

CITY OF ALBUQUERQUE



March 30, 2016

Clint Wilsey
66Architect, LLC
8220 Sa Pedro Dr., NE Suite 500
Albuquerque, NM 87104

Re: Advance Auto Parts
2801 4th St., NW
Request for Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 11-20-15 (H14-D041)
Certification dated 3-30-16

Dear Mr. Wilsey,

Based upon the information provided in your submittal received 3-30-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3630.

Sincerely,

John B. Gurulé, P.E.
Senior Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2013)

Project Title: 4 Advance Auto Parts Building Permit #: 201592183 City Drainage #: 414D041
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot A1, White City & Glenhaven Addn. UPC# 101405931741010910, TRACT A-2-A
City Address: 2801 4th St. NW, Albuquerque NM 87107

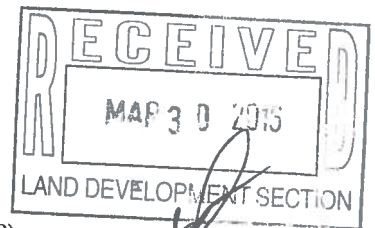
Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____
Owner: Skarsgard Firm **Contact:** josh skarsgard
Address: 8220 San Pedro Dr. NE suite 500
Phone#: 505-262-2323 **Fax#:** _____ **E-mail:** _____
Architect: 66Architect, LLC **Contact:** Clint Wilsey
Address: 2041 S. Plaza St. NW, Albuquerque, NM 87104
Phone#: 505-280-0043 **Fax#:** _____ **E-mail:** clint.wilsey@gmail.com
Surveyor: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____
Contractor: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided
DATE SUBMITTED: 3-30-16 By: Clinton J. Wilsey, Architect

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, an scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Clint Wilsey / 66Architect, LLC
2041 S. Plaza St. NW
Albuquerque, NM 87104
505) 280-0043
clint.wilsey@gmail.com

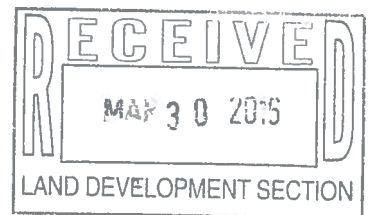
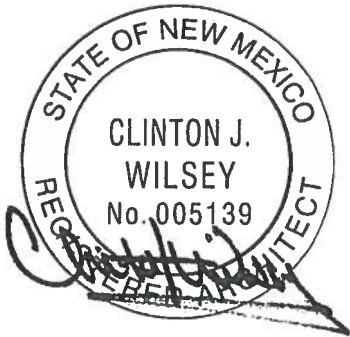
March 30, 2016

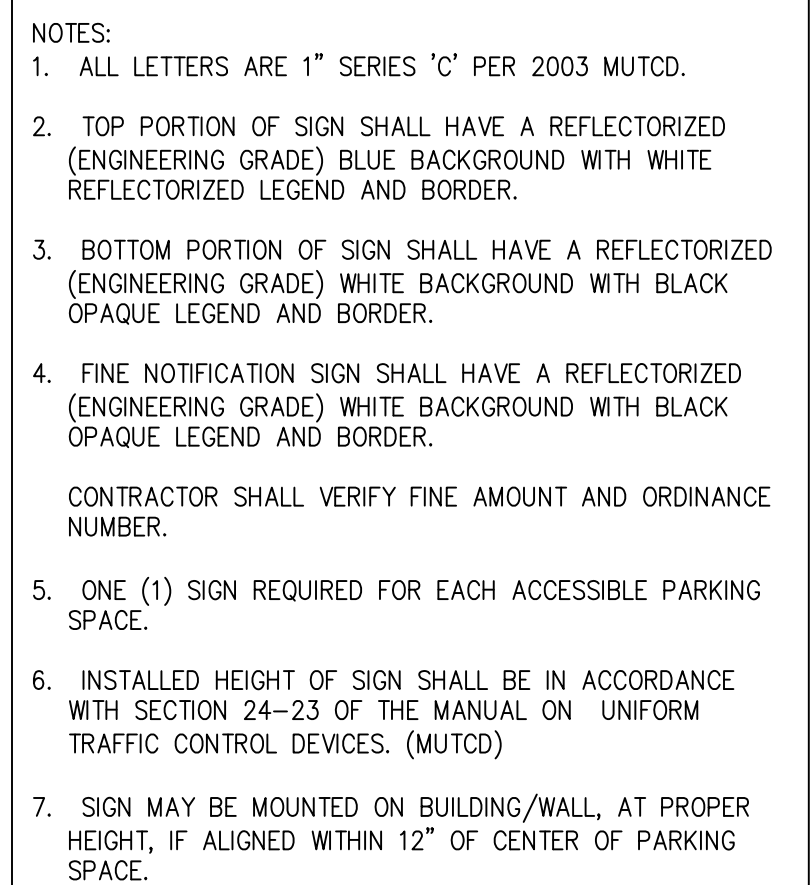
Attn. Gary Sandoval:

TRAFFIC CERTIFICATION

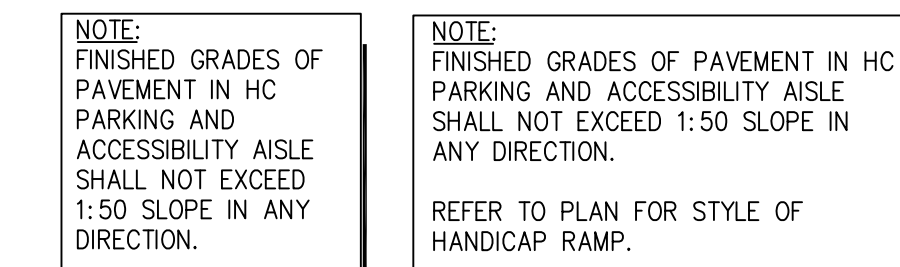
I, Clint Wilsey NMRA 005139, of the firm 66Architect, LLC, hereby certify that this project is in substantial compliance with and in accordance with the design intent with the TCL and dated 11-20-15. The record information edited onto the original design document has been obtained by Clint Wilsey of the firm 66Architect. I further certify that I have personally visited the site on 2801 4th St., Albuquerque, NM and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certificate of occupancy.

Clint Wilsey, Architect

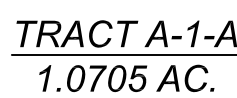




5 HANDICAP SIGNAGE
C3 SCALE: 1" = 1'-0"



2 HANDICAP STRIPING PLAN
C3 SCALE: 1/8" = 1'-0"



1 SITE PLAN
C1 SCALE: 1" = 20'-0"



- ## SITE ARCHITECTURAL KEY NOTES:
- 1 DUMPSTER ENCLOSURE.
 - 2 INSTALL NEW 6" THICK CONCRETE LOADING PAD OF 4000 PSI BROOM FINISHED CONCRETE W/ 3/4" AGGREGATE W/ 6"x6"x W2.1/2. W/11MM STEEL REINFORCEMENT. SLOPE AWAY FROM BUILDING 1/8" PER FOOT FOR POSITIVE DRAINAGE. PLACE OVER 4" COMPACTED BASE COURSE OVER 12" OF STRUCTURAL FILL. REFER TO GEOTECHNICAL REPORT.
 - 3 ASPHALT PAVEMENT PARKING LINES 4" WIDE PAINTED WHITE WITH TWO (2) COATS OF SHERWIN WILLIAMS "HOTLINE" FAST DRYING TRAFFIC MARKING PAINT. HANDICAP PARKING & HANDICAP SYMBOL TO BE PAINTED COLOR & SIZE AS REQUIRED BY THE GOVERNING ACCESSIBILITY CODE. CONCRETE PAVEMENT PARKING LINES FOR ACCESSIBLE SPACES SHALL BE THE SAME AS ABOVE EXCEPT USE BLUE OR YELLOW PAINT. REFER TO DETAILS 1/C3 AND 2/C3 FOR ADDITIONAL INFORMATION.
 - 4 CONSTRUCT 6" HIGH CONC. CURB & GUTTER CONTINUOUS AROUND SITE. BACKFILL TO TOP OF CURB. PROVIDE CATCH & SPILL WHERE APPLICABLE.
 - 5 54"x60" CLEAR APPROACH AREA
 - 6 ANCHOR DOWN CONCRETE WHEEL STOPS 30" FROM FACE OF CONCRETE WALK/SIDEWALK. REFER TO DETAIL 10/C2.
 - 7 PROVIDE HANDICAP RAMP WHEN PAVING IS NOT FLUSH WITH ENTRY SIDEWALK PER FEDERAL & LOCAL ACCESSIBILITY REQUIREMENTS.
 - 8 HANDICAP PARKING SIGN FOR SPACES ADJACENT TO BUILDING ENTRANCE.
 - 9 NEW BROOM FINISHED CONCRETE SIDEWALK SLOPED AWAY FROM BUILDING 3/8"/FT. FOR POSITIVE DRAINAGE.
 - 10 MONUMENT SIGN, GC TO CONSULT WITH ADVANCE AUTO PARTS' SIGN COORDINATOR AND ARCHITECTURAL DESIGNER FOR DETAILS. GC IS TO PROVIDE AND INSTALL MONUMENT FOUNDATION DESIGNED FOR SITE SPECIFIC SOIL CONDITIONS AND RELATED ELECTRICAL BASED ON ENGINEERING PROVIDED BY SIGN PERMITTING VENDOR.
 - 11 6" PORTLAND CEMENT CONCRETE OVER 4" COMPACTED BASE COURSE OVER 12" STRUCTURAL FILL. REFER TO GEOTECHNICAL REPORT
 - 12 LANDSCAPING
 - 13 CONCRETE CURB
 - 14 PROVIDE BOLLARDS AT ALL EXTERIOR MOUNTED METERING DEVICES. (GAS, WATER, ELECTRIC) MIN. (2) TWO AS REQUIRED .
 - 15 NEW CURB CUT
 - 16 USE HEAVY DUTY ASPHALT/CONCRET PAVEMENT THOUGHTOUT, U.N.O. (4" ASPHALTIC CONCRETE OVER 6" AGGREGATE BASE COURSE OVER 12" STRUCTURAL FILL.) REFER TO GEOTECHNICAL SPECIFICATIONS.
 - 17 6" CONCRETE APRON WITH 6" x 6" x 3/8" W.W.F. STEEL REINFORCEMENT. USE 4000 PSI CONCRETE MIX. DO NOT USE SLAG OR FLY ASH FOR CEMENTITIOUS MATERIAL. PLACE OVER 4" COMPACTED BASE COURSE OVER 12" OF STRUCTURAL FILL. REFER TO GEOTECHNICAL SPECIFICATIONS
 - 18 NEW FIRE HYDRANT
 - 19 EXISTING CURB CUT DRIVE TO BE REPLACED WITH 6" SIDEWALK PER COA STANDARD DWG. 2430. PROVIDE NEW CURB & GUTTER PER COA STANDARD DWG. 2415A
 - 20 EXISTING CURB CUT DRIVE TO BE REPLACED WITH NEW DRIVE PER PLANS. REFER TO COA STANDARD DWG. 2420 FOR NEW VALLEY GUTTER
 - 21 EXISTING CURB CUT TO BE ABANDONED FOR FUTURE PHASES
 - 22 EXISTING 6" PUBLIC SIDEWALK
 - 23 CLEAR SIGHT TRIANGLE PER CITY OF ABQ DEVELOPMENT PROCESS MANUAL, CHAPTER 23, SECT. 3, PART. D5 INTERSECTION SIGHT DISTANCE.
NOTE* LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

| SITE DATA | | |
|---|-------------------|-------------------------------|
| <u>SITE AREA - TRACT A-2-A</u> | | |
| TOTAL LOT SQ. FT. = | 33,811 SF/ | CONSTRUCTION AREA = 33,811 SF |
| TOTAL LOT ACRES = | .78 ACRES/ | CONSTRUCTION AREA =.78 ACRES |
| BUILDING | 9,933 SF | 29 % OF TOTAL AREA |
| PAVEMENT | 20,271 SF | 60 % OF TOTAL AREA |
| GREEN/OPEN SPACE | 3,701 SF | 11 % OF TOTAL AREA |
| <u>BUILDING SETBACKS</u> | | |
| | <u>REQUIRED</u> | <u>PROVIDED</u> |
| FRONT | 10' MAX | 10' FT. |
| REAR | 5' | 62' FT. |
| SIDE | 0' | 10' FT. |
| SIDE | 0' | 57' FT. |
| <u>MAXIMUM BUILDING HEIGHT</u> | | |
| 52 FT. (4-STORY) | | |
| <u>PARKING</u> | | |
| 3 PER 1000' @ .9933 | = 30 SPACES | |
| W/30% PARKING REDUCTION FOR PROXIMITY TO BUS STOP | = 21 SPACES REQ'D | |
| TOTAL PROVIDED | 22 SPACES | |
| HANDICAP PARKING | 2 SPACES | |
| MOTORCYCLE PARKING | 1 SPACE | |

VICINITY MAP

LOT A1, WHITE CITY & GLENHAVEN ADDITION
UPC# 101405931741010710
ZONE ATLAS PAGE: H-14 ZONING: C2 OR SU-2 NFTOD



Advance Auto Parts

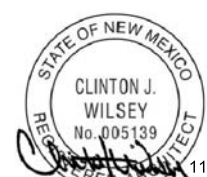
2801 4th St. NW
ALBUQUERQUE, NM 87107

STORE # 103011

| REVISIONS | | |
|-----------|--------|---------------------|
| REV | DATE | DESCRIPTION |
| 1 | 9/7/15 | PLAN CHECK REVISION |
| | | |
| | | |
| | | |
| | | |

| | |
|-------------------------------|----------------------|
| <u>DATE</u> | <u>GROSS SQ. FT.</u> |
| 7-29-15 | 9,933 SF. |
| <u>PROJECT #</u> AA 15_002 | |
| <u>DRAWN BY:</u> Clint Wilsey | |
| <u>CHECK BY:</u> Clint Wilsey | |

ALL REPORTS, PLANS, SPECIFICATIONS, FIELD DATA, NOTES AND OTHER DOCUMENTS, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA, PREPARED BY THE DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR CONSENT OF THE DESIGN PROFESSIONAL. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE, ARE HEREBY SPECIFICALLY RESERVED.



66ARCHITECT, LLC
Clint Wilsey, Architect
clint.wilsey@gmail.com
505 280-0043

SITE PLAN

C1