



**Planning Department
Transportation Development Services**

September 21, 2015

Clint Wilsey
66Architect, LLC
2041 S. Plaza St., NW
Albuquerque, NM 87104

Re: Advanced Auto Parts
2801 4th St., NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 8-1-15 (H14-D041)

Dear Mr. Wilsey,

Based upon the information provided in your submittal received 9-17-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

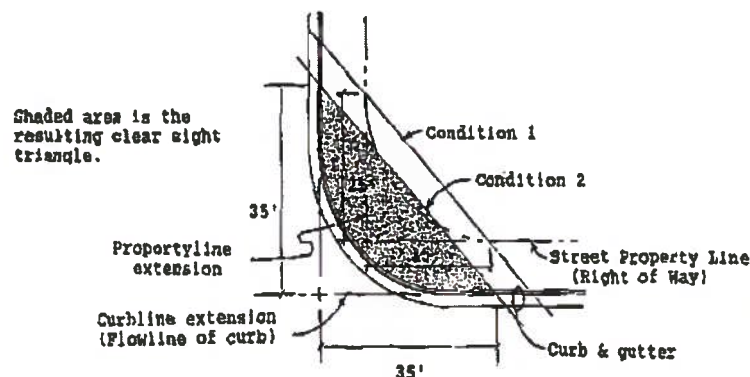
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Clarify the extents of the current phase. Please detail or state if there is an existing building and if it is to be demolished.
2. Identify all existing access easements and rights of way with dimensions. Please clearly show right of way side walk and pedestrian pathways on 4th st.
3. Identify the right of way width, medians, curb cuts, and street widths on both 4th St. and Phoenix Ave.
4. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
5. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please provide this detail for entrance on 4th St.



CITY OF ALBUQUERQUE



6. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
7. Unused curb cuts must be replaced with sidewalk and curb & gutter. They must be shown and a build note must be provided referring to the appropriate City Standard drawing.
8. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

\gs via: email
C: CO Clerk, File

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2013)

Project Title: ADVANCE AUTO PARTS Building Permit # 201592183 City Drainage #: H14D041
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT A1, WHITE CITY GLENHAGEN ADDN, UPC # 101405931741010910, TRACT A-Z-A
City Address: 2801 4TH ST. NW, ALBUQUERQUE, NM 87107

Engineering Firm: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Owner: SKARSGARD FIRM Contact: JOSH SKARSGARD
Address: 2220 SAN PEDRO DR. NE #500
Phone#: 505-242-2323 Fax#: _____ E-mail: _____

Architect: U ARCHITECT, LLC Contact: CLINT WILSEY
Address: 2041 S. PLAZA ST. NW, ALBUQUERQUE, NM 87104
Phone#: 505-280-0043 Fax#: _____ E-mail: CLINT.WILSEY@GMAIL.COM

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

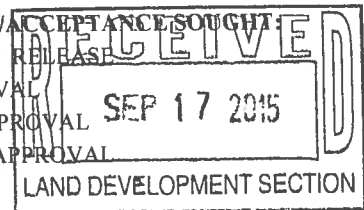
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



