read "Rita T. Harmon". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf via email: Recipient; Jason Rodriguez



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Advanced Auto Parts Building Permit #: _____ City Drainage #: H-14-d041
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract A-1 and A-2 of White City-Glen Haven Addition
City Address: 2715 4th Street NW, Albuquerque, NM 87107

Engineering Firm: Miller Engineering Consultants Contact: John Jacquez
Address: 3500 Comanche NE, bldg F Albuquerque, NM 87107
Phone#: 505-888-7500 Fax#: 505-888-3800 E-mail: jjacquez@mecn.com

Owner: The Skarsgard Firm PC Contact: Joshua J Scarsgard
Address: 8220 San Pedro NE, Suite 500, Albuquerque, NM
Phone#: 505-262-2323 Fax#: _____ E-mail: _____

Architect: 66 Architect LLC Contact: Clint Wilsey
Address: 2041 S. Plaza Street NW, Albuquerque NM 87104
Phone#: 505-280-0043 Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

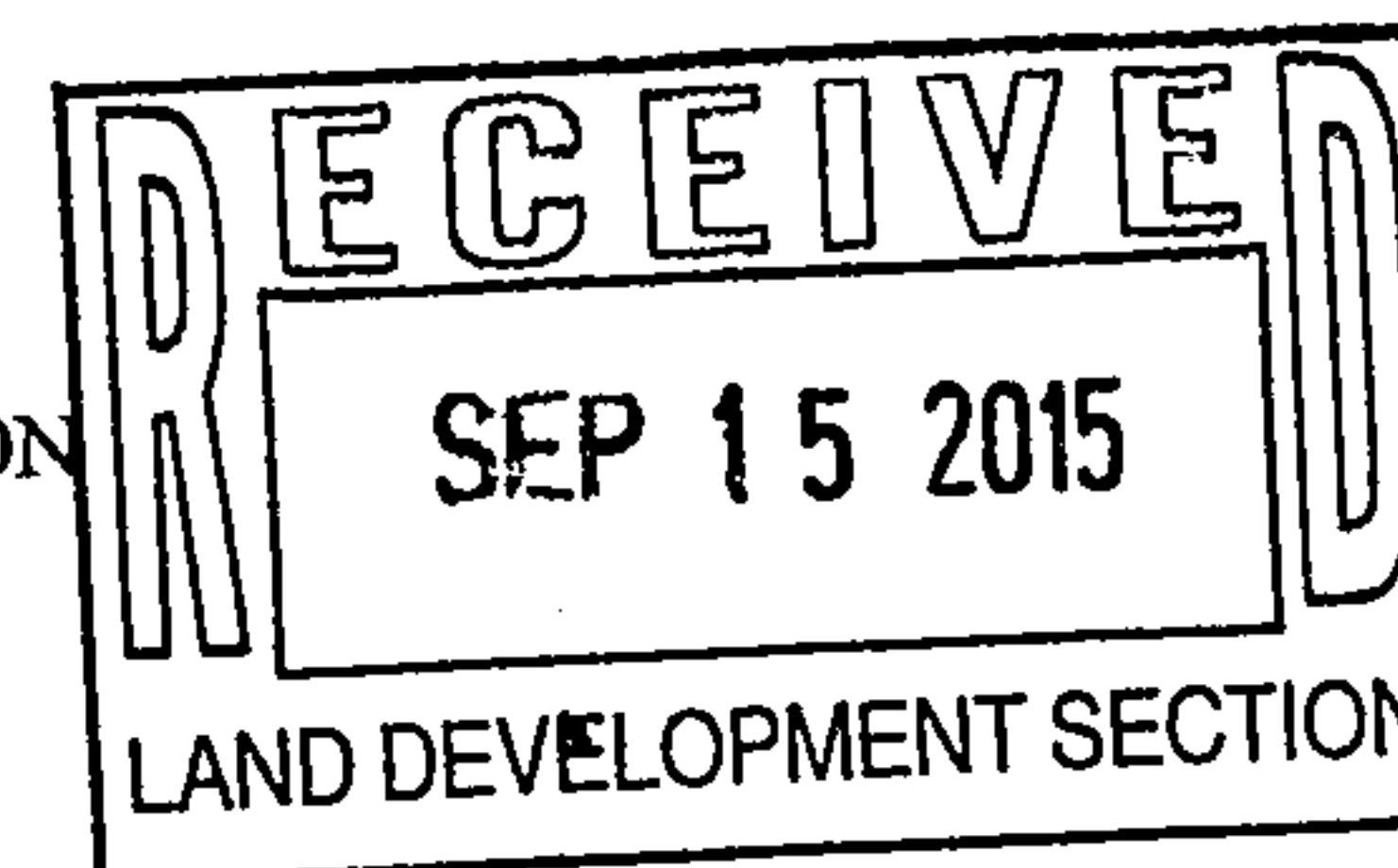
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 8-18-2015 (prior) 9-15-15 (new) By: John Jacquez

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☒ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☒ OTHER (SPECIFY) TELEPHONE CONV WITH RITA



COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



MILLER ENGINEERING CONSULTANTS

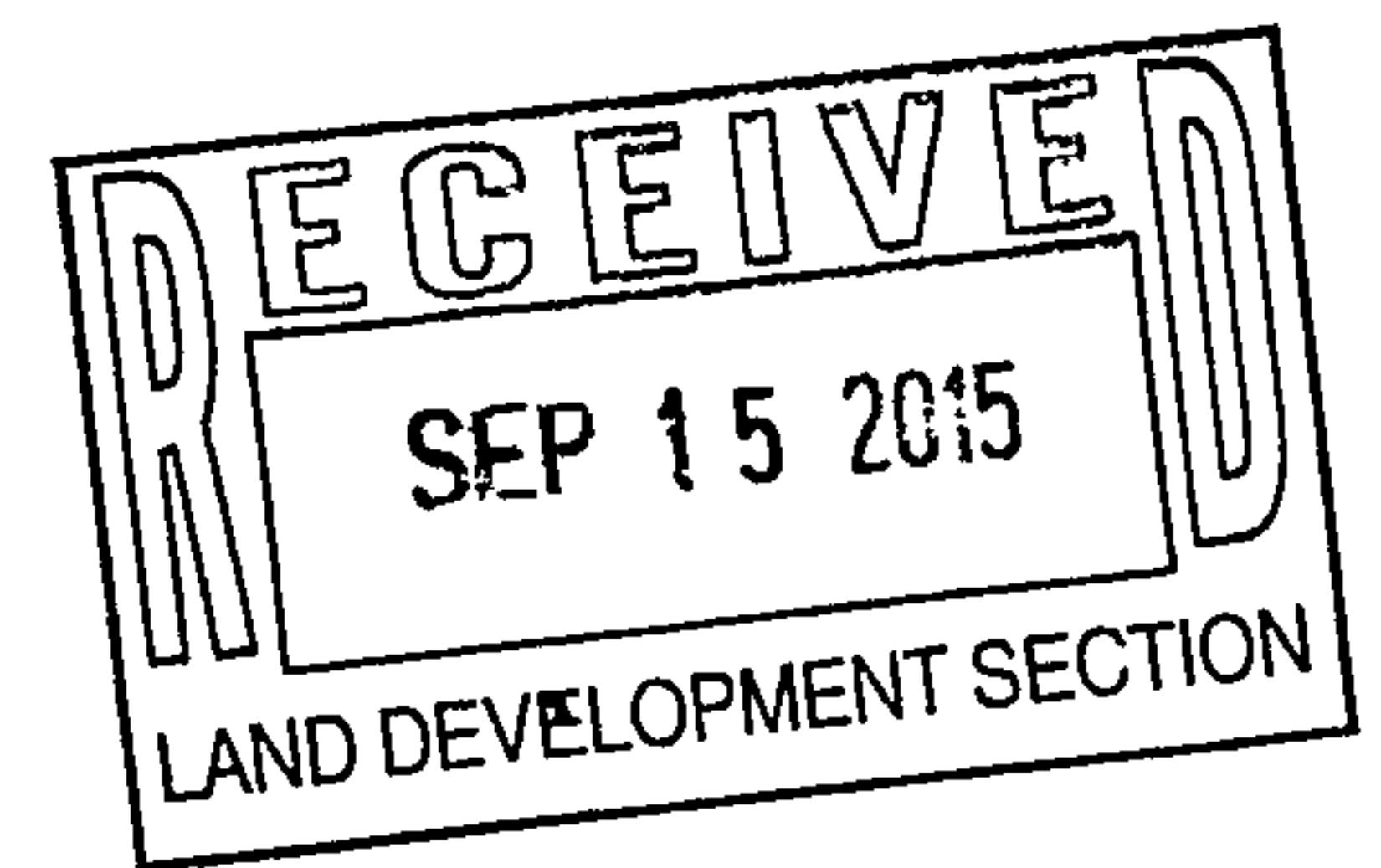
Engineers • Planners

September 15, 2015

City of Albuquerque
Planning Department
Development and Building Services
P.O. Box 1293
Albuquerque, NM 87103

Attn: Rita Harmon, P.E., Senior Engineer, Planning Dept.

RE: Advanced Auto Parts
Grading and Drainage Plan
Engineer's Stamp Date 8-17-2015 (File: H14D041)



Dear Ms. Harmon:

This letter is in response to your comments by letter dated August 28, 2015. All of your comments have been addressed as follows:

1. Since a new valley gutter, sidewalk, and sidewalk culverts are proposed to be built in the R.O.W., these improvements must be done through the Work Order process (DRC) and not by an SO-19 Permit.

✓ Please see attached email to Racquel summarizing our meeting in which she said that DRC was not necessary.

2. This is a "phased" project where one portion of the site is to be developed at this time, and the remaining portion is to be developed in the future. For phased projects the following is required:
 - a. Grading and Drainage plan with supporting calculation for the **Final Developed condition**. Dwg. C-102 is essentially this Final Condition Plan. However, the following needs to be corrected:

- i. Remove the Curb and Gutter separating the two properties, and show only the intended final condition.

✓ This new curb and gutter will need to be installed as part of the current phase to divert storm water to the new Retention pond. Once phase 2 is developed the Curb and Gutter will be removed and replaced with new Concrete Valley Gutter that will receive storm water from the north and the south and divert into new retention pond. See sheet C-101.

- ii. Show intended elevations/contours in the future parking lot.

✓ Please see sheet C-101, for future flow arrows and future finish floor on building. This plan shows the general drainage concept of the future development.

- ✓ iii. How will flows be directed to the pond in the final condition without the curb and gutter?

This new curb and gutter will need to be installed as part of the current phase to divert storm water to the new Retention pond. Once phase 2 is developed, the Curb and Gutter will be removed and replaced with new Concrete Valley Gutter that will receive storm water from the both the proposed and future developmment and divert into new retention pond.

- ✓ iv. Show the intended roof discharge points and direction of the future building.
Please see sheet C-101 for future building roof discharge points and the direction of the roof flows.

- v. Since full Retention ponds must retain the 100yr-10day volume, with 1 ft. of freeboard, Pond #1 is undersized.

Please see Sheet C-001 for the calculations for the 100yr-10day required volume and the pond volume calculations for Pond #1, showing it retains the required volume at 64.5 elevation which is 1' below the spillway (freeboard). See Sheet C-102 for the newly designed Pond #1.

- ✓ vi. Future Pond #2 should be a detention pond, only retaining the First Flush and then discharging at a rate of 2.75cfs/Ac. The discharge mechanism will need to be designed.

Future Pond # 2 retains the 100-Year-24 hour storm which is extremely conservative in that it exceeds the 1/2" retention requirement in the Valley (per COA Hydrology Staff Valley Rule). The overflow future devise is a concrete channel and a standard 24" sidewalk culvert.

- b. Grading and Drainage plan with supporting calculations for the **Interim condition**. Provide a plan with just the development intended to occur under this Building Permit. Show.

- i. The Curb and Gutter that separates the phases (in i. above)

This new curb and gutter will need to be installed as part of the current phase to divert storm water to the new Retention pond. Once phase 2 is developed the Curb and Gutter will be removed and replaced with new Concrete Valley Gutter that will receive storm water from the north and the south and divert into new retention pond.

