

D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

May 5, 2008

Mr. Cutis Cherne, PE
Hydrology Division
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Chaparral Warehouse (H14/D060)

Dear Mr. Cherne:

I have received your letter, dated April 30th, indicating three comments. Included herewith is our resubmittal of the referenced plan addressing those comments, as follows:

We have received a revised site plan from the architect that addresses the issue of the off-site property located on the south side of the site along Bezemek (Lot C). As a result, we have revised our plan accordingly. The plan now is to direct runoff from the site to the east instead of south out into Bezemek across the off-site property owned by others. To aid in the execution of this plan we have called for runoff to flow south into a landscaped area and then east across existing paving toward the SE corner of the site where there is more landscaping (into existing landscaping, as you had suggested previously). In order for this new runoff to be contained within the new landscaped area, I have called for the contractor to install an earthen around the west and south sides of the landscaping area to insure that runoff does not escape south from the landscaped area and cross onto Lot C (property of others).

As reported to your office by the architect, a plat to combine Lots 1, 2 and B is currently being taken thru DRB, by others.

On the attached plan there is now a callout for the contractor to extend the steel plates of the sidewalk culverts all the way up to the R/W line.

The solid line next to the property line along 6th Street is an existing edge of paving. It has been shaded to indicate that it is existing.

Please let me know if I can be of further assistance.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

John M. MacKenzie, PE
President

JMM/jmm

Attachment

RECEIVED

MAY 05 2008

HYDROLOGY
SECTION

CITY OF ALBUQUERQUE



May 6, 2008

John M. MacKenzie, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

Re: Chaparral Electric Warehouse Grading and Drainage Plan
Engineer's Stamp dated 5-6-08 (H14/D060)

Dear Mr. MacKenzie,

Based upon the information provided in your submittal received 5-6-08, the above referenced plan is approved for Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

To obtain a temporary or permanent CO, Engineer Certification of the Grading Plan per the DPM is required and the storm drain work in the City ROW must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Chaparral Warehouse
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: H-14/D060
WORK ORDER#: _____

LEGAL DESCRIPTION: Lots 1, 2, and B, Block 2 of The Hills Addition
CITY ADDRESS: 602 McKnight Ave. NW, Abq. NM 87102

ENGINEERING FIRM: Mark Goodwin & Associates, PA
ADDRESS: PO Box 90606
CITY, STATE: Albuquerque, NM

CONTACT: John MacKenzie
PHONE: 828-2200
ZIP CODE: 87199

OWNER: Chaparral Electric Co., Inc.
ADDRESS: 602 McKnight Ave. NW
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: _____
ZIP CODE: 87102

ARCHITECT: Mullen Heller Architecture, PC
ADDRESS: 924 Park Ave. SW, Suite B
CITY, STATE: Albuquerque, NM