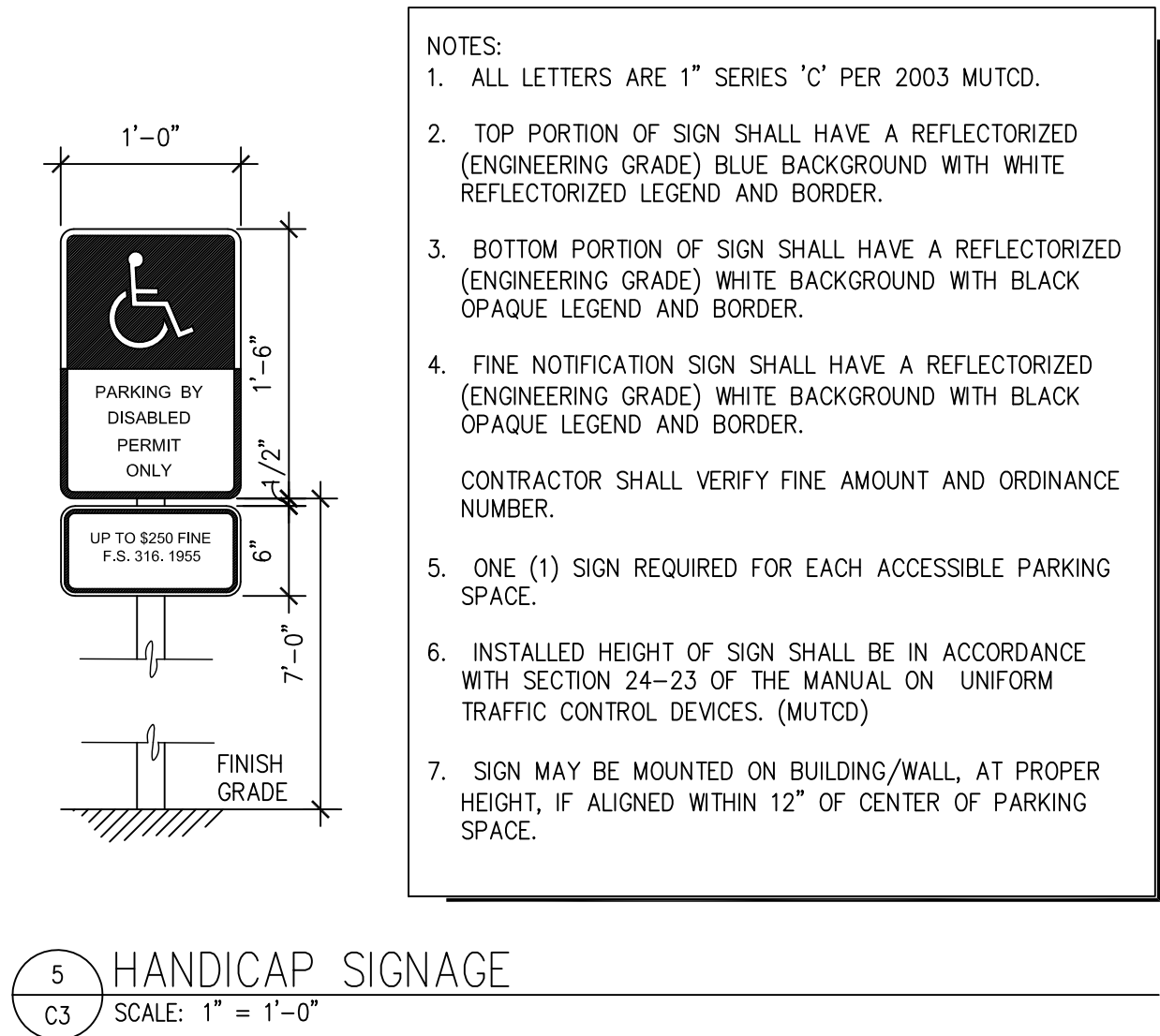
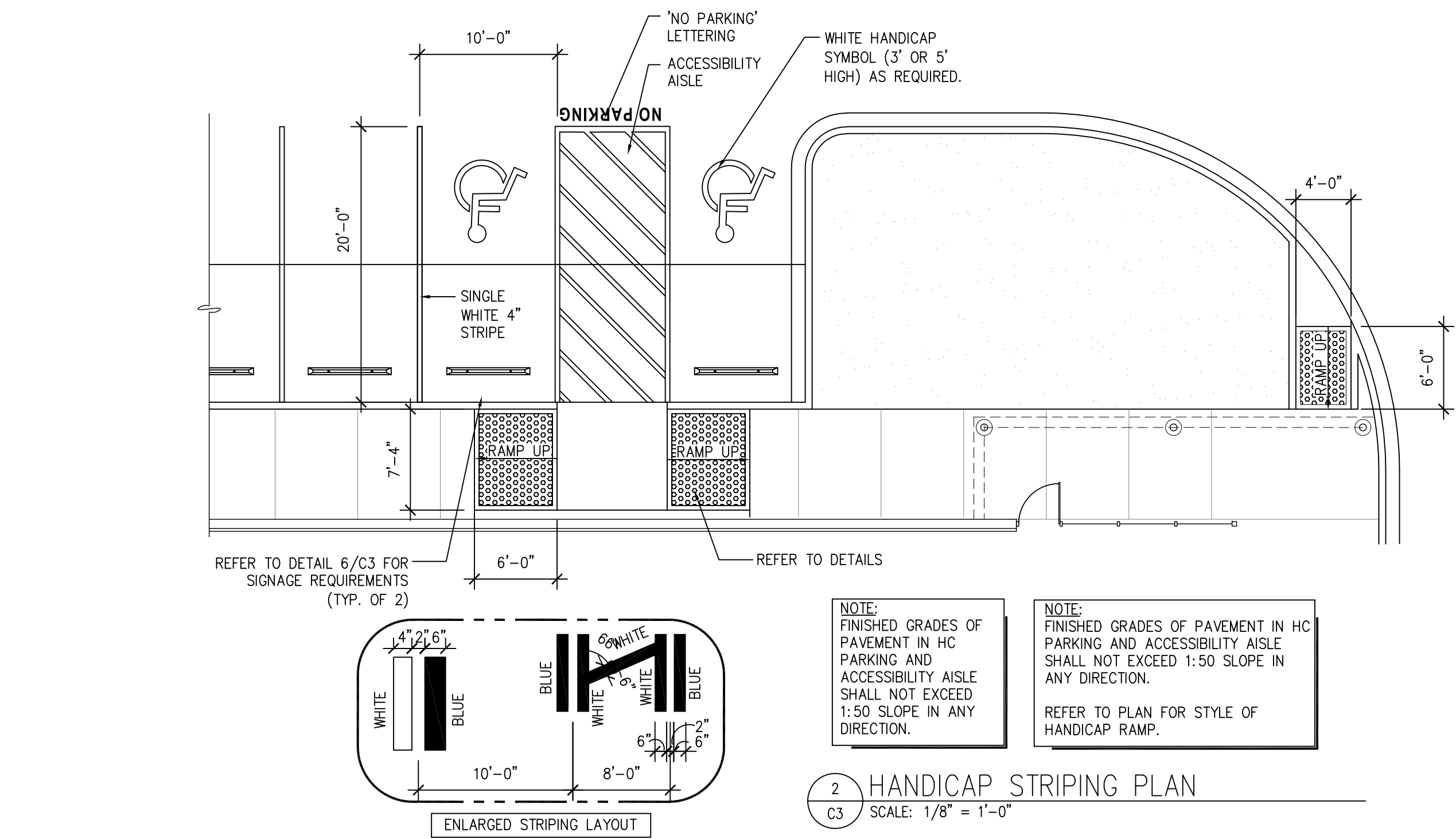
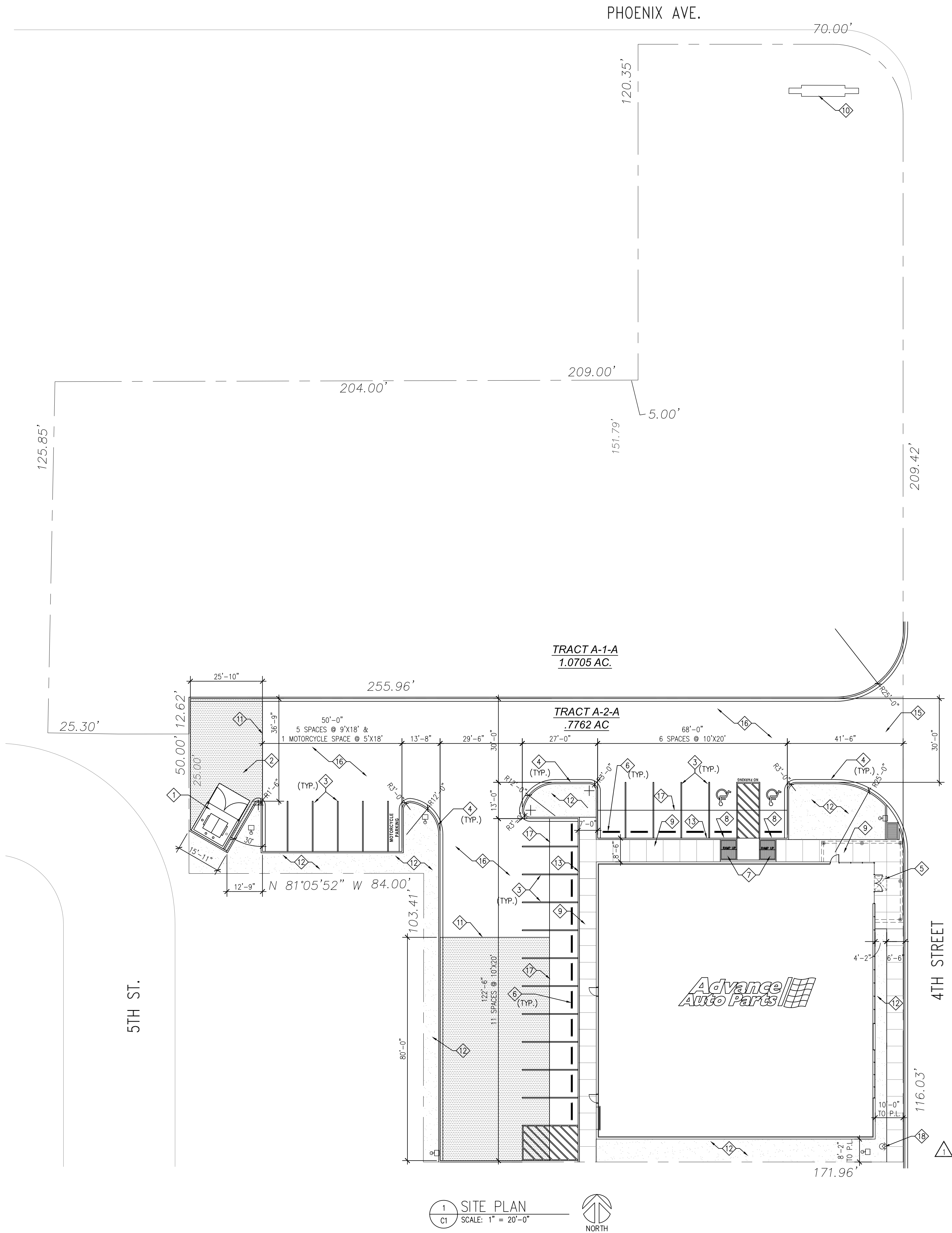
WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☒ Copy Provided D.R.T. NTG.

DATE SUBMITTED: 9/14/15

By: [Signature]

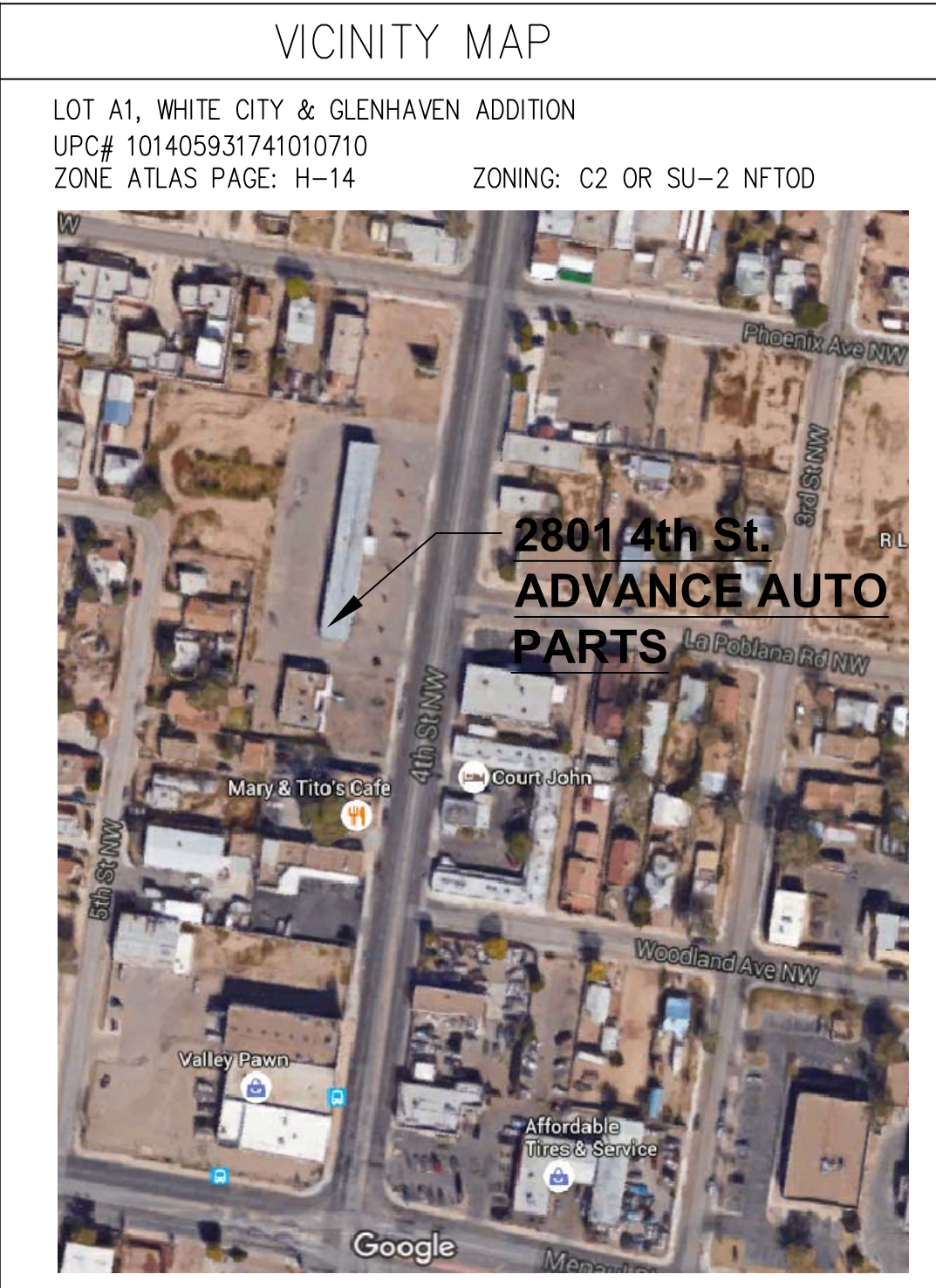
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



SITE DATA		
SITE AREA - TRACT A-2-A		
TOTAL LOT SQ. FT. =	33,811 SF	CONSTRUCTION AREA = 33,811 SF
TOTAL LOT ACRES =	.78 ACRES	CONSTRUCTION AREA = .78 ACRES
BUILDING	9,933 SF	29% OF TOTAL AREA
PAVEMENT	20,271 SF	60% OF TOTAL AREA
GREEN/OPEN SPACE	3,701 SF	11% OF TOTAL AREA
BUILDING SETBACKS		
	REQUIRED	PROVIDED
FRONT	10' MAX	10' FT.
REAR	5'	62' FT.
SIDE	0'	10' FT.
SIDE	0'	57' FT.
MAXIMUM BUILDING HEIGHT		
52 FT. (4-STORY)		
PARKING		
3 PER 1000F @ 9933	= 30 SPACES	
W/30% PARKING REDUCTION FOR PROXIMITY TO BUS STOP	= 21 SPACES REQ'D	
TOTAL PROVIDED	22 SPACES	
HANDICAP PARKING	2 SPACES	
MOTORCYCLE PARKING	1 SPACE	

- 5 SITE ARCHITECTURAL KEY NOTES:
- DUMPSTER ENCLOSURE.
 - INSTALL NEW 6" THICK CONCRETE LOADING PAD OF 4000 PSI BROOM FINISHED CONCRETE W/ 3/4" AGGREGATE W/ 6"x6"x W2.1/2.1 WMM STEEL REINFORCEMENT. SLOPE AWAY FROM BUILDING 1/8" PER FOOT FOR POSITIVE DRAINAGE. PLACE OVER 4" COMPACTED BASE COURSE OVER 12" OF STRUCTURAL FILL. REFER TO GEOTECHNICAL REPORT.
 - ASPHALT PAVEMENT PARKING LINES 4" WIDE PAINTED WHITE WITH TWO (2) COATS OF SHERWIN WILLIAMS "HOTLINE" FAST DRYING TRAFFIC MARKING PAINT. HANDICAP PARKING & HANDICAP SYMBOL TO BE PAINTED COLOR & SIZE AS REQUIRED BY THE GOVERNING ACCESSIBILITY CODE. CONCRETE PAVEMENT PARKING LINES FOR ACCESSIBLE SPACES SHALL BE THE SAME AS ABOVE EXCEPT USE BLUE OR YELLOW PAINT. REFER TO DETAILS 1/C3 AND 2/C3 FOR ADDITIONAL INFORMATION.
 - CONSTRUCT 6" HIGH CONC. CURB & GUTTER CONTINUOUS AROUND SITE. BACKFILL TO TOP OF CURB. PROVIDE CATCH & SPILL WHERE APPLICABLE.
 - 54"x60" CLEAR APPROACH AREA
 - ANCHOR DOWN CONCRETE WHEEL STOPS 30" FROM FACE OF CONCRETE WALK/SIDEWALK. REFER TO DETAIL 10/C2.
 - PROVIDE HANDICAP RAMP WHEN PAVING IS NOT FLUSH WITH ENTRY SIDEWALK PER FEDERAL & LOCAL ACCESSIBILITY REQUIREMENTS.
 - HANDICAP PARKING SIGN FOR SPACES ADJACENT TO BUILDING ENTRANCE.
 - NEW BROOM FINISHED CONCRETE SIDEWALK SLOPED AWAY FROM BUILDING 1/8"/FT. FOR POSITIVE DRAINAGE.
 - MONUMENT SIGN, GC TO CONSULT WITH ADVANCE AUTO PARTS' SIGN COORDINATOR AND ARCHITECTURAL DESIGNER FOR DETAILS. GC IS TO PROVIDE AND INSTALL MONUMENT FOUNDATION DESIGNED FOR SITE SPECIFIC SOIL CONDITIONS AND RELATED ELECTRICAL BASED ON ENGINEERING PROVIDED BY SIGN PERMITTING VENDOR.
 - 6" PORTLAND CEMENT CONCRETE OVER 4" COMPACTED BASE COURSE OVER 12" STRUCTURAL FILL. REFER TO GEOTECHNICAL REPORT
 - LANDSCAPING
 - CONCRETE CURB
 - PROVIDE BOLLARDS AT ALL EXTERIOR MOUNTED METERING DEVICES. (GAS, WATER, ELECTRIC) MIN. (2) TWO AS REQUIRED .
 - NEW CURB CUT
 - USE HEAVY DUTY ASPHALT/CONCRET PAVEMENT THROUGHOUT, U.N.O. (4" ASPHALTIC CONCRETE OVER 6" AGGREGATE BASE COURSE OVER 12" STRUCTURAL FILL) REFER TO GEOTECHNICAL SPECIFICATIONS.
 - 6" CONCRETE APRON WITH 6" X 6" X 1/2" W.W.F. STEEL REINFORCEMENT. USE 4000 PSI CONCRETE MIX. DO NOT USE SLAG OR FLY ASH FOR CEMENTITIOUS MATERIAL. PLACE OVER 4" COMPACTED BASE COURSE OVER 12" OF STRUCTURAL FILL. REFER TO GEOTECHNICAL SPECIFICATIONS
 - NEW FIRE HYDRANT



PERMIT DRAWINGS

Advance Auto Parts

2801 4th St. NW
ALBUQUERQUE, NM 87107

STORE # 103011

REVISIONS	DESCRIPTION	DATE	PLAN	CHECK	REVISION
REV	DATE	9/7/15			
DATE	7-29-15				
PROJECT #	AA 15_002				
DRAWN BY:	Client Wilsey				
CHECK BY:	Client Wilsey				
VERSION	Q4-14	100x100			
ALL REPORTS, PLANS, SPECIFICATIONS, FIELD DATA, NOTES AND OTHER DOCUMENTS, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA, PREPARED BY THE DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE, ARE HEREBY SPECIFICALLY RESERVED.					
66ARCHITECT, LLC Clint Wilsey, Architect clint.wilsey@gmail.com 505 280-0043					
SITE PLAN					
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