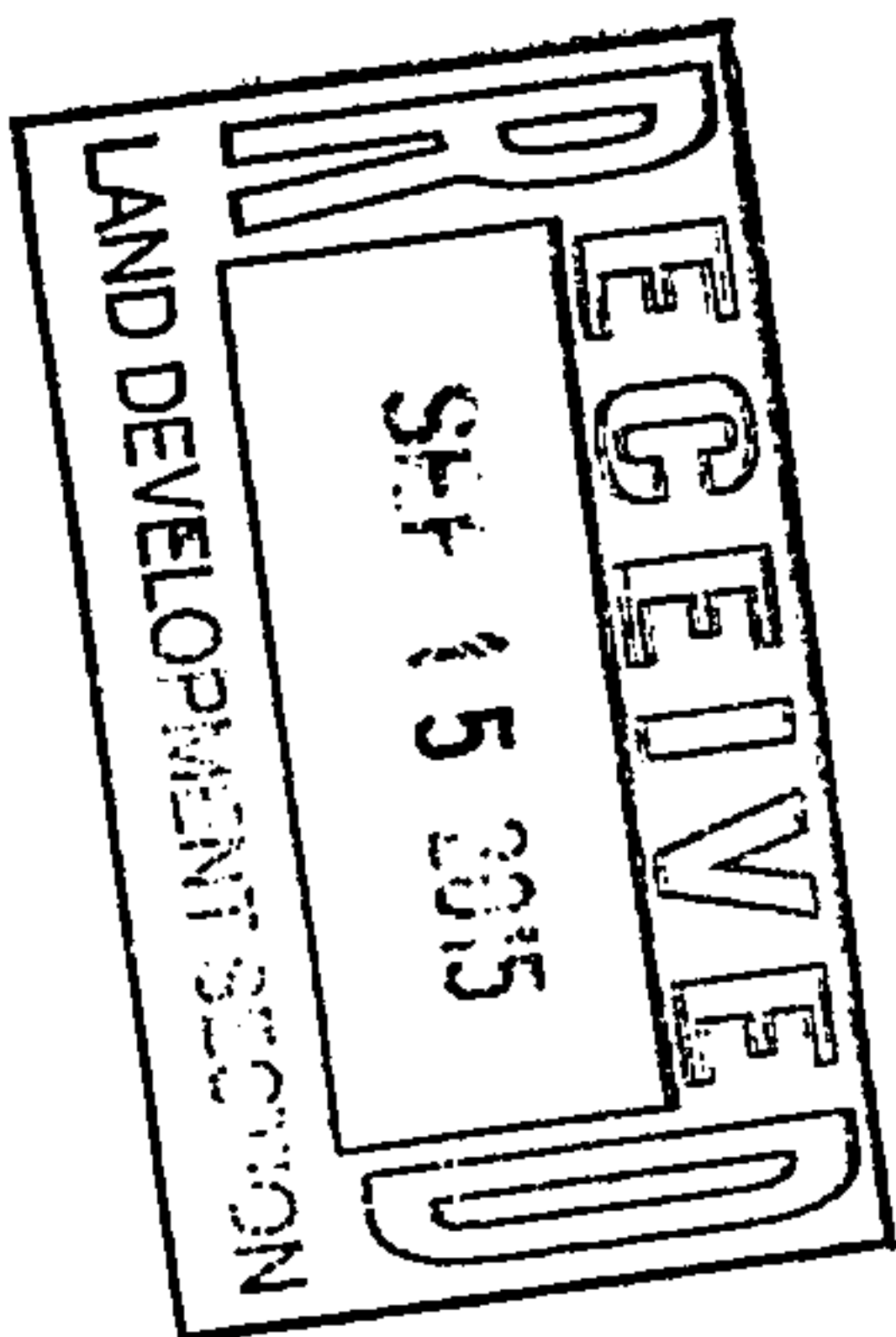
- ii. How will the remaining site be graded in the interim? How and where will it discharge to?

There will be a ditch that will divert water from the north to the new retention Pond #1. See sheet C-102.

- iii. Provide drainage calculations for the remainder of the site in the Interim state.
Not required to do any interim state since the drainage is for full build out of Phase I

and Phase II. As per telephone conversation with Rita Harmon.

- iv. Pond #1 can be designed for just the "Interim Condition" (100yr-10day volume), and then enlarged later. It is up to you. But if the property is divided, the drainage easement must



✓ cover the "final condition" pond footprint.
Not required to do any interim state since the drainage is for full build out of Phase I and Phase II. As per telephone conversation with Rita Harmon.

3. For both Ponds: Show contour labels, Bottom of Pond elevation, Max WSEL, Provided Volume and Required Volume. (Show this on both the Interim and Future G&D plans, as it may be different :
See sheet C-102 for contours and key notes for Pond information.
4. Roof flows from the Advance Auto Parts must be directed to a first flush pond before discharging to swale along the south boundary. Perhaps the hatched area (handicap ramp?) at SW corner of the building can be used as such:
See sheet C-102. Roof drains diverted to northeast corner of new building then diverted into new first flush Pond #3.
5. Provide calculations that size the SW culvert(s), the concrete swale. What is the WSEL:
Not required to do now that the roof drains are no longer flowing in this area this calculation is no longer necessary. As per telephone conversation with Rita Harmon.
6. Keyed notes should refer to the Detail on the Sheet C-501 (ie. See Detail D4 on Sht C-501):
See key notes on sheet C-102 and details on sheet C-501.
7. Pond #2 has a 2:1 slope. More than a 3:1 slope required slope stabilization measures. Large cobbles are typically used.:
6" of 2"-3" cobble stones will be used for stabilization measures. See sheet C-102 for key note and C-501 for detail.

If you have any questions or need any additional information, please feel free to contact our office.

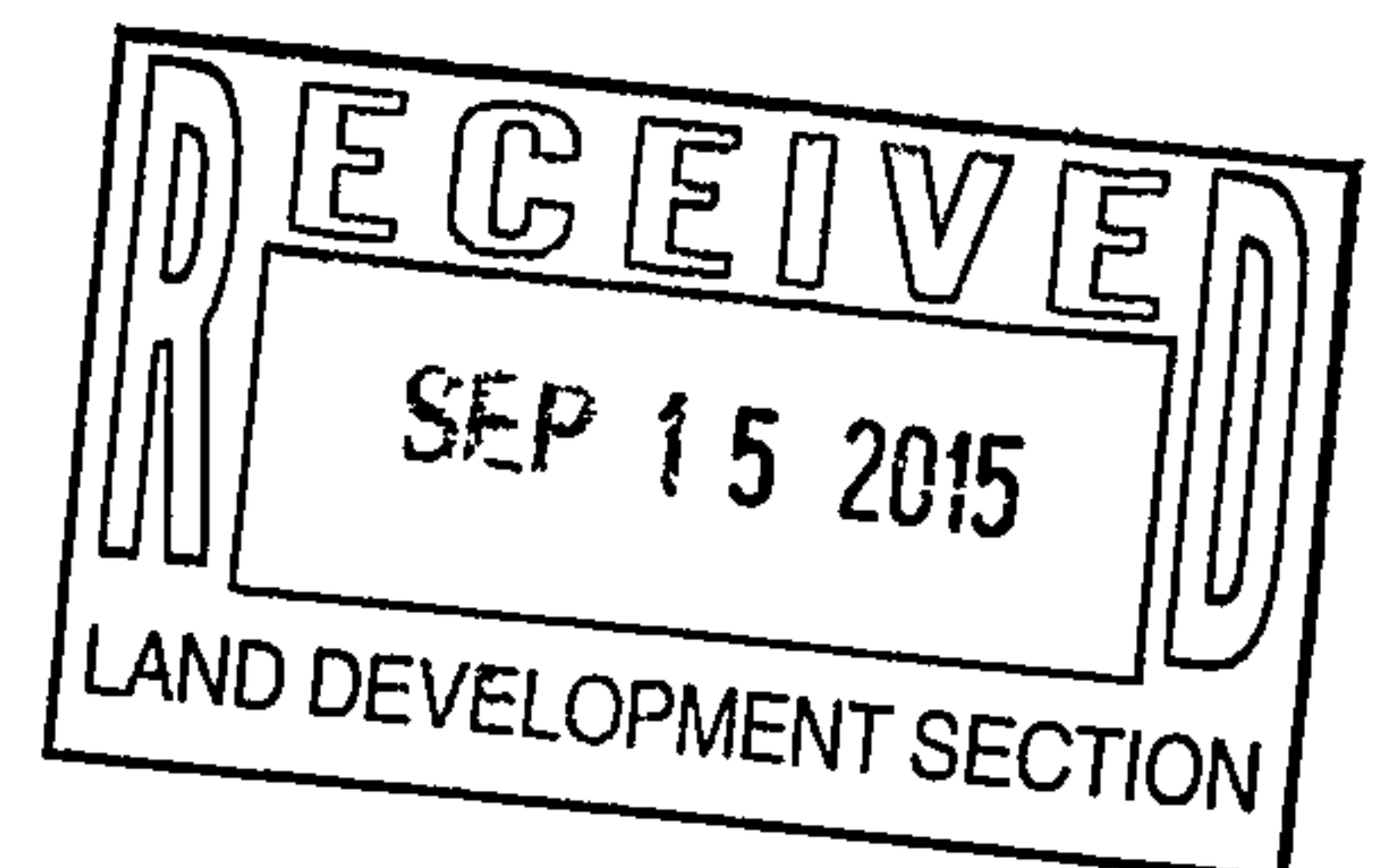
MILLER ENGINEERING CONSULTANTS, INC.



Verlyn A. Miller, P.E.
President

VAM:vam
Enclosures

cc: File



John Jacquez

From: Michel, Racquel M. <rmichel@cabq.gov>
Sent: Friday, September 11, 2015 1:13 PM
To: 'Clint Wilsey'; John Jacquez
Subject: RE: Advance Auto Parts - 4th St.

Clint,

As we discussed last week you do not need to have a work order for this project however you will need to prepare and submit a TCL.

Thanks,

Racquel M. Michel, P.E.
City of Albuquerque
505-924-3991
rmichel@cabq.gov

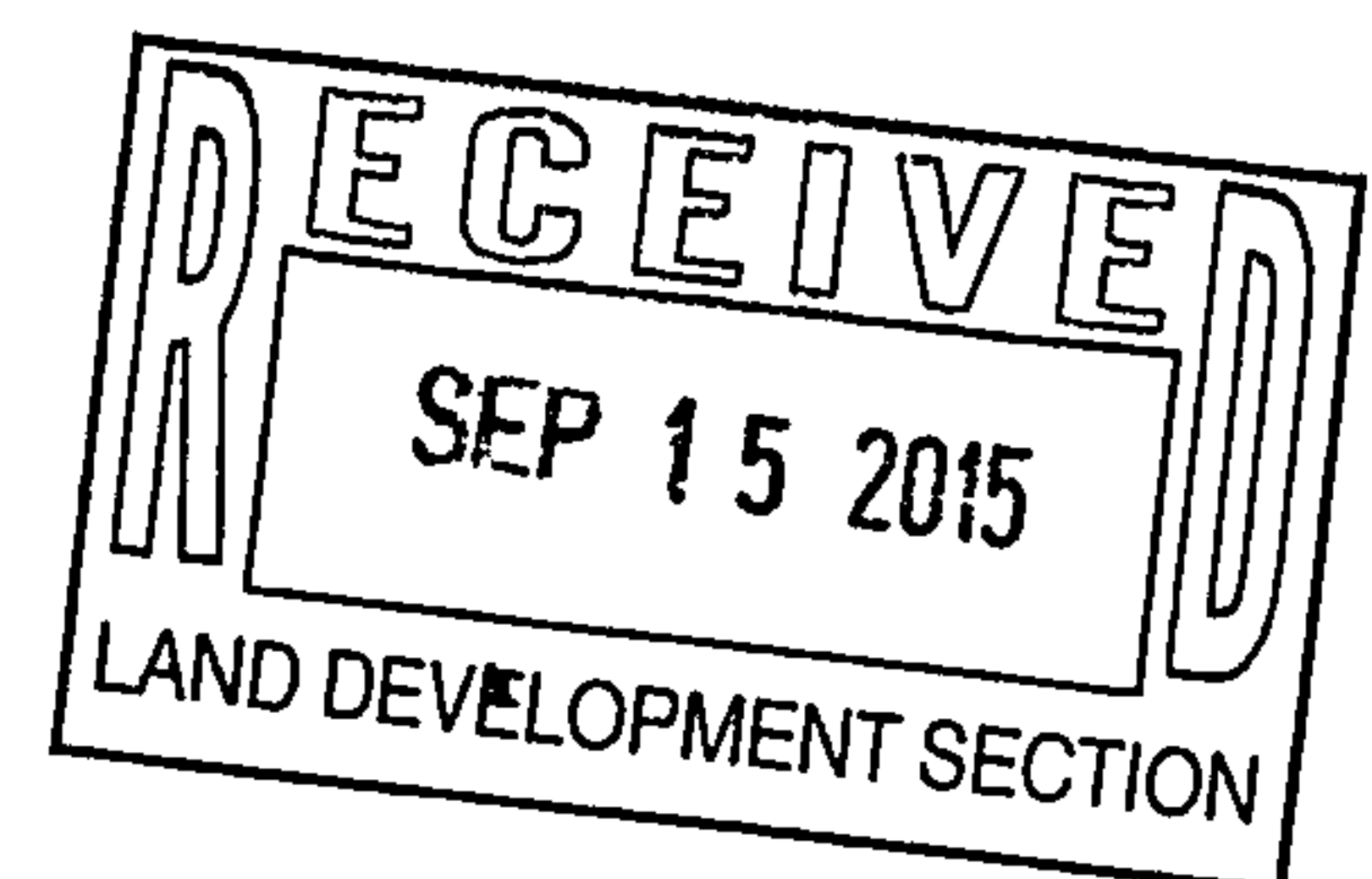
PLEASE NOTE MY NEW PHONE NUMBER!!

From: Clint Wilsey [mailto:clint.wilsey@gmail.com]
Sent: Friday, September 11, 2015 1:05 PM
To: Michel, Racquel M.; John Jacquez
Subject: Fwd: Advance Auto Parts - 4th St.

Hello Racquel. I emailed you last week after we had met about the Advance Auto on 4th St., currently in plan review. We met and you determined our sidewalk improvements would not trigger a DRC hearing and we need a letter or email from you confirming that was the case. See email with project # below. Can you please send us a quick note stating a DRC is NOT required. We need to turn this in today for plan check corrections.

Thank you.

Clint Wilsey, Architect
66Architect, LLC
2041 S. Plaza St. NW
Albuquerque, NM 87104
505) 280-0043



----- Forwarded message -----

From: Clint Wilsey <clint.wilsey@gmail.com>
Date: Thu, Sep 3, 2015 at 7:51 AM
Subject: Advance Auto Parts - 4th St.
To: "Michel, Racquel M." <RMichel@cabq.gov>, John Jacquez <jjacquez@mecnmm.com>

Good morning Racquel. Thank you for taking time to meet with us yesterday about our project on 4th St. As you requested, the project # for this project is T201592183. Can you please respond to this email stating that a DRC hearing is not required on this project, and John Jacquez will include a copy in his grading/drainage report to Rita Harmon. Also, Stanice Elliot sent plan check comments back for this project saying "an approved site plan signed off by DRB needs to be included in each set". It was determined early on in my PRT meetings that DRB was not needed. Im assuming, since Stanice is new she might have meant that we include the PRT stamped set (which I will do). Also she didnt say I needed a TCL, but you said yesterday I do. Please confirm.

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



August 28, 2015

Verlyn Miller, PE
Miller Engineering Consultants
3500 Comanche NE
Albuquerque, NM 87107

Richard J. Berry, Mayor

**RE: Advanced Auto Parts
Grading and Drainage Plan
Engineer's Stamp Date 8-17-2015 (File: H14D041)**

Dear Mr. Miller:

Based upon the information provided in your submittal received 8-18-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Since a new valley gutter, sidewalk, and sidewalk culverts are proposed to be built in the R.O.W., these improvements must be done through the Work Order process (DRC) and not by an SO-19 Permit.
2. This is a "phased" project where one portion of the site is to be developed at this time, and the remaining portion is to be developed in the future. For phased projects the following is required:
 - a. Grading and Drainage plan with supporting calculation for the *Final Developed condition*. Dwg. C-102 is essentially this Final Condition Plan. However, the following needs to be corrected:
 - i. Remove the Curb and Gutter separating the two properties, and show only the intended final condition.
 - ii. Show intended elevations/contours in the future parting lot
 - iii. How will flows be directed to the pond in the final condition without the curb and gutter?
 - iv. Show the intended roof discharge points and direction of the future building
 - v. Since full Retention ponds must retain the 100yr-10day volume, with 1 ft. of freeboard, Pond #1 is undersized.
 - vi. Future Pond #2 should be a detention pond, only retaining the First Flush and then discharging at a rate of 2.75cfs/Ac. The discharge mechanism will need to be designed.
 - b. Grading and Drainage plan with supporting calculations for the *Interim condition*. Provide a plan with just the development intended to occur under this Building Permit. Show:
 - i. The Curb and Gutter that separates the phases (in i. above)
 - ii. How will the remaining site be graded in the interim? How and where will it discharge to?
 - iii. Provide drainage calculations for the remainder of the site in the Interim state.
 - iv. Pond #1 can be designed for just the "Interim Condition" (100yr-10day volume), and then enlarged later. It is up to you. But if the property is divided, the drainage easement must cover the "final condition" pond footprint.
3. For both Ponds: Show contour labels, Bottom of Pond elevation, Max WSEL, Provided Volume and Required Volume. (Show this on both the Interim and Future G&D plans, as it may be different)
4. Roof flows from the Advance Auto Parts must be directed to a first flush pond before discharging to swale along the south boundary. Perhaps the hatched area (handicap ramp?) at SW corner of the building can be used as such.
5. Provide calculations that size the SW culvert(s), the concrete swale. What is the WSEL?
6. Keyed notes should refer to the Detail on the Sheet C-501 (ie. See Detail D4 on Sht C-501)
7. Pond #2 has a 2:1 slope. More than a 3:1 slope required slope stabilization measures. Large cobbles are typically used.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

A handwritten signature in black ink, appearing to read "Rita Harmon", followed by a long horizontal flourish.

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf via email: Recipient



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

H14D041

Project Title: ADVANCED AUTO PARTS STORE Building Permit #: _____ City Drainage #: H14D016

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACTS "A-1" AND "A-2" OF WHITE CITY - GLEN HAVEN ADDITION

City Address: 2715 4TH ST. NW, ALBUQUERQUE, NM 87107

Engineering Firm: MILLER ENGINEERING CONSULTANTS Contact: JOHN JACQUEZ

Address: 3500 COMANCHE NE, BLDG. F, ALBUQUERQUE, NM 87107

Phone#: 505-888-7500

Fax#: _____

E-mail: _____

Owner: THE SKARSGARD FIRM, P.C.

Contact: JOSHUA J. SKARSGARD

Address: 8220 SAN PEDRO NE, SUITE 500, ALBUQUERQUE, NM 87113

Phone#: 505-262-2323

Fax#: _____

E-mail: _____

Architect: GG ARCHITECT LLC

Contact: CLINT WILSEY

Address: 2041 S. PLAZA ST. NW, ALBUQUERQUE, NM 87104

Phone#: 505-280-0043

Fax#: _____

E-mail: _____

Surveyor: _____

Contact: _____

Address: _____

Phone#: _____

Fax#: _____

E-mail: _____

Contractor: _____

Contact: _____

Address: _____

Phone#: _____

Fax#: _____

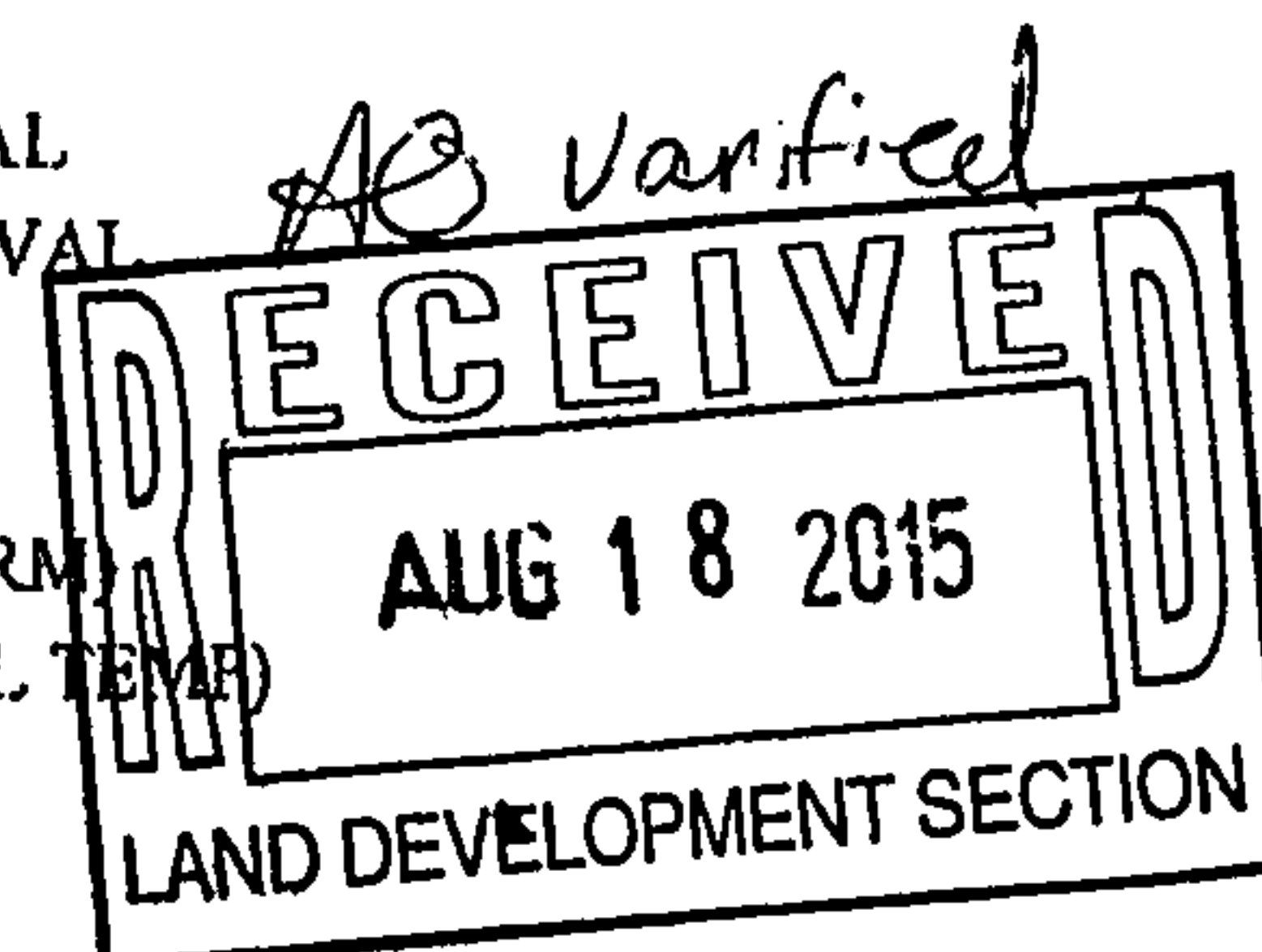
E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No

DATE SUBMITTED: 8-18-2015

By: [Signature] Copy Provided 8-5-2015

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

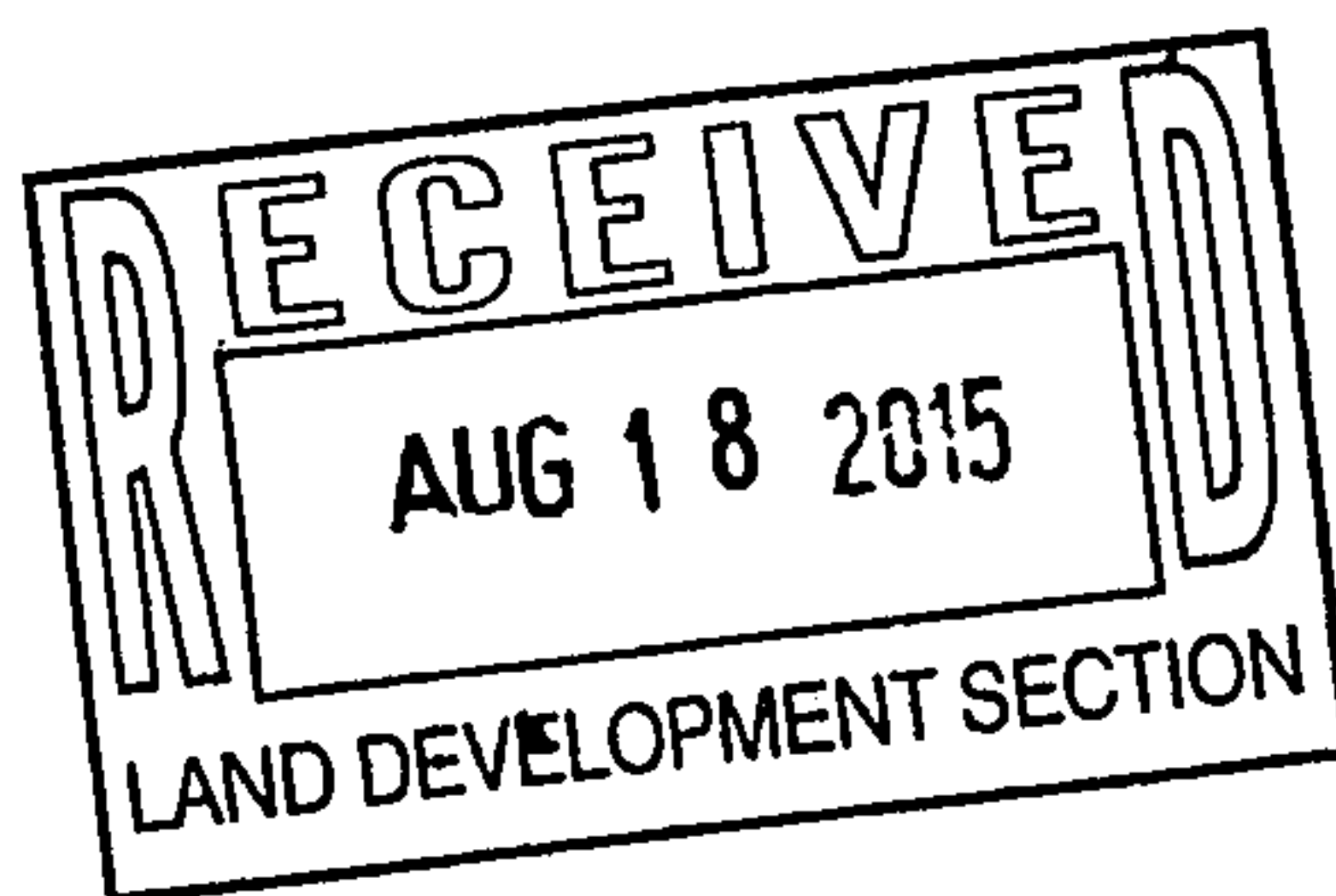
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

John Jacquez

From: John Jacquez
Sent: Monday, August 17, 2015 4:49 PM
To: 'plndrs@cabq.gov'
Cc: Jana Miller
Subject: ADVANCE AUTO PARTS GRADING AND DRAINAGE SUBMITTAL H14D016
Attachments: COA Sub 8-17-15 .pdf

We will be submitting these plans tomorrow.

Best Regards,
John Jacquez
Project Manager
Miller Engineering Consultants
3500 Comanche NE, Bldg. F
Albuquerque, NM 87107
Phone: 505-888-7500
Fax: 505-888-3800



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT SERVICE / HYDROLOGY SECTION

DATE: 8/5/15
CONFERENCE RECAP

ZONE ATLAS PAGE NO: _____

DRAINAGE FILE: _____

ZONING: _____

DRB: _____

SUBJECT: Advance Automobile

H14D016

STREET ADDRESS (IF KNOWN): _____

SUBDIVISION NAME: _____

APPROVAL REQUESTED: _____

ATTENDANCE: John Jacques + Rita Harmon

FINDINGS:

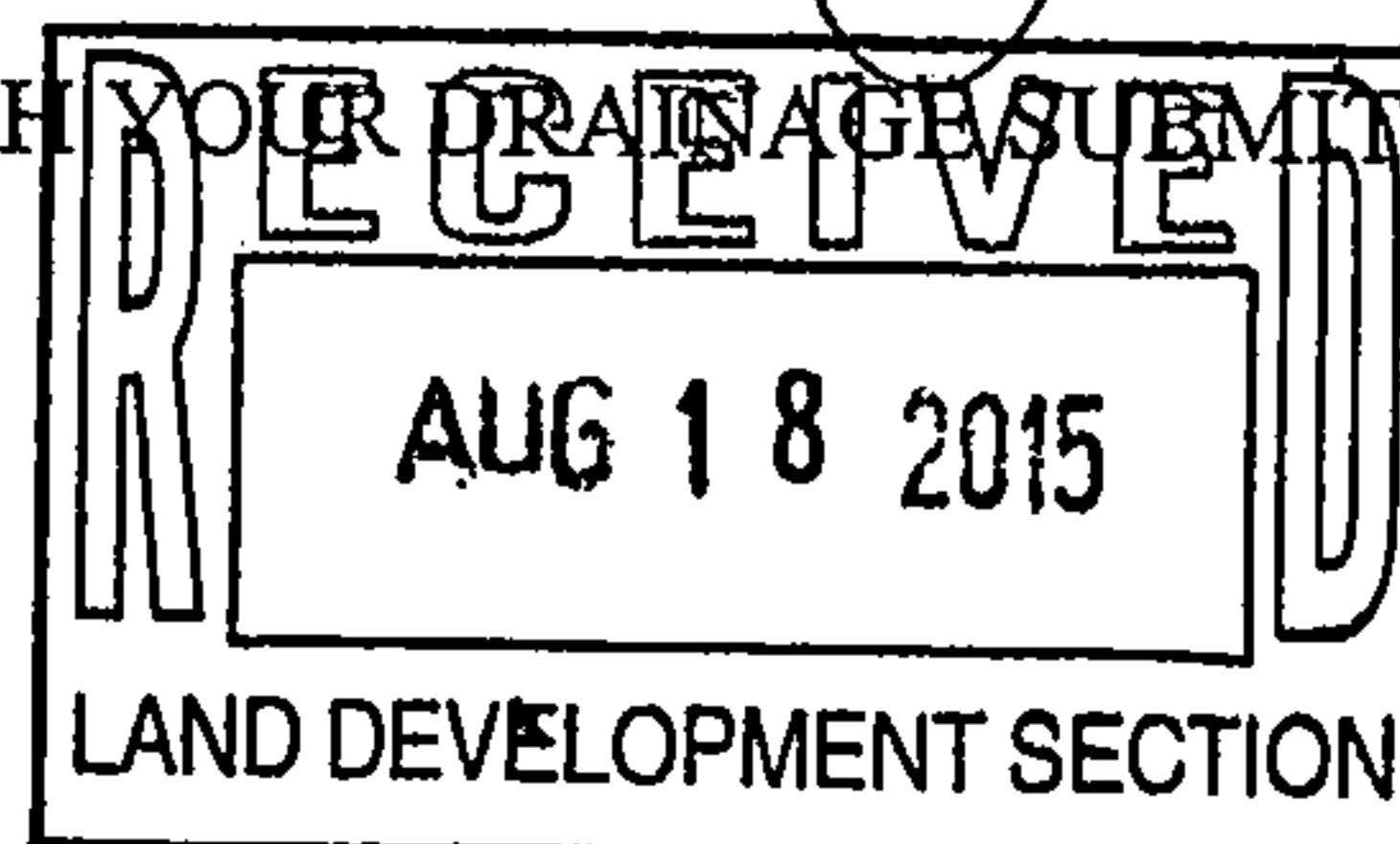
- ① Cannot discharge into 5th unless there is enough street capacity and FALL to down stream inlets (also depends on amount)
- ② can + should discharge historic flows into EXISTING POND (get easement ~~to~~)
- ③ Analyze entire site to discharge into pond.
- ④ increase basin size of basins discharging into 4th (roof flows to 4th)

THE UNDERSIGNED AGREES THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THEY ARE NOT REASONABLE OR THAT THEY ARE BASED ON INACCURATE INFORMATION.

SIGNED: Rita Harmon
NAME (PRINT): Gurtis A. Chene

SIGNED: John Jacques
NAME (PRINT): JOHN JACQUES

****NOTE**** PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.



EXISTINGBASIN A = 0.30 AC (DRAINS TO 4th ST)

ALL LAND TREATMENT D

BASIN B = 1.19 AC (DRAINS TO EX POND)
LT C = 0.51 AC
D = 0.68 ACBASIN C = 0.37 AC (DRAINS TO NORTH (NEIGHBORHOOD OF)
LT A = 0.10 AC
LT E = 0.25 AC
LT D = 0.02 ACPROPOSEDBASIN 1 = 0.30 AC (DRAINS TO 4th STREET)
ALL LT DFIRST FLUSH = $(44 - 1) \times 12 = 444 \text{ cf}$ FIRST $\frac{1}{2}$ " = $653 \text{ cf} = .512 \times \text{IMPERVIOUS AREA}$ BASIN 2 = 1.03 AC (DRAINS TO RELOCATED POND)
LT C = 0.16 AC
LT D = 0.87 AC
FIRST FLUSH = 1074 cf
FIRST $\frac{1}{2}$ " = 1580 cfBASIN 3 = 0.47 AC (DRAINS TO POND - WH #2)
LT C = 0.28
LT D = 0.19
FIRST FLUSH = 235 cf
FIRST $\frac{1}{2}$ " = 345 cf

PRE-DESIGN MTO.

Verbal No
for BP

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Had pre-design
meeting / see
notesH14 D041
~~H14 D106~~Project Title: ADVANCED AUTO PARTS STORE Building Permit #: _____ City Drainage #: H14 D041

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACTS "A-1" AND "A-2" OF WHITE CITY - GREENHAVEN ADDITIONCity Address: 2715 4TH ST. NW, ALBUQUERQUE, NM 87107Engineering Firm: MILLER ENGINEERING CONSULTANTS Contact: JOHN JARQUEZAddress: 3500 COMANCHE NE, BUILDING F, ALBUQUERQUE, NM 87107Phone#: 505-888-7500 Fax#: _____ E-mail: _____Owner: THE SKARSGARD FIRM, P.C. Contact: JOSHUA J. SKARSGARDAddress: 8220 SAN PEDRO NE, SUITE 500, ALBUQUERQUE NM 87113Phone#: 505-262-2323 Fax#: _____ E-mail: _____Architect: GL ARCHITECT LLC Contact: CLINT WILSEYAddress: 2041 S. PLAZA ST. NW, ALBUQUERQUE, NM 87104

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

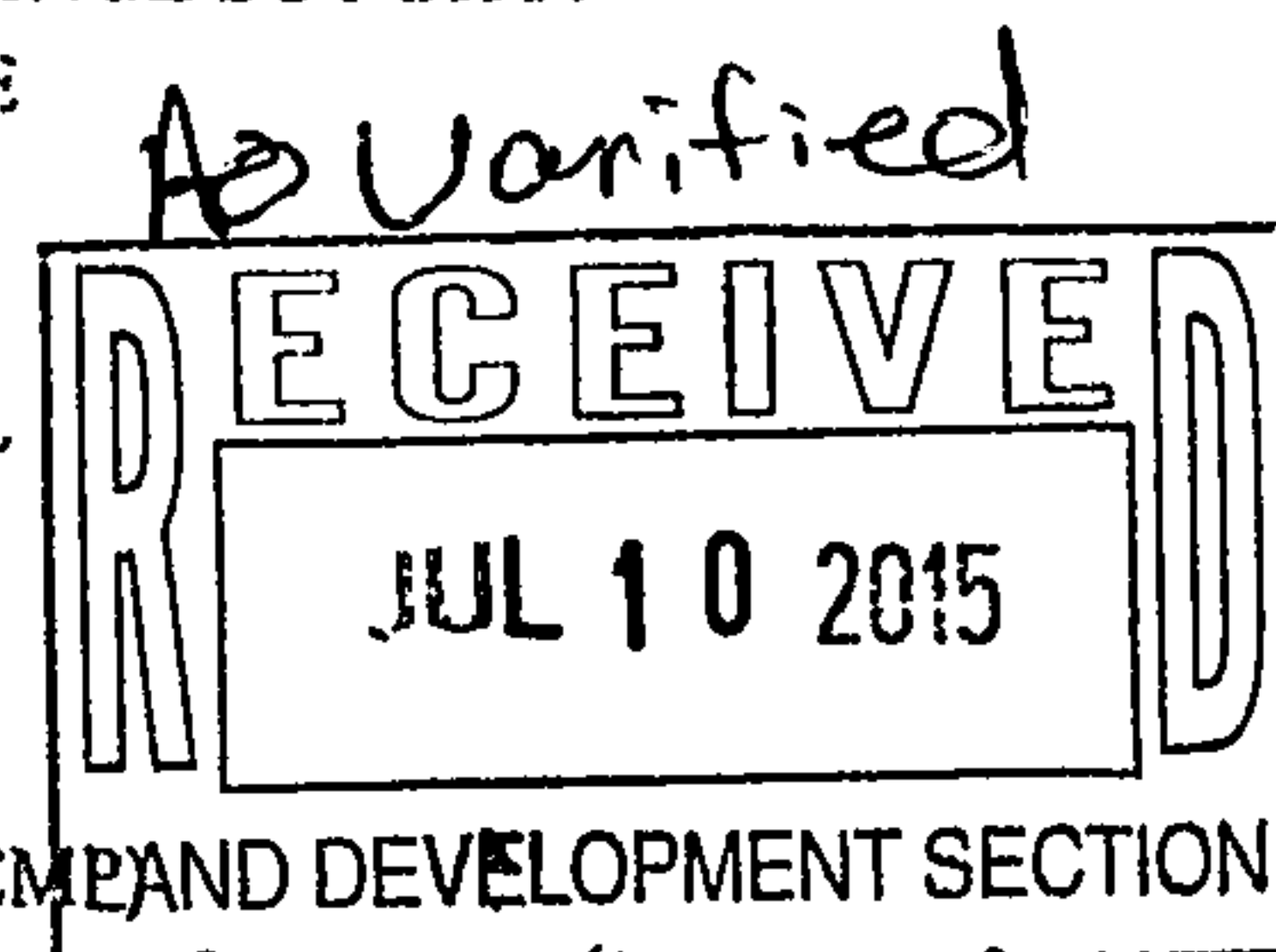
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION



Paid \$50.00

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No _____

Copy Provided _____

DATE SUBMITTED: 7-10-15By: [Signature]REQUESTING PRE-DESIGN
CONCEPT
CONFERENCE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT SERVICE / HYDROLOGY SECTION

DATE: 8/5/15
CONFERENCE RECAP

ZONE ATLAS PAGE NO: _____

DRAINAGE FILE: _____

ZONING: _____

DRB: _____

SUBJECT: Advance Automotive

H14D016

STREET ADDRESS (IF KNOWN): _____

SUBDIVISION NAME: _____

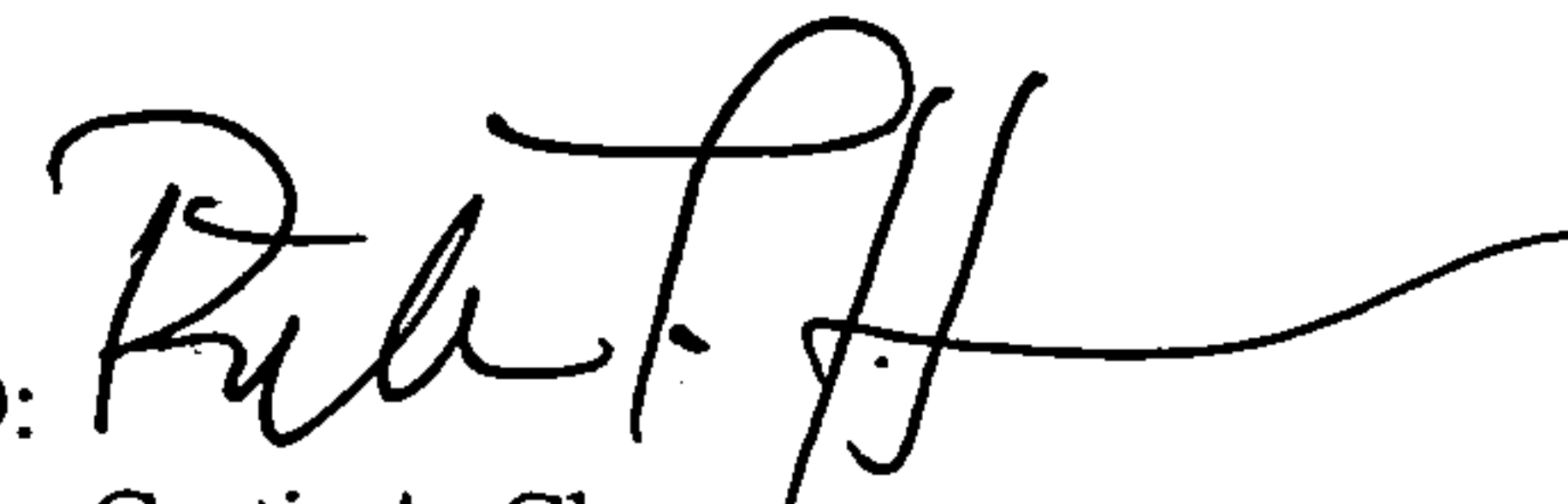
APPROVAL REQUESTED: _____

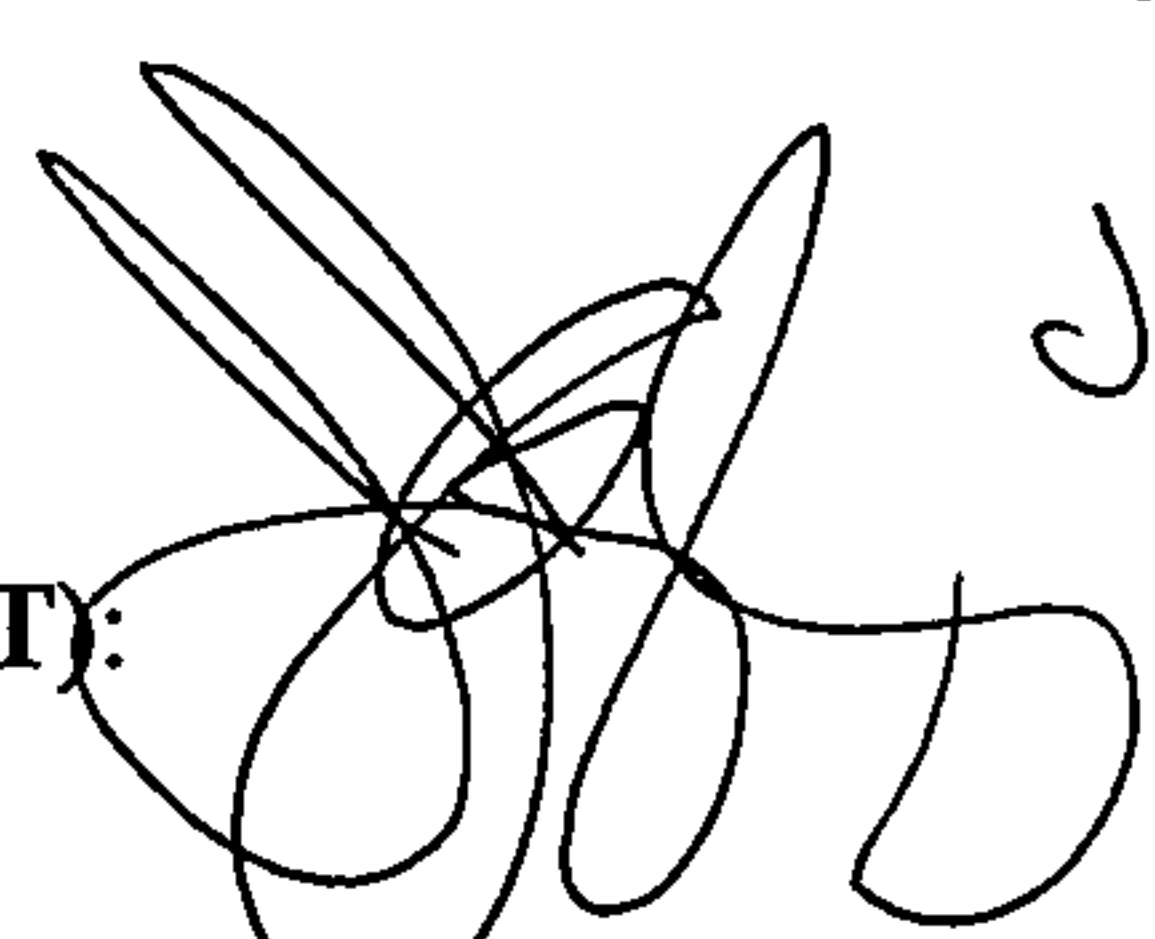
ATTENDANCE: John Jacquez + Rita Harmon

FINDINGS:

- ① Cannot discharge into 5th unless there is enough street capacity and FALL to down stream inlets (also depends on amount)
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SIGNED: 
NAME (PRINT): Curtis A. Chene

SIGNED: 
NAME (PRINT): JOHN JACQUEZ

****NOTE**** PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.

REQUESTING PRE DESIGN CONFERENCE

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: ADVANCED AUTO PARTS STORE ZONE MAP/DRG. FILE # H 14 Z
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS "A-1" AND "A-2" OF THE WHITE CITY - GLENHAVEN ADDITION
CITY ADDRESS: TO THE CITY OF ALBUQUERQUE, NM

CITY ADDRESS: 3021 4TH ST. NW, ALBUQUERQUE, NM 87107
2715

ENGINEERING FIRM: MILLER ENGINEERING CONSULTANTS CONTACT: JOHN JACQUEZ
ADDRESS: 3500 COMANCHE NE, BUILDING F PHONE: 505-888-7500
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87107

OWNER: THE SKARSGARD FIRM P.C.
ADDRESS: 8220 SAN PEDRO NE SUITE 500
CITY, STATE: ALBUQUERQUE, NM

CONTACT: JOSHUA J. SKARSGARD
PHONE: 505-262-2323
ZIP CODE: 87113

ARCHITECT: GG ARCHITECT, LLC
ADDRESS: 2041 S PLAZA ST. NW
CITY, STATE: ALBUQUERQUE, NM

CONTACT: CLINT WILSEY, ARCHITECT
PHONE: 505-280-0443
ZIP CODE: 87104

SURVEYOR: PRECISION SURVEYS, INC.
ADDRESS: 8414-D JEFFERSON ST. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: LARRY MEDRINO
PHONE: 505-856-5700
ZIP CODE: 87113

PROFESSIONAL LICENSED SURVEYOR SIGNATURE

LICENSE NO.

DATE

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO, Requesting Pre design Conference
☐ COPY PROVIDED

SUBMITTED BY: _____ DATE: 7/10/15

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Precipitation Zone 2

Existing Land Treatments

$$\text{Total Area} = 33857 \text{ SF} = 0.78 \text{ Acres.}$$

A 0.18 Ac

B —

C —

D 26070 SF = 0.60

Proposed Land Treatments

A —

B —

C 0.08 Ac

$$D \quad 32102 - 757 - 357 - 596 - 232 = 30160 \text{ SF} = 0.70$$

First Flush Calculation

$$(0.44 - 0.1) \text{ inches} \cdot \frac{\text{LFT}}{12 \text{ in}} = 0.0283 \overset{\text{IMP AREA}}{(30160)}$$

854 CF OF VOLUME REQUIRED

IN VALLEY FIRST $\frac{1}{2}$ " OF PRECIP MUST BE
DETAINED (IMPERVIOUS)

$$0.5" \left(\frac{11}{12} \right) = 0.042 (30160) = 1257 \text{ CF}$$

1257 CF vol required to be
detained.

Estimated		
WATER HARVEST	1685	1305 cf
S&E BUILDING	926	

NE BUILDING	2	757	603
-------------	---	-----	-----

NW BUILDING	3	357	260
		162	

WEST OR BUILDING	4	596	387
		177	

NORTH OF WH 4	5	231	1797
		126	
			<hr/>
			1429 cf
			..

1429 > 1257 ∴ ok.

Ex Draw Basins

A 0.2 Ac

B 0.58 Ac

LAND TREATMENTS BA

BASIN A TOTAL AC 0.2

A —
B —
C —
D 0.2

BASIN B TOTAL AC = 0.58

A 0.18
B
C
D 0.4

PROP Drain Basins

1 10519 0.24 Ac

2 0.54 Ac

LAND TREATMENTS

BASIN 1 TOTAL AC 0.24 Ac

A 0.04
B 0.04
C
D

10519 - 1185 - 757 = 8577 0.20

BASIN 2 TOTAL AC = 0.54

A 0.04
B 0.04
C
D 0.50

Jana Miller

From: Jana Miller
Sent: Friday, July 10, 2015 3:48 PM
To: 'plndrs@cabq.gov'
Cc: John Jacquez; Verlyn Miller
Subject: RE: Advanced Auto Parts
Attachments: COA CONCEPT GD SUB 7-10-15.pdf

Please find attached submittal. Will be submitting this afternoon 7-10-2015 before 5:00 PM.



CITY OF ALBUQUERQUE



March 30, 2016

Clint Wilsey
66Architect, LLC
8220 Sa Pedro Dr., NE Suite 500
Albuquerque, NM 87104

Re: Advance Auto Parts
2801 4th St., NW
Request for Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 11-20-15 (H14-D041)
Certification dated 3-30-16

Dear Mr. Wilsey,

Based upon the information provided in your submittal received 3-30-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3630.

Albuquerque

Sincerely,

New Mexico 87103

John B. Gurulé, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2013)

Project Title: 4 Advance Auto Parts Building Permit #: 201592183 City Drainage #: H14D041
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot A1, White City & Glenhaven Addn. UPC# 101405931741010910, TRACT A-2-A
City Address: 2801 4th St. NW, Albuquerque NM 87107

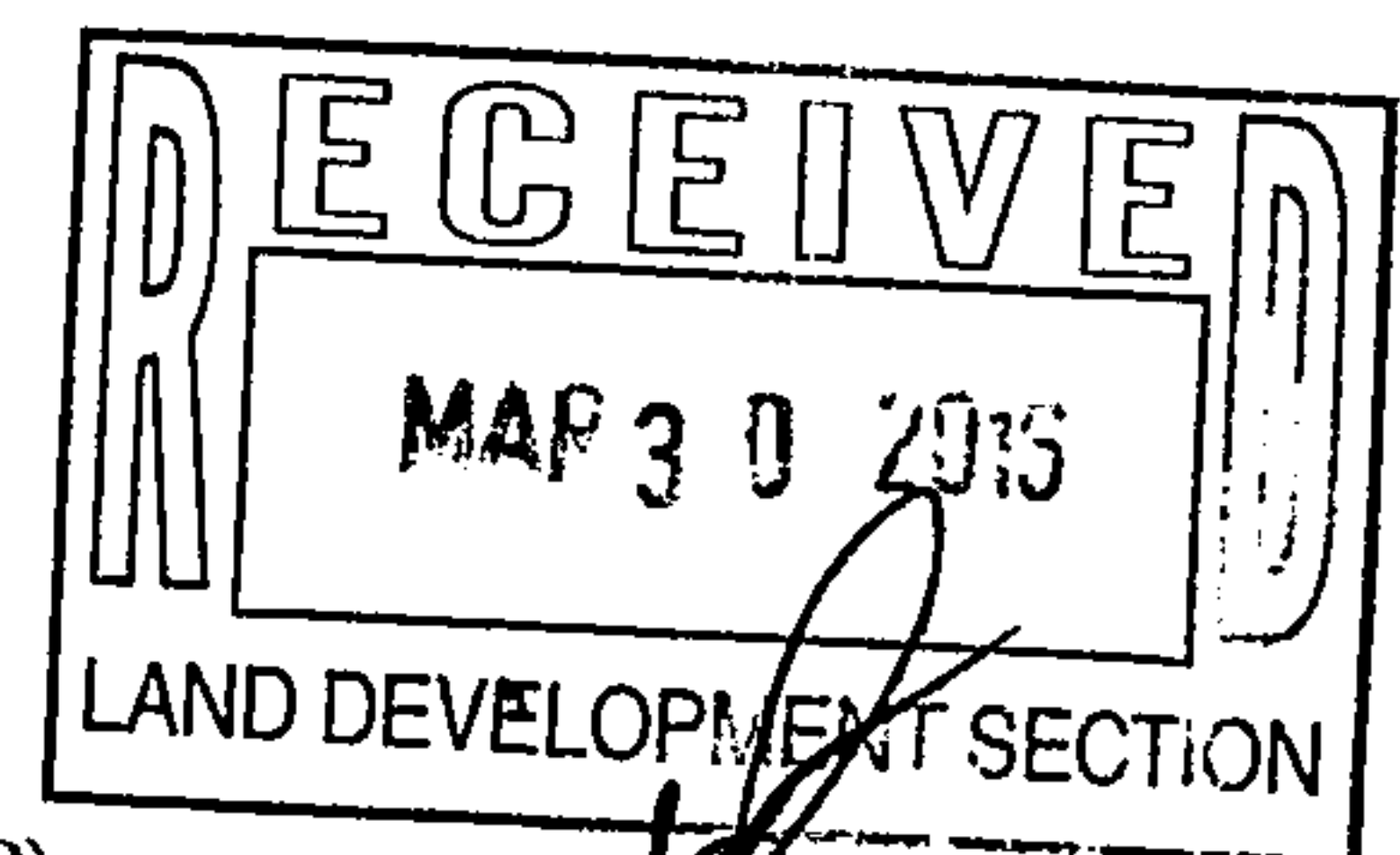
Engineering Firm: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Owner: Skarsgard Firm Contact: josh skarsgard
Address: 8220 San Pedro Dr. NE suite 500
Phone#: 505-262-2323 Fax#: _____ E-mail: _____
Architect: 66Architect, LLC Contact: Clint Wilsey
Address: 2041 S. Plaza St. NW, Albuquerque, NM 87104
Phone#: 505-280-0043 Fax#: _____ E-mail: clint.wilsey@gmail.com
Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

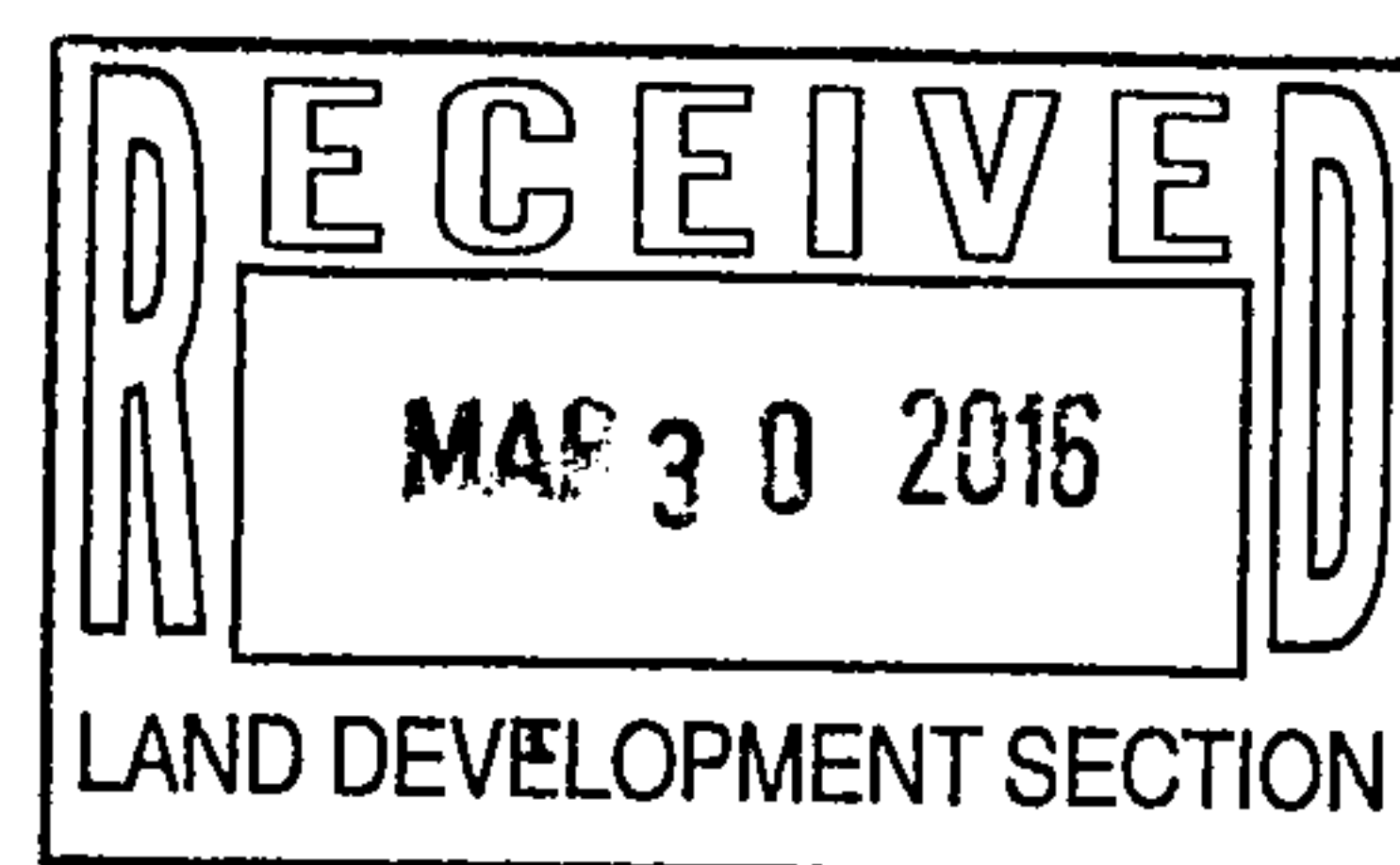


WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☐ No ☐ Copy Provided
DATE SUBMITTED: 3-30-16 By: Clinton J. Wilsey, Architect

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, an scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

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140044



Clint Wilsey / 66Architect, LLC
2041 S. Plaza St. NW
Albuquerque, NM 87104
505) 280-0043
clint.wilsey@gmail.com

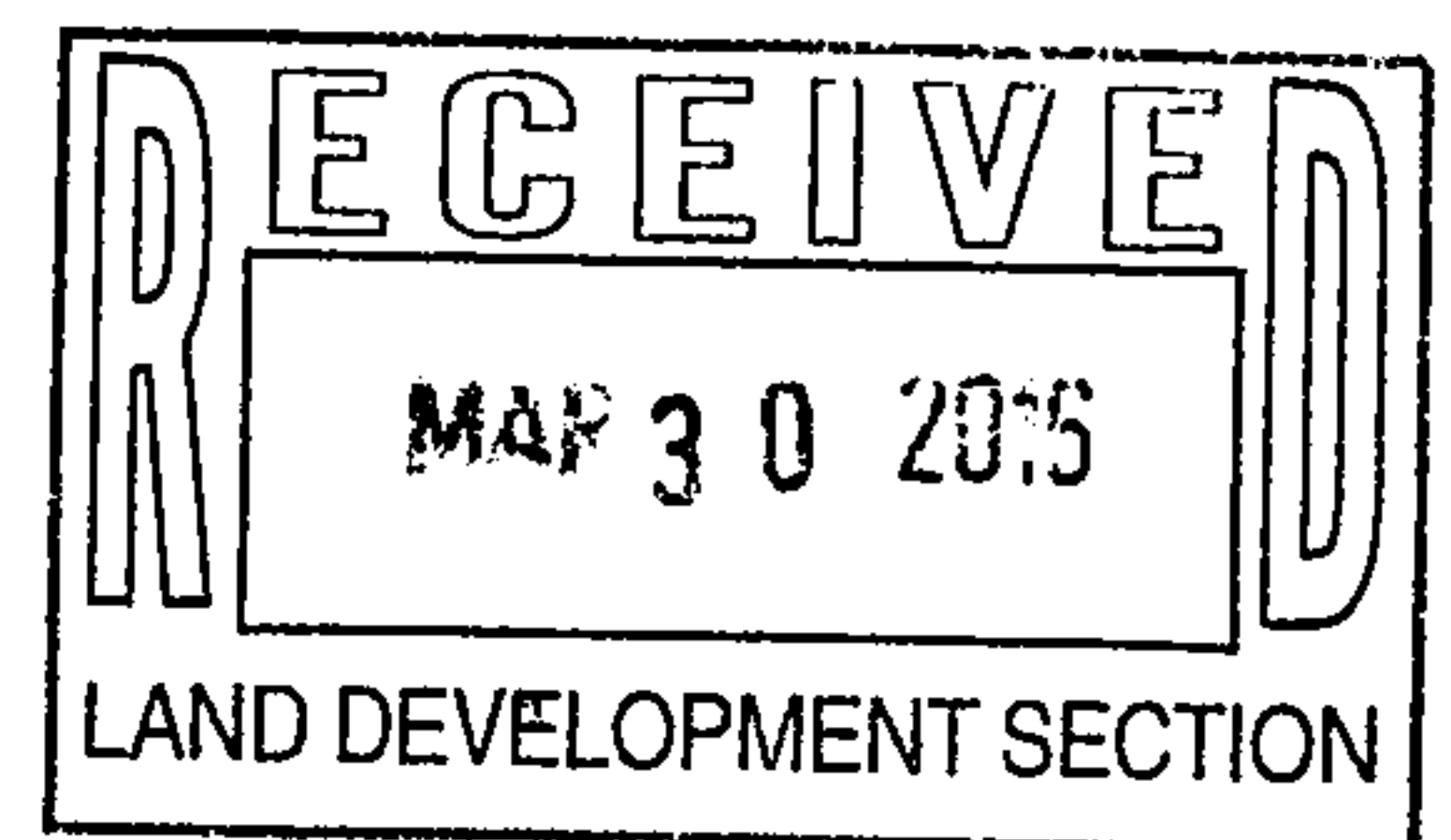
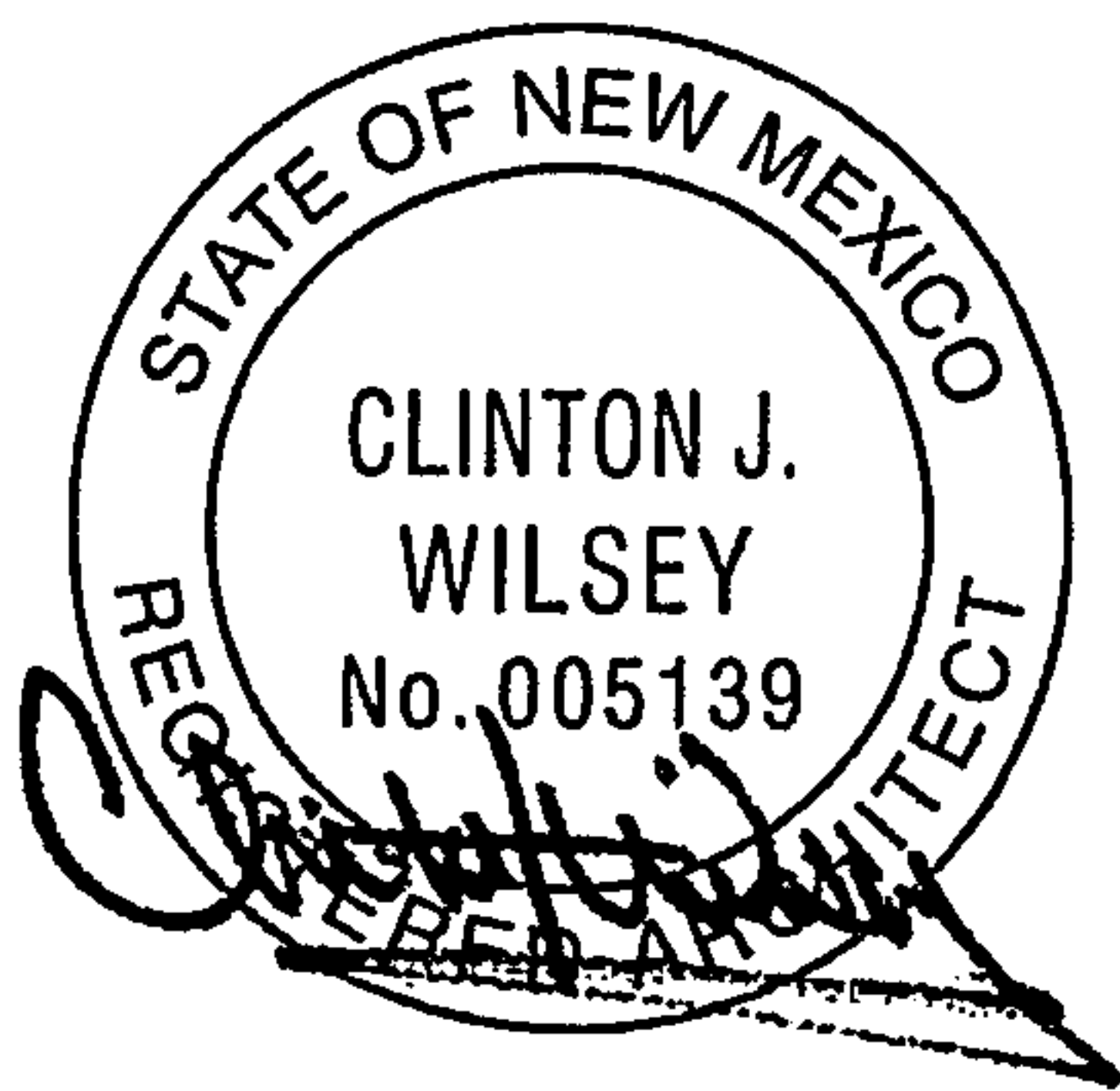
March 30, 2016

Attn. Gary Sandoval:

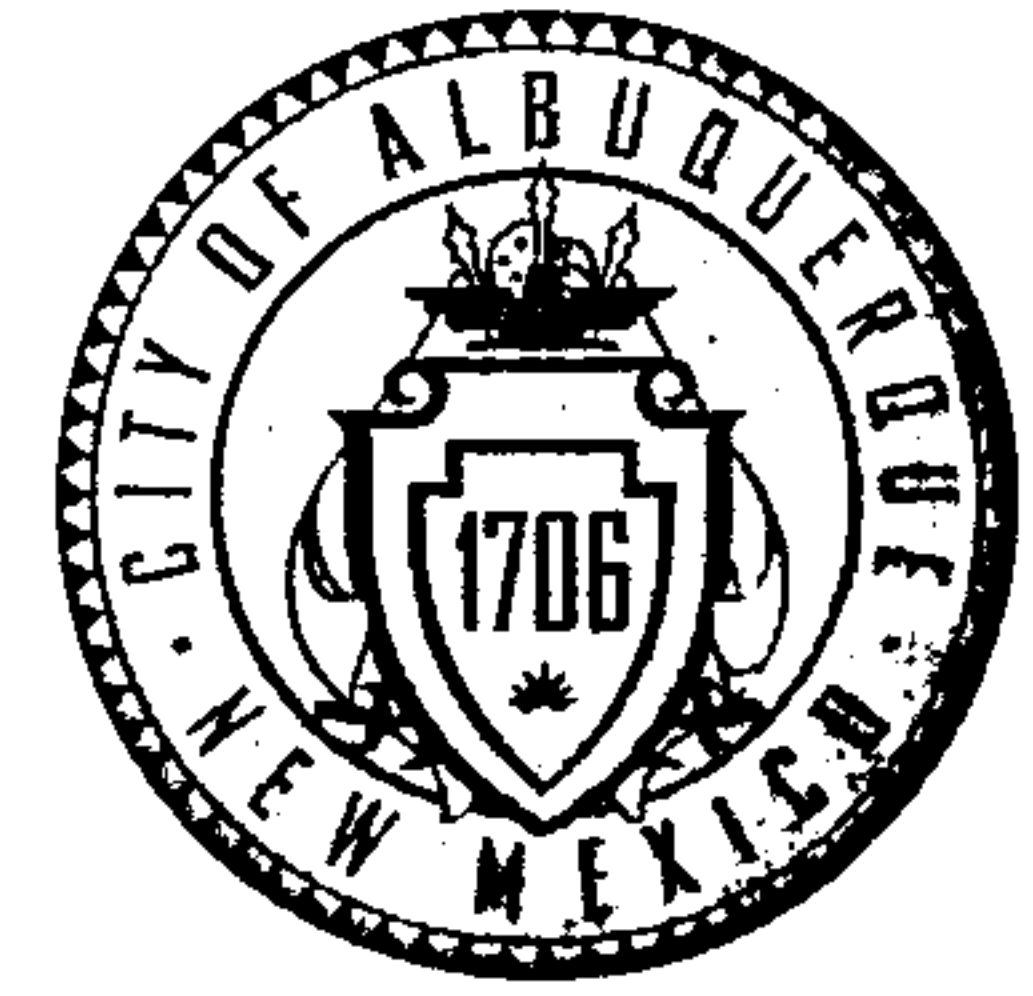
TRAFFIC CERTIFICATION

I, Clint Wilsey NMRA 005139, of the firm 66Architect, LLC, hereby certify that this project is in substantial compliance with and in accordance with the design intent with the TCL and dated 11-20-15. The record information edited onto the original design document has been obtained by Clint Wilsey of the firm 66Architect. I further certify that I have personally visited the site on 2801 4th St., Albuquerque, NM and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certificate of occupancy.

Clint Wilsey, Architect



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

November 20, 2015

Clint Wilsey
66Architect, LLC
2041 S. Plaza St., NW
Albuquerque, NM 87104

**Re: Advanced Auto Parts
2801 4th St., NW
Traffic Circulation Layout**
Engineer's/Architect's Stamp dated 11-16-15 (H14-D041)

Dear Mr. Wilsey,

The TCL submittal received 11-16-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

New Mexico 87103

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

CITY OF ALBUQUERQUE



Planning Department Transportation Development Services

September 21, 2015

Clint Wilsey
66Architect, LLC
2041 S. Plaza St., NW
Albuquerque, NM 87104

Re: Advanced Auto Parts
2801 4th St., NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 8-1-15 (H14-D041)

Dear Mr. Wilsey,

Based upon the information provided in your submittal received 9-17-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

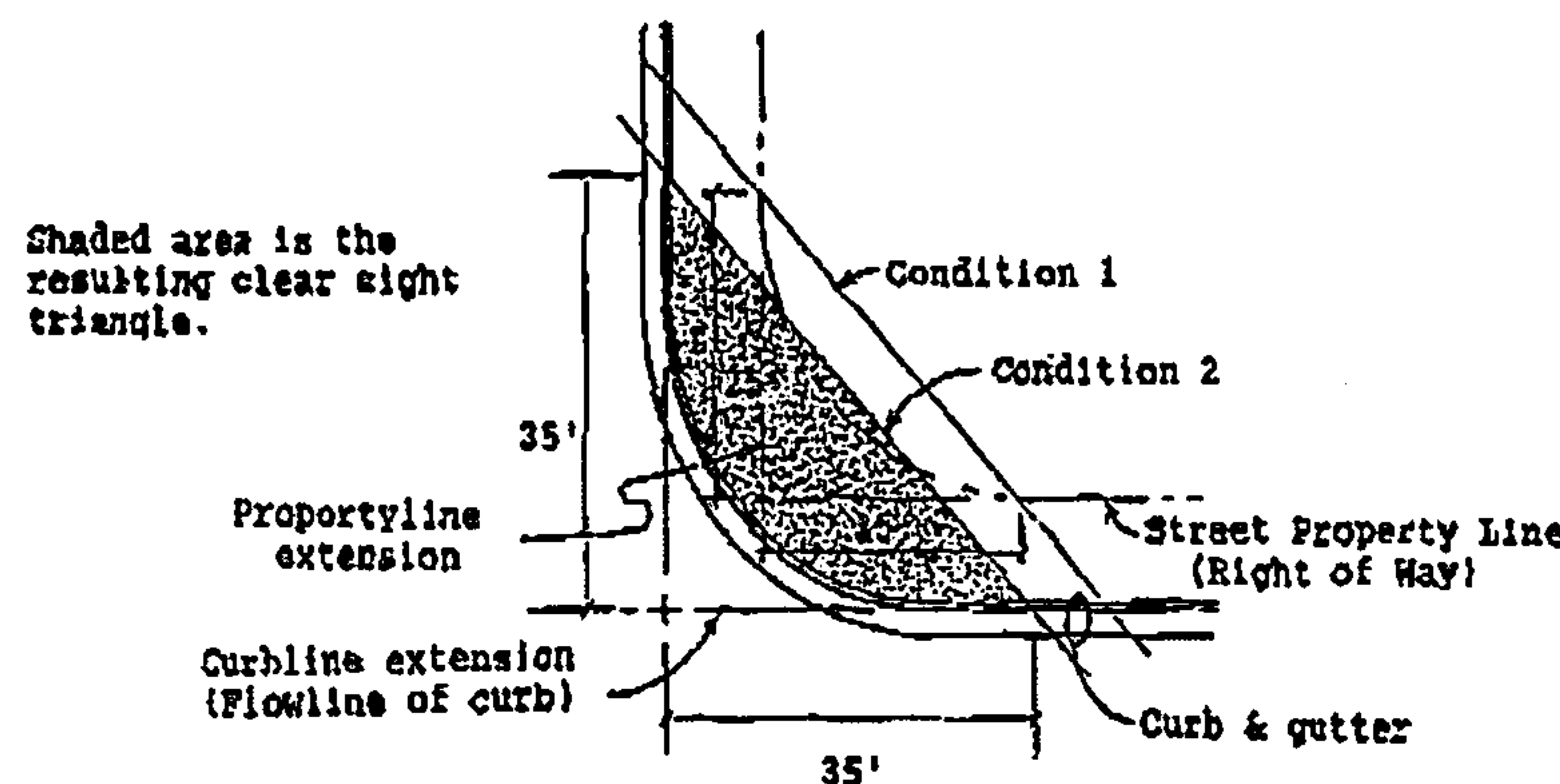
PO Box 1293

Albuquerque

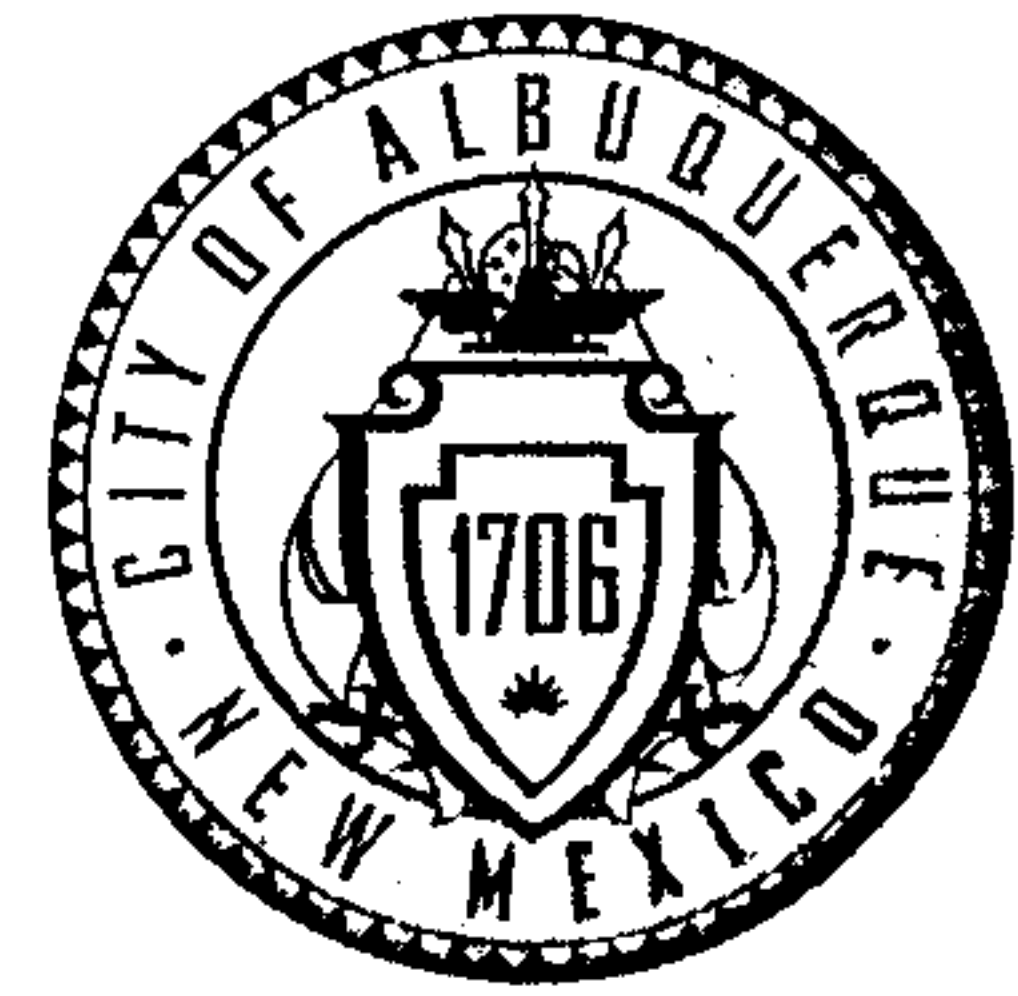
New Mexico 87103

www.cabq.gov

1. Clarify the extents of the current phase. Please detail or state if there is an existing building and if it is to be demolished.
2. Identify all existing access easements and rights of way with dimensions. Please clearly show right of way side walk and pedestrian pathways on 4th st.
3. Identify the right of way width, medians, curb cuts, and street widths on both 4th St. and Phoenix Ave.
4. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
5. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please provide this detail for entrance on 4th St.



CITY OF ALBUQUERQUE



6. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
7. Unused curb cuts must be replaced with sidewalk and curb & gutter. They must be shown and a build note must be provided referring to the appropriate City Standard drawing.
8. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

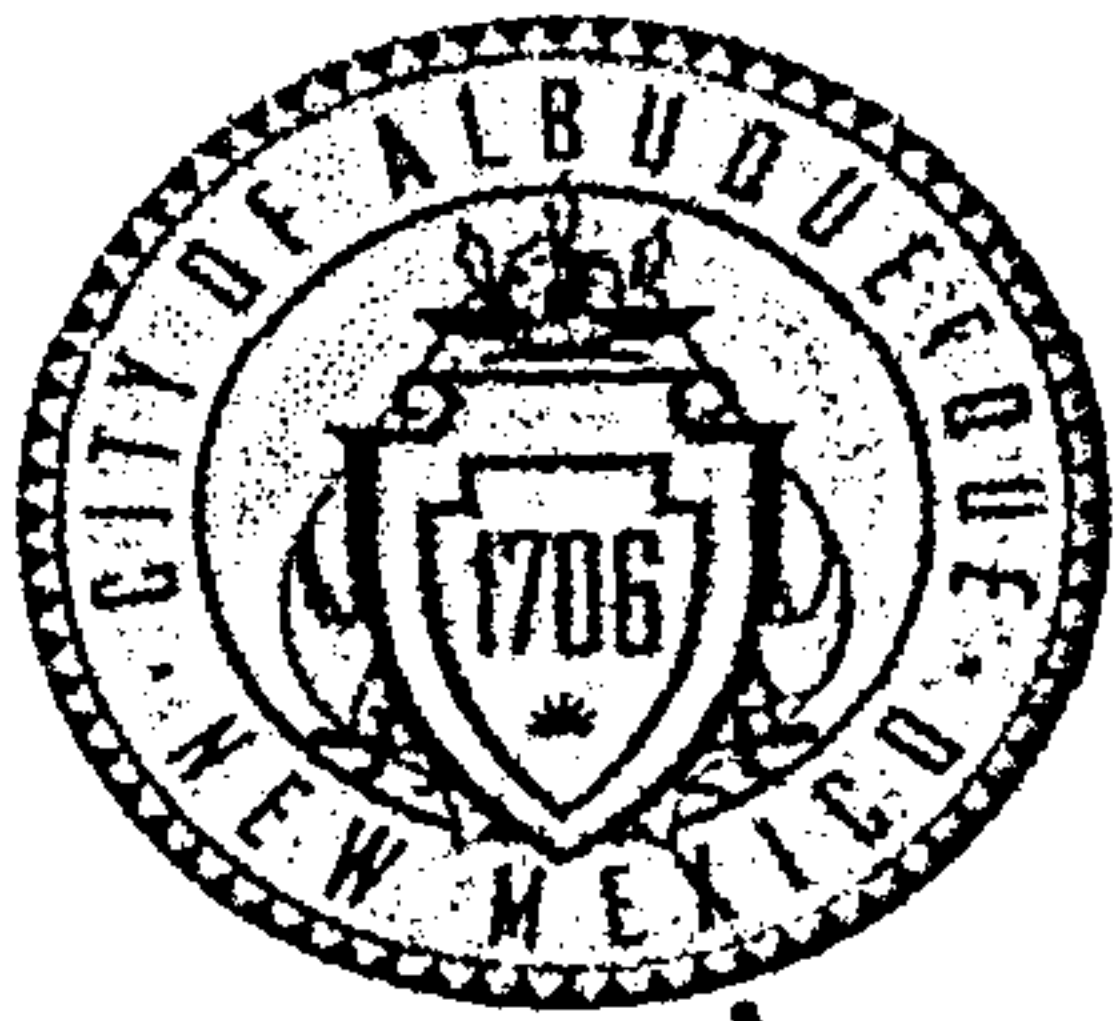
PO Box 1293

Albuquerque

\gs via: email
C: CO Clerk, File

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2013)

Project Title: ADVANCE AUTO PARTS Building Permit #: 201592183 City Drainage #: H14D041
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT A1, WHITE CITY, GLENHANEY ADDN, UPC# 101405931741010910, TRACT A-2-A
City Address: 2801 4TH ST. NW, ALBUQUERQUE, NM 87107

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: SKARSGARD FIRM Contact: JOSH SKARSGARD

Address: 2220 SAN PEDRO DR. NE #500

Phone#: 505-242-2323 Fax#: _____ E-mail: _____

Architect: LI ARCHITECT, LLC Contact: CLINT WILSEY

Address: 2041 S. PLAZA ST. NW, ALBUQUERQUE, NM 87104

Phone#: 505-280-0043 Fax#: _____ E-mail: CLINT.WILSEY@GMAIL.COM

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

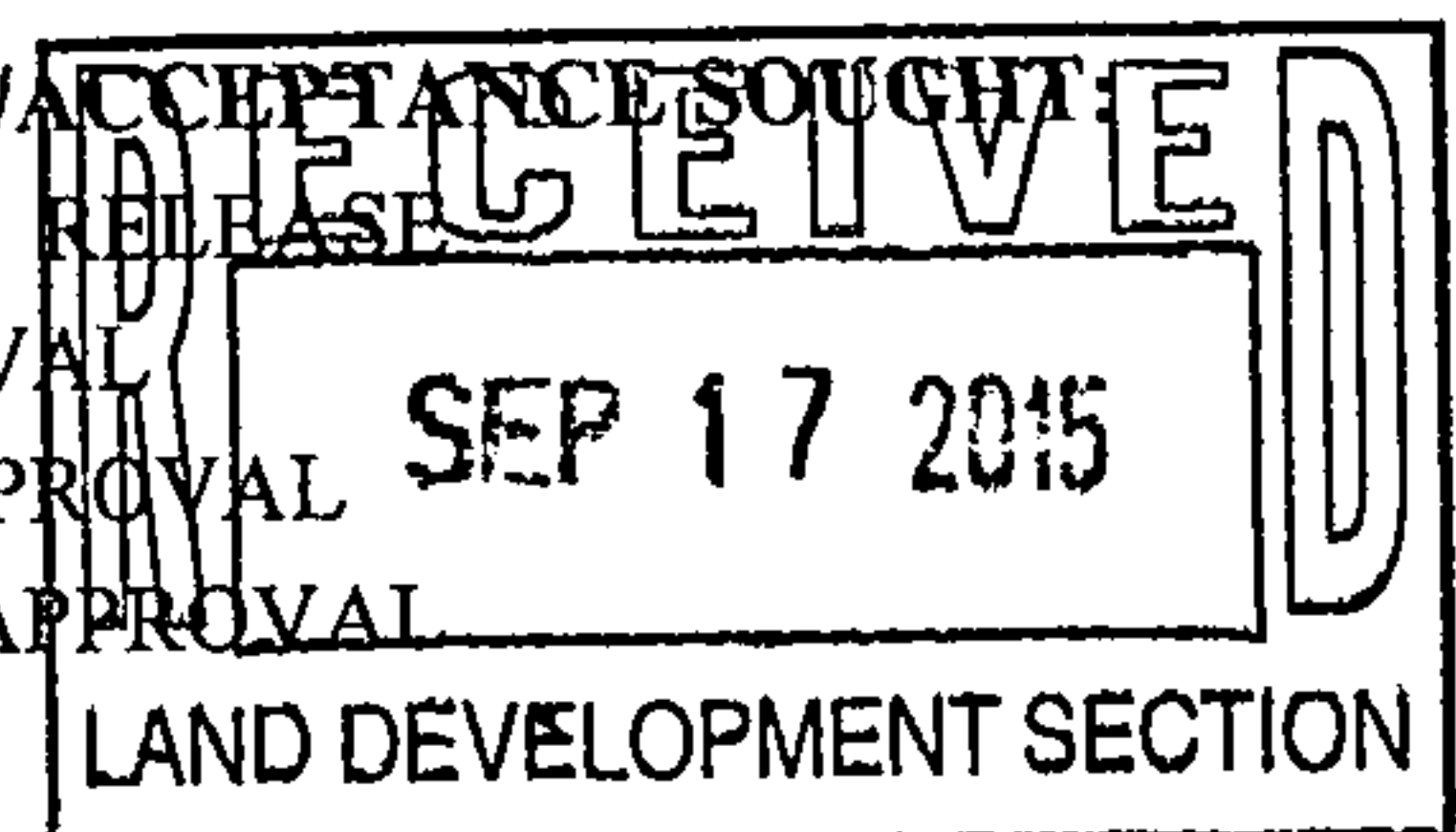
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☒ Copy Provided D.R.T. NTG.

DATE SUBMITTED: 9/14/15 By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, an scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Legend

- ☐ Bernalillo County Parcels
- Primary Streets**
 - Urban Principal Arterial
 - BN and SF Railroad
 - Freeway
 - Urban Minor Arterial
- Other Streets**
 -
- Municipal Limits**
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
- World Street Map

Notes

0.0 0 0.01 0.0 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
9/21/2015 © City of Albuquerque

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THIS MAP IS NOT TO BE USED FOR LEGAL PURPOSES