CONTACT: Doug Heller
PHONE: 268-4144
ZIP CODE: 87102

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

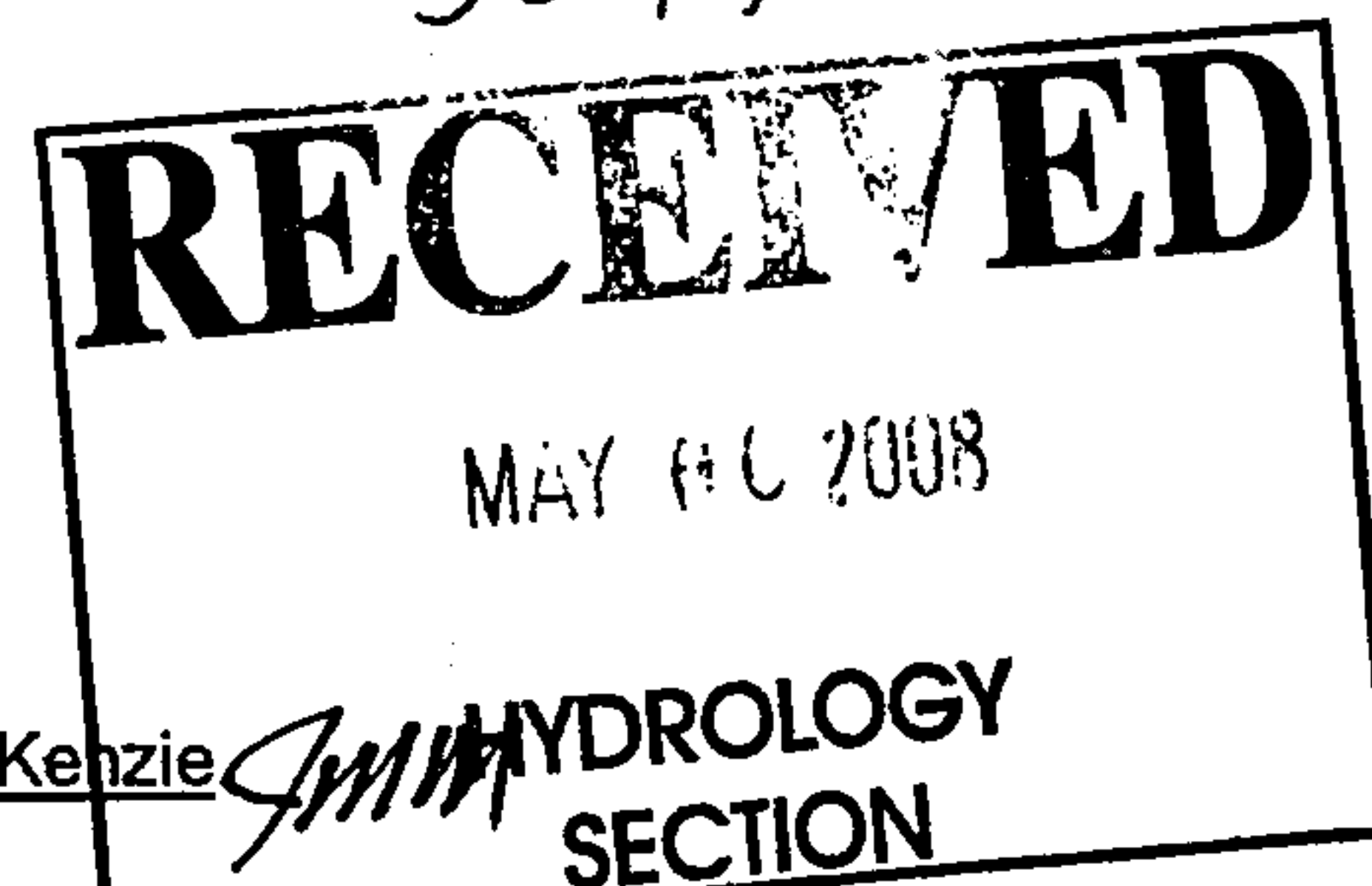
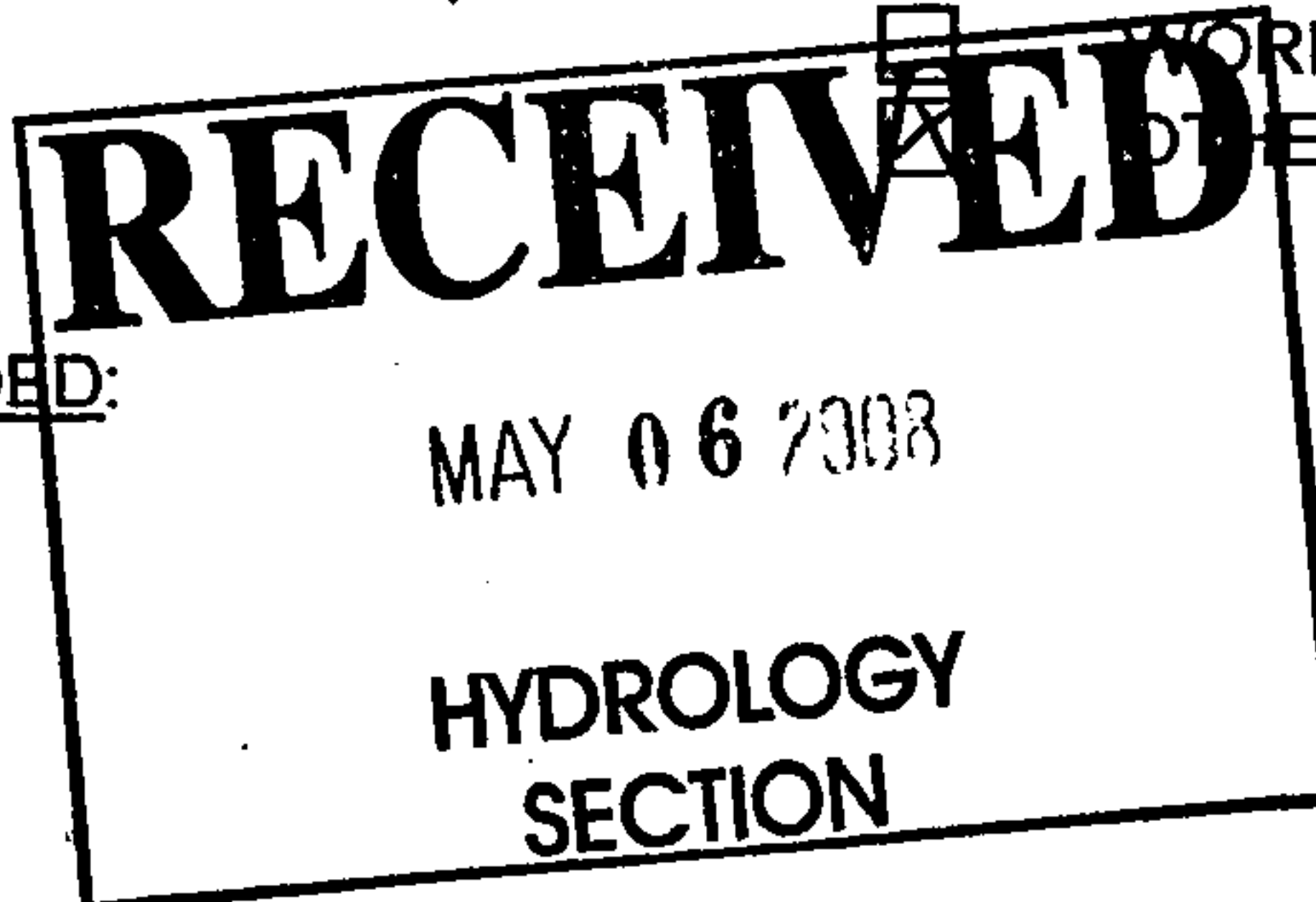
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) SD 19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: May 5, 2008

BY: John MacKenzie

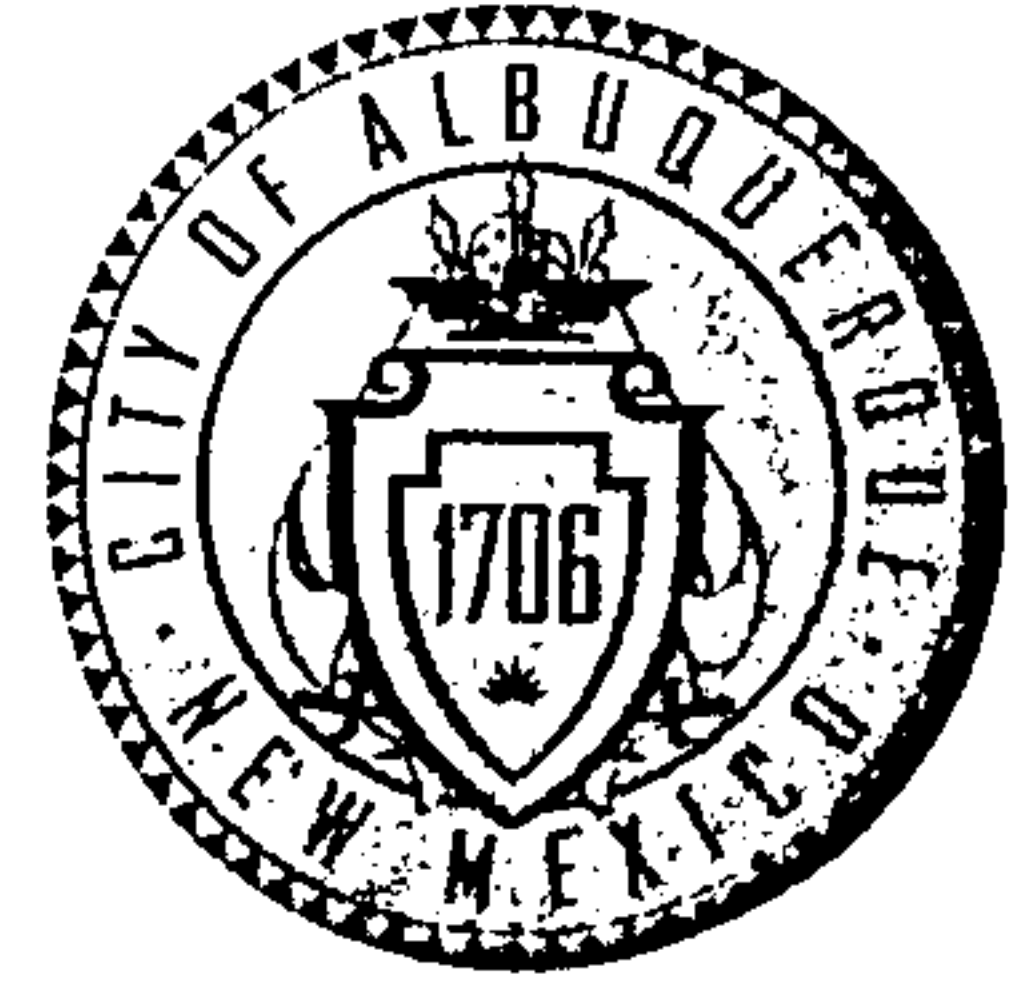
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five

(5)
acres.

CITY OF ALBUQUERQUE



July 30, 2008

John MacKenzie, P.E.
Mark Goodwin & Associates, P.A.
P.O. Box 90606
Albuquerque, NM 87199

**Re: Chaparral Electric Warehouse, 602 McKnight Ave. NW,
Request of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 05/06/08 (H-14/D060)
Certification dated 7/24/08**

Mr. MacKenzie,

PO Box 1293

Based upon the information provided in your submittal received 7/24/08, the above referenced certification is approved for release of Permanent Certification of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

Sincerely,

NM 87103

Timothy Sims
Plan Checker, Hydrology
Development and Building Services

www.cabq.gov

C: CO-Clerk—Katrina Sigala
File

City of Albuquerque Department of Municipal Development

Permit for Excavation, Construction, and Barricading

07/23/2008 Issued By: DMEDMED

A-1417000

Permit Number: 2008 005 337
 Permit Type: Excavation (Barricading) Uniform Prop Code: SEG00027358
 Description of Work: SO-19 OLD PERMIT #2308023837
 Construction Address: 538 MCKNIGHT AV NW
 Location Description:
 Alternate Route: TRAFFIC WILL RUN SMOOTHLY

Start Work Date: 07/28/2008 End Work Date: 08/04/2008

Project Number: AD
 Bond Expiration Date: 12/31/2020 Blue Stake Number: 2008-
 Insurance Expiration Date: 10/01/2008 Last Resurface Year: 303953
 Concrete Details
 1 SIDEWALK CULVERT(S) Barricade Details
 1 RES STREET

Contractor / Applicant
 Klinger Constructors, Inc.

Owner

505 822-8820

PERMIT FEES

300.443008	Excavation Fees	
301.443012	Sidewalk Fees	
202.443011	Driveway Fees	
303.443010	Curb / Gutter Fees	
304.443008	Barricading Fees	\$21.00
305.443017	Restoration Fees	

TOTAL: \$21.00

Permittee agrees to assume all liability, including the making, securing, and holding the City harmless for all damages or injury to persons or property resulting from permitted excavation and/or barricade work. This permit is granted in compliance of the permittee assuming said liability and is provided to the work location above. In accordance with Section 5-5.1 ET SEQ. of the City of Albuquerque City rules, regulations and ordinances, and when according to permit, please prior to opening to traffic in accordance with applicable rules, regulations and ordinances. Please call 311 for technical information.

CAUTION: PROTECT UNDERGROUND UTILITIES. CALL 311 FOR ADVANCE NOTICE FOR LINE STAKING.

NOTICE - THIS PERMIT NOT VALID UNTIL FEE IS PAID

X 
 Signature of Applicant

City of Albuquerque
 Treasury Division

7/28/2008	8:47AM	100: 88MX
USA 006		TRANS# 0002
RECEIPT# 00075563-20095563		
PERMIT# 2008007337		TRFUNG
TRANS AMT	\$21.00	
Barricade	\$21.00	
VI	\$21.00	
CHANGE	\$0.00	

Thank you

CITY OF ALBUQUERQUE



*Planning Department
Transportation Development Services Section*

July 7, 2008

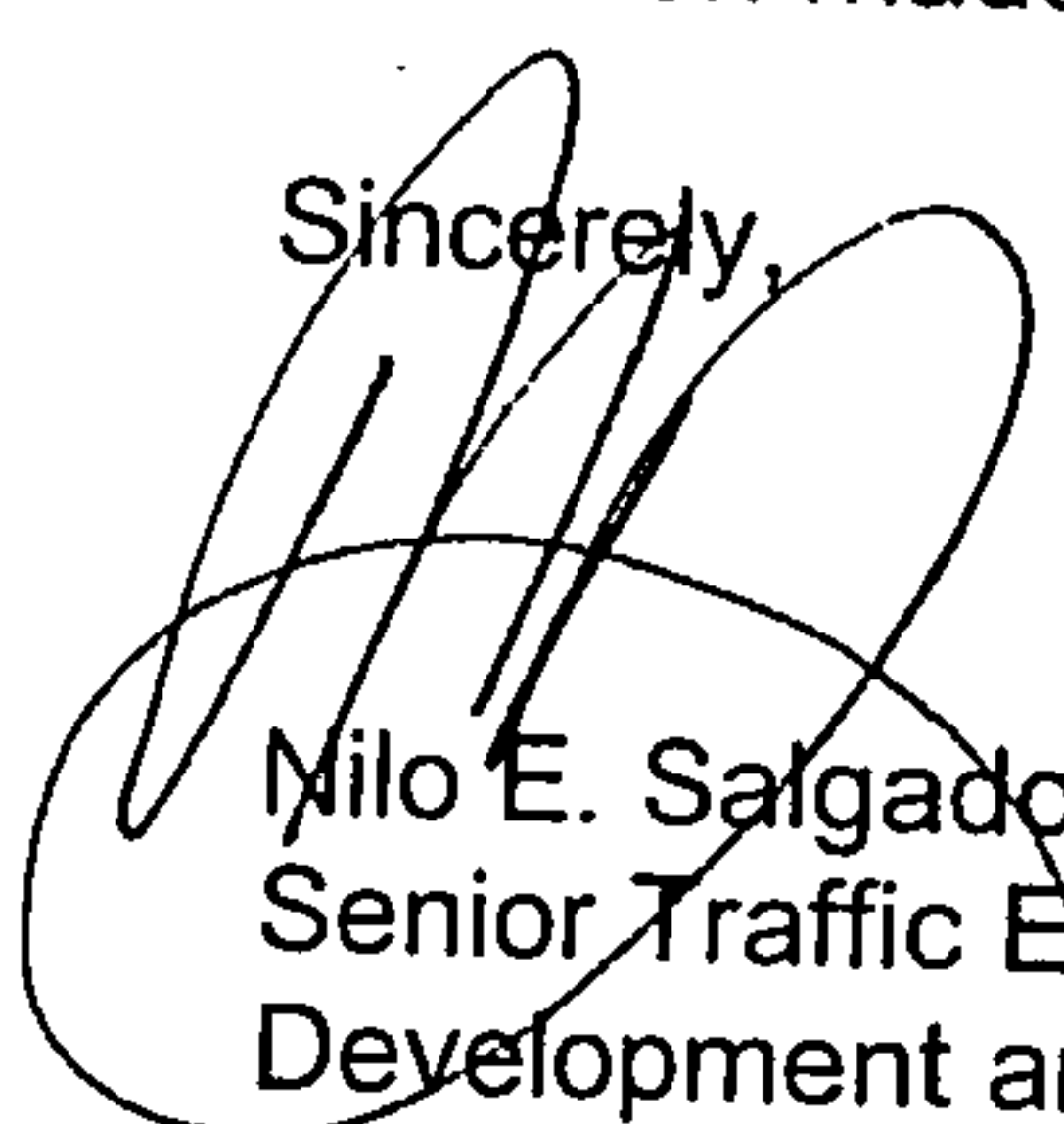
John Douglas Heller, Registered Architect
924 Park Avenue SW, Ste. B
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Chaparral Electric Office/Warehouse, [H-14 / D060]
608 McKnight NW
Architect's Stamp Dated 07/07/08

Dear Mr. Heller:

The TCL / Letter of Certification submitted on July 7, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,


Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: Chaparral Electric Office/Warehouse ZONE MAP/DRG. FILE #: ~~#142~~ #14/Dove
DRB #: 1006767 08drb70164 EPC#: N/A WORK ORDER#: N/A

LEGAL DESCRIPTION: Lots 1A of Hill's Addition Subdivision
CITY ADDRESS: 608 McKnight Avenue NW., Albuquerque, NM 87102

ENGINEERING FIRM: Mark Goodwin & Associates, P.A
ADDRESS: P.o Box 90606
CITY, STATE: Albuquerque, NM

CONTACT: John MacKenzie
PHONE: 505-828-2200
ZIP CODE: 87199

OWNER: Chaparral Electric
ADDRESS: 608 McKnight Avenue NW
CITY, STATE: Albuquerque, NM

CONTACT: Linda Davidson
PHONE: 505-242-1783
ZIP CODE: 87102

ARCHITECT: Mullen Heller Architecture P.C
ADDRESS: 924 Park Avenue SW, Suite B
CITY, STATE: Albuquerque, NM

CONTACT: Doug Heller
PHONE: 505-268-4144
ZIP CODE: 87102

SURVEYOR: Harris Surveying, Inc.
ADDRESS: 2412-D Monroe Street, NE
CITY, STATE: Rio Rancho, NM

CONTACT: Tony Harris
PHONE: 505-889-8056
ZIP CODE: 87110

CONTRACTOR: Klinger Constructors, LLC
ADDRESS: PO Box 90850
CITY, STATE: Albuquerque, NM

CONTACT: Joe Reed
PHONE: 505-822-9990
ZIP CODE: 87199

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

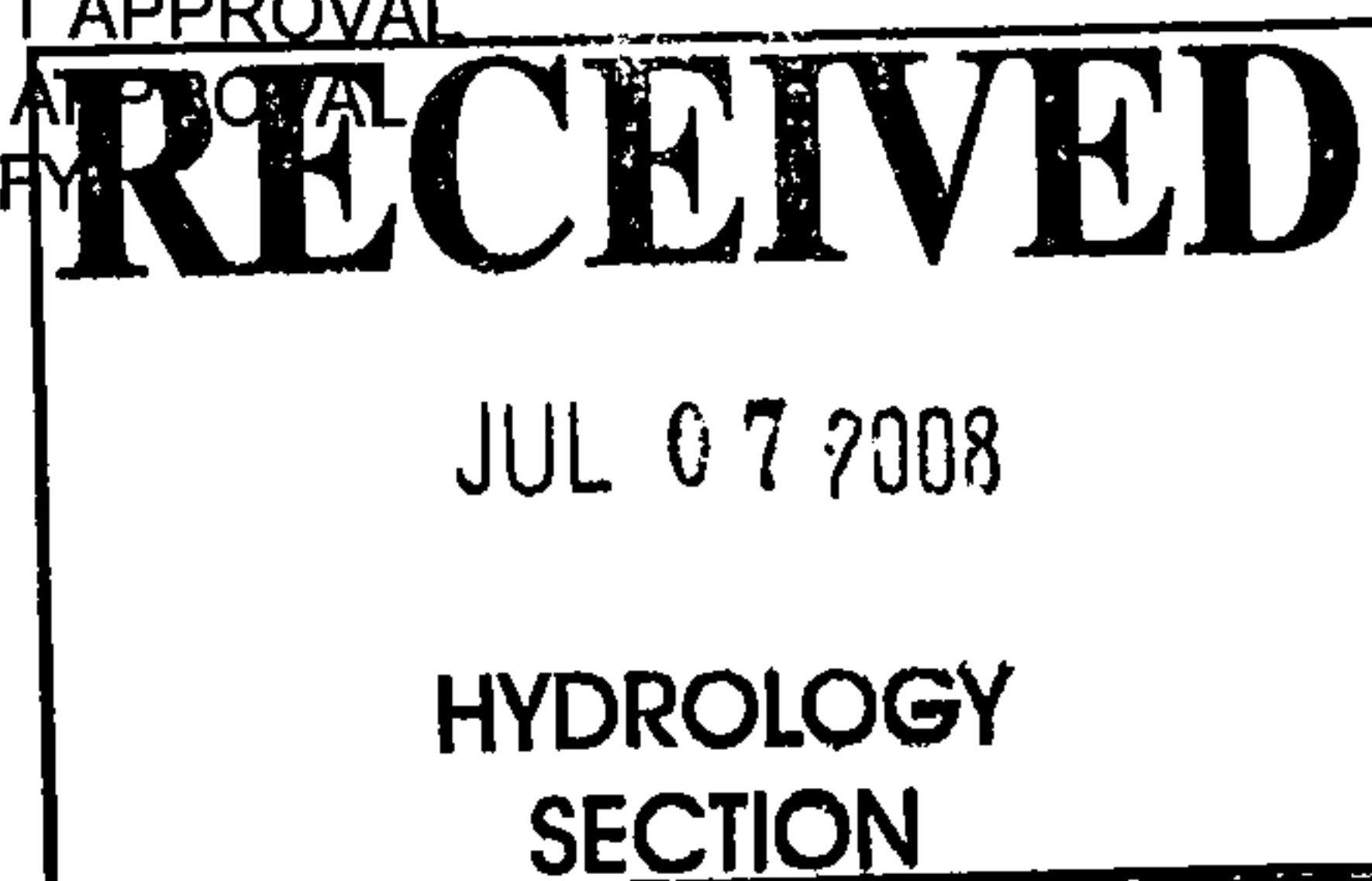
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 7/7/08 BY: Doug Heller



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

July 7, 2008

Ms. Kristal Metro, PE
Transportation Development, Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: **Certificate of Occupancy for
608 McKnight Ave. NW
Albuquerque NM**

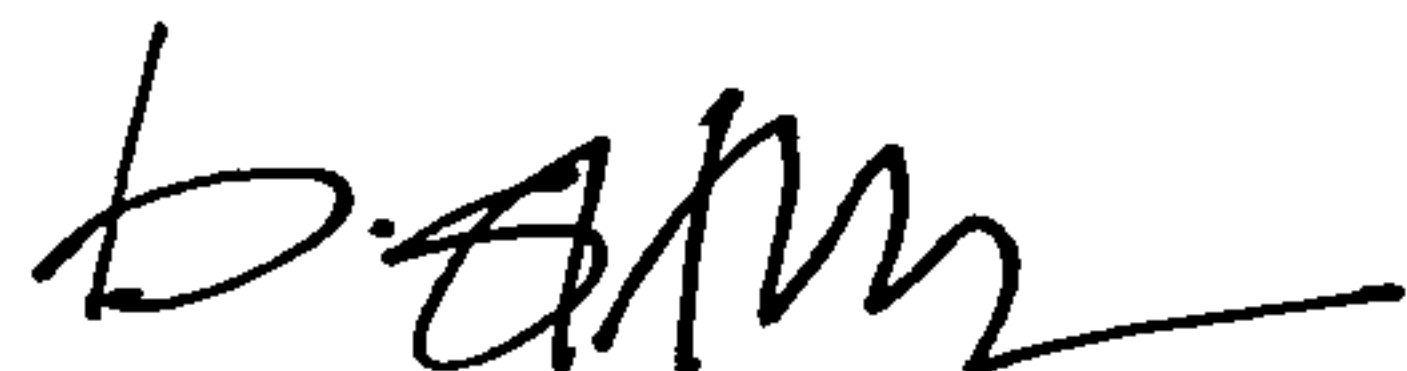
Dear Kristal:

I, Doug Heller, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan, dated April 29, 2007. I further certify that I have personally visited the project site on July 2, 2008 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification (TCL) for Temporary Certificate of Occupancy.

The record information presented herein is complete and intended to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

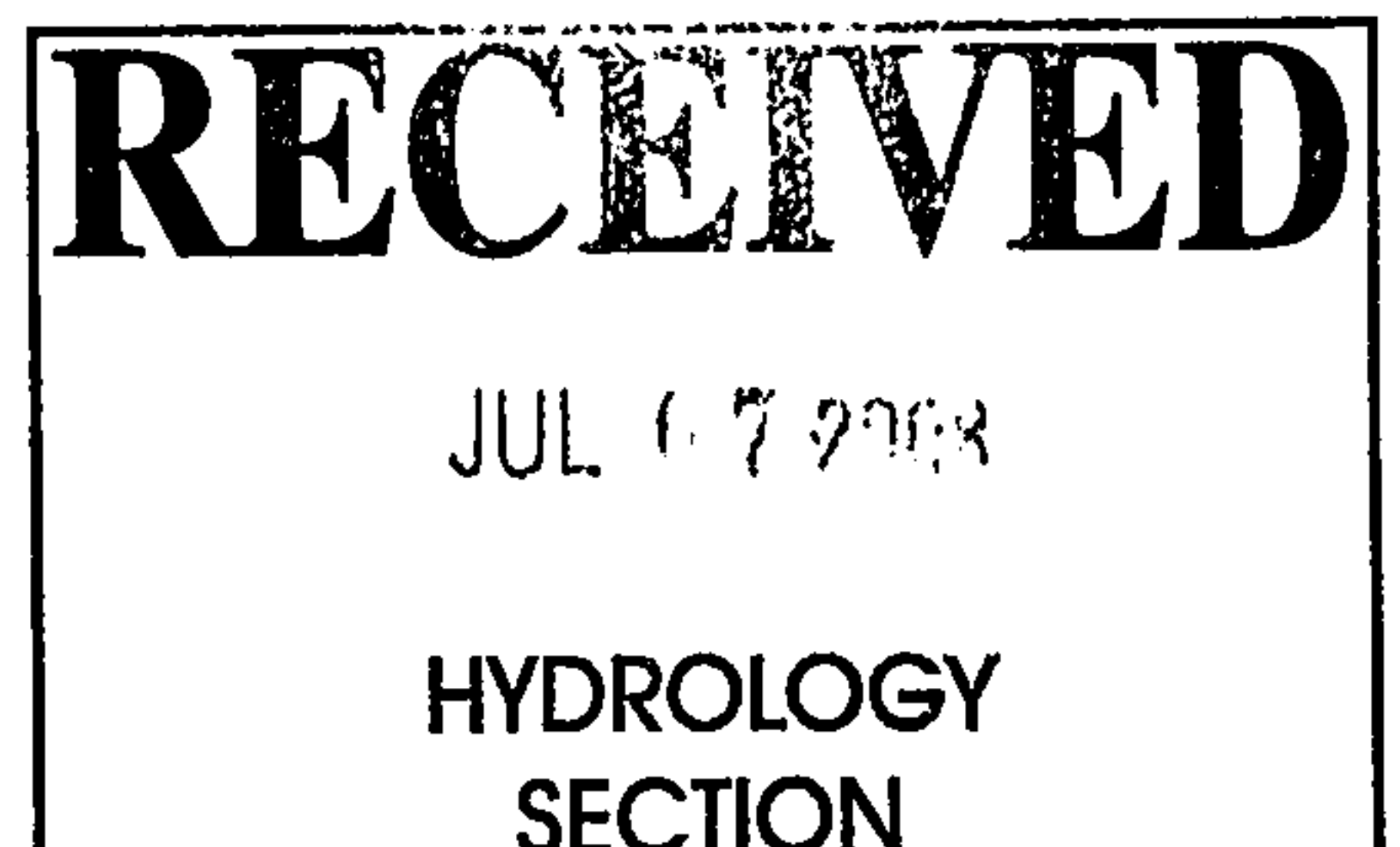
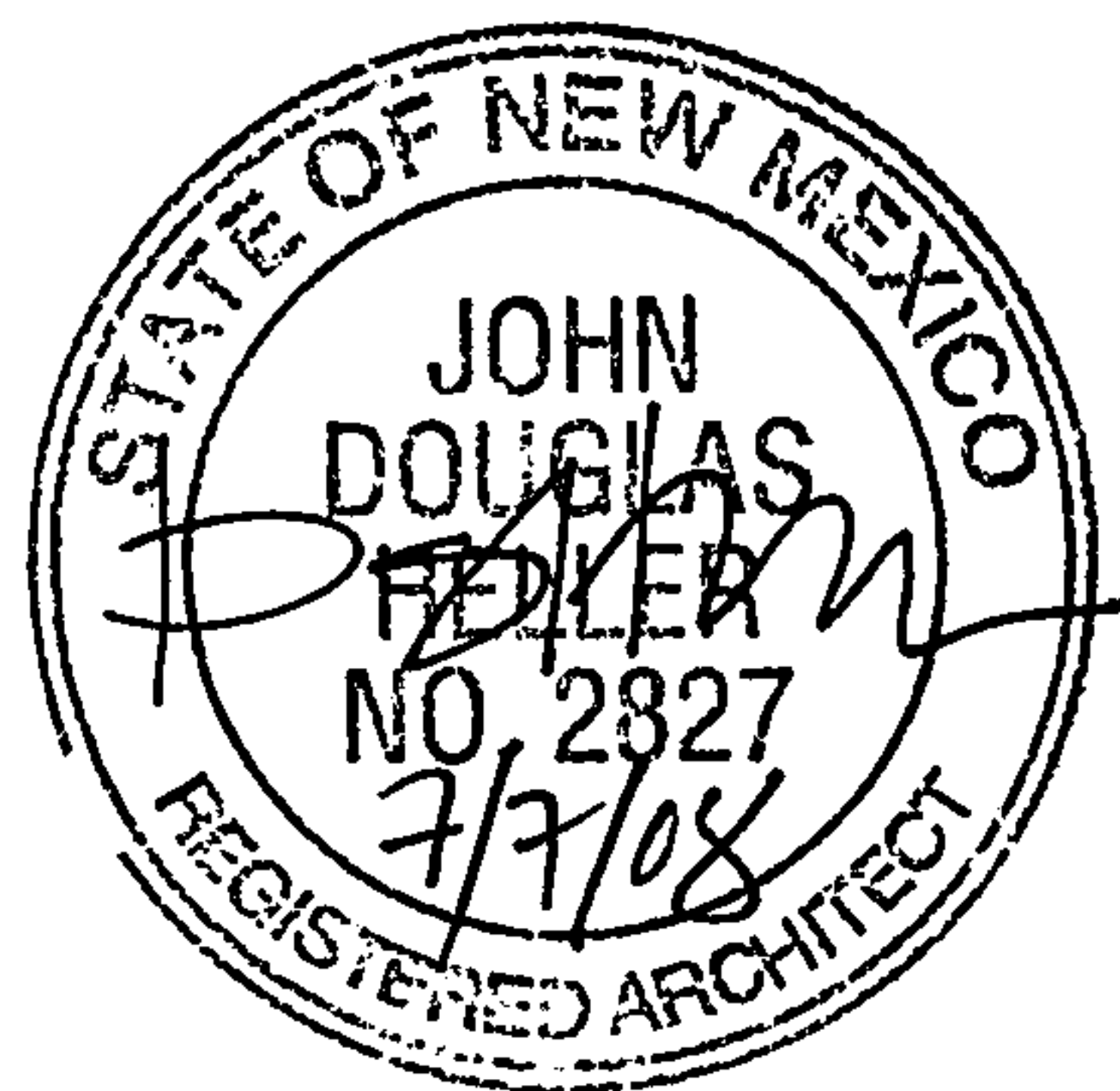
Please feel free to contact me if you have any questions.

Sincerely,
Mullen Heller Architecture PC



Douglas Heller, AIA

Attachment: TCL Approval Plan





CITY OF ALBUQUERQUE



April 30, 2008

John M. MacKenzie, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

Re: Chaparral Electric Warehouse Grading and Drainage Plan
Engineer's Stamp dated 4-1-08 (H14/D060)

Dear Mr. MacKenzie,

Based upon the information provided in your submittal received 2-12-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- The property lines shown on the plan do not agree with the current platting shown in AGIS. In addition, there appears to be three different owners for lots 1, 2 and C. A cross-lot drainage easement will be required for draining across lot C. A platting action is encouraged to combine lots 1, B and the vacated portion along 6th street.
- Work is being done on Lot C. The owner's permission is required.
- The steel plate on the sidewalk culvert must extend from the property line to the face of curb.
- What is the significance of the solid line near the property line along 6th St.?

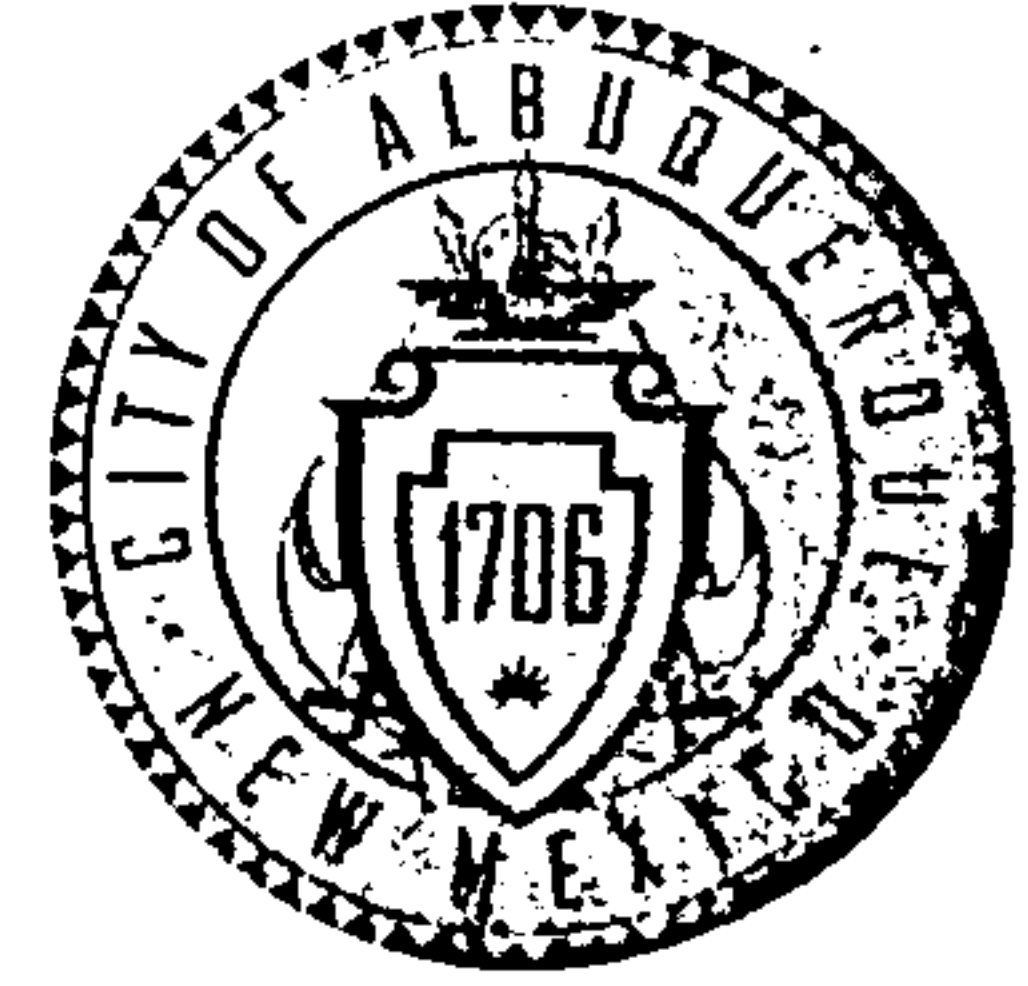
If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



April 29, 2008

John Douglas Heller, R.A.
Mullen Heller Architecture PC
1015 Tijeras Ave. NW Suite 220
Albuquerque, NM 87102

Re: Chaparral Electric Office / Warehouse, 608 McKnight Ave NW,
Traffic Circulation Layout
Architect's Stamp dated 4-16-08 (H14-D060)

Dear Mr. Heller,

The TCL submittal received 4-22-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

H-14/DOLO

PROJECT TITLE: Chaparral Electric Office/Warehouse ZONE MAP/DRG. FILE #: H-14-Z
DRB #: N/A EPC#: N/A WORK ORDER#: N/A

LEGAL DESCRIPTION: Lots 1A of Hill's Addition Subdivision
CITY ADDRESS: 608 McKnight Avenue NW., Albuquerque, NM 87102

ENGINEERING FIRM: Mark Goodwin & Associates, P.A. CONTACT: John MacKenzie
ADDRESS: P.O. Box 90606 PHONE: 505-828-2200
CITY, STATE: Albuquerque, NM ZIP CODE: 87199

OWNER: Chaparral Electric CONTACT: Linda Davidson
ADDRESS: 608 McKnight Avenue NW PHONE: 505-242-1783
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

ARCHITECT: Mullen Heller Architecture P.C. CONTACT: Doug Heller
ADDRESS: 924 Park Avenue SW, Suite B PHONE: 505-268-4144
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Harris Surveying, Inc. CONTACT: Tony Harris
ADDRESS: 2412-D Monroe Street, NE PHONE: 505-889-8056
CITY, STATE: Rio Rancho, NM ZIP CODE: 87110

CONTRACTOR: Klinger Constructors, LLC CONTACT: Joe Reed
ADDRESS: PO Box 90850 PHONE: 505-822-9990
CITY, STATE: Albuquerque, NM ZIP CODE: 87199

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- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

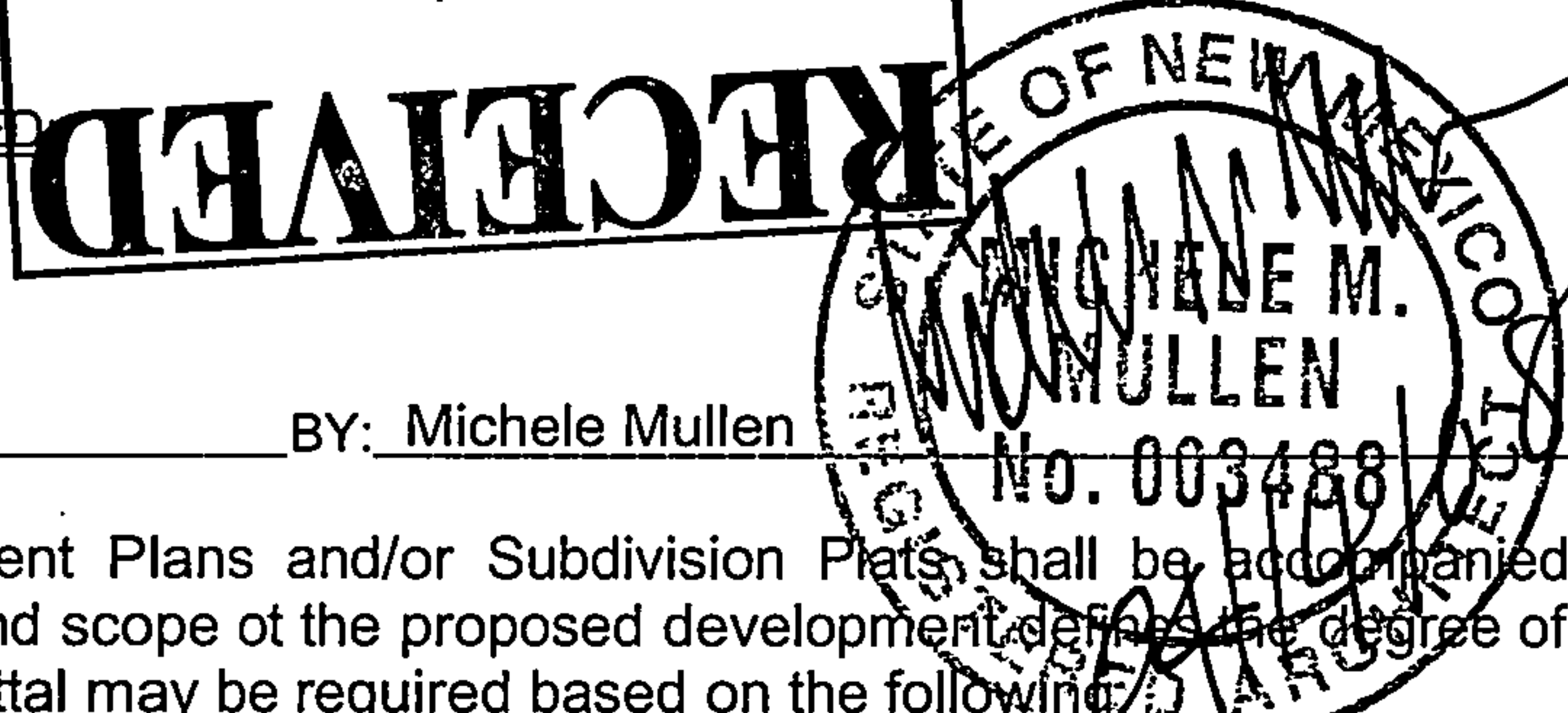
WAS A PRE-DESIGN CONFERENCE ATTENDED?

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 02/08, 3/7/08, 4/14/08

BY: Michele Mullen

SECTION
HYDROLOGY
APR 14 2008



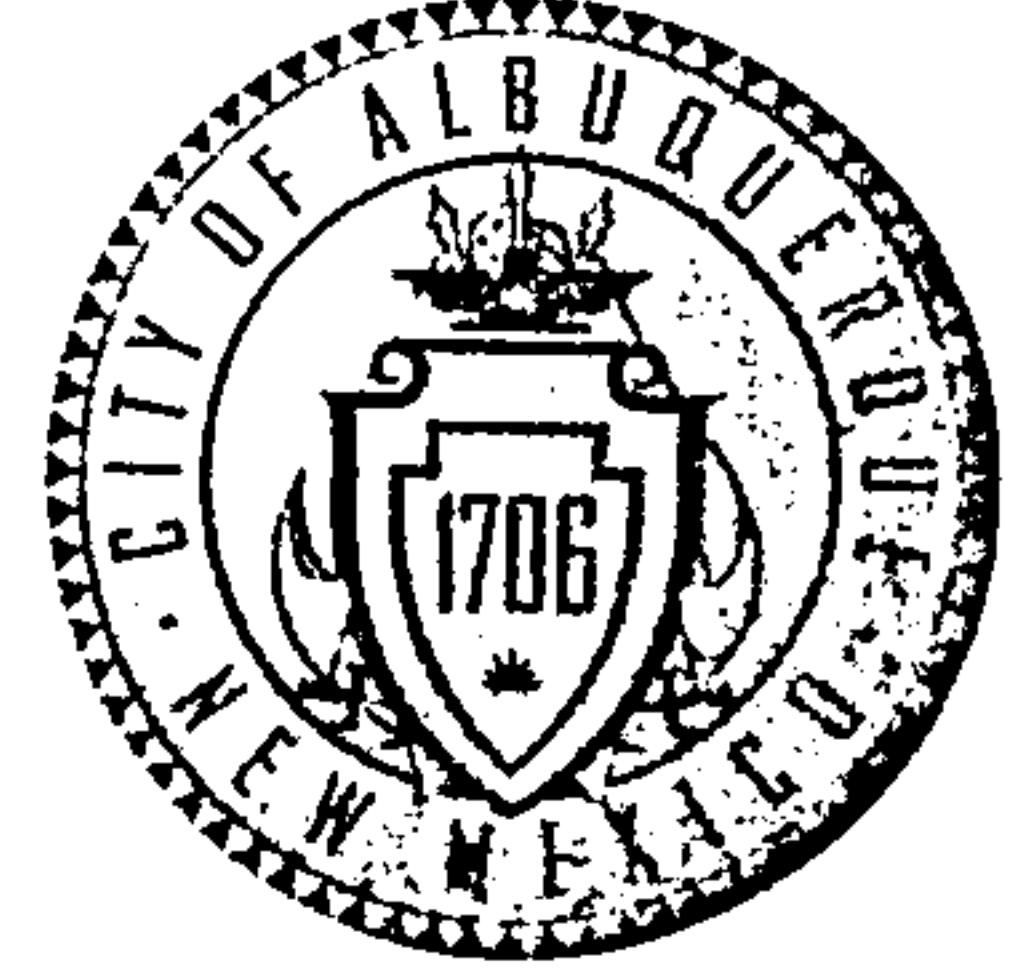
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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE

March 25, 2008

John Douglas Heller, R.A.
Mullen Heller Architecture P.C.
924 Park Avenue SW. Suite B
Albuquerque, NM 87102



**Re: Chaparral Electric Office / Warehouse, 608 McKnight Ave NW,
Traffic Circulation Layout
Architect's Stamp undated (H14-D060)**

Dear Mr. Heller,

Based upon the information provided in your submittal received 3-10-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Show the heavy vehicle path. Where will loading take place for the warehouse? Define the design vehicle.
- ✓ 2. The warehouse appears to have overhead loading doors located along the proposed parking spaces. Loading doors may not be located in this area. — *not overhead doors*
3. Demonstrate how existing drives meet current ADA criteria.
- ✓ 4. Call out the width of all sidewalk, both existing and proposed.
5. Does the ramp at McKnight Avenue / 6th Street meet current ADA criteria? If not, it will need to be amended at this time.
- ✓ 6. Keyed note 26 appears to be misplaced.
- ✓ 7. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed by the state of New Mexico.
8. Please ensure all ramps are ADA compliant.
- ✓ 9. Clarify the location of all entrances to the buildings.
10. A fence is shown along 6th Street. How does the pedestrian path connect in this area?
11. Please refer to all applicable city standards by City Standard number.
12. A re-plat or a cross-lot access agreement (between Lot 1A and Lot B) will be required *between Lot 2 and Lot 1A* prior to approval of this plan.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

*Currently being
replatted - get
DRB #*

C: File

April 2, 2008

Ms. Kristal D. Metro, P.E.
Traffic Engineer, Planning Department
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**Re: Chaparral Electric Office / Warehouse, 608 McKnight Avenue NW.
Lot 1-A (formerly Lot B, Lot 1 and Lot 2) of Block 2 of Hill Acres Subdivision
Traffic Circulation Layout**


Dear Ms. Metro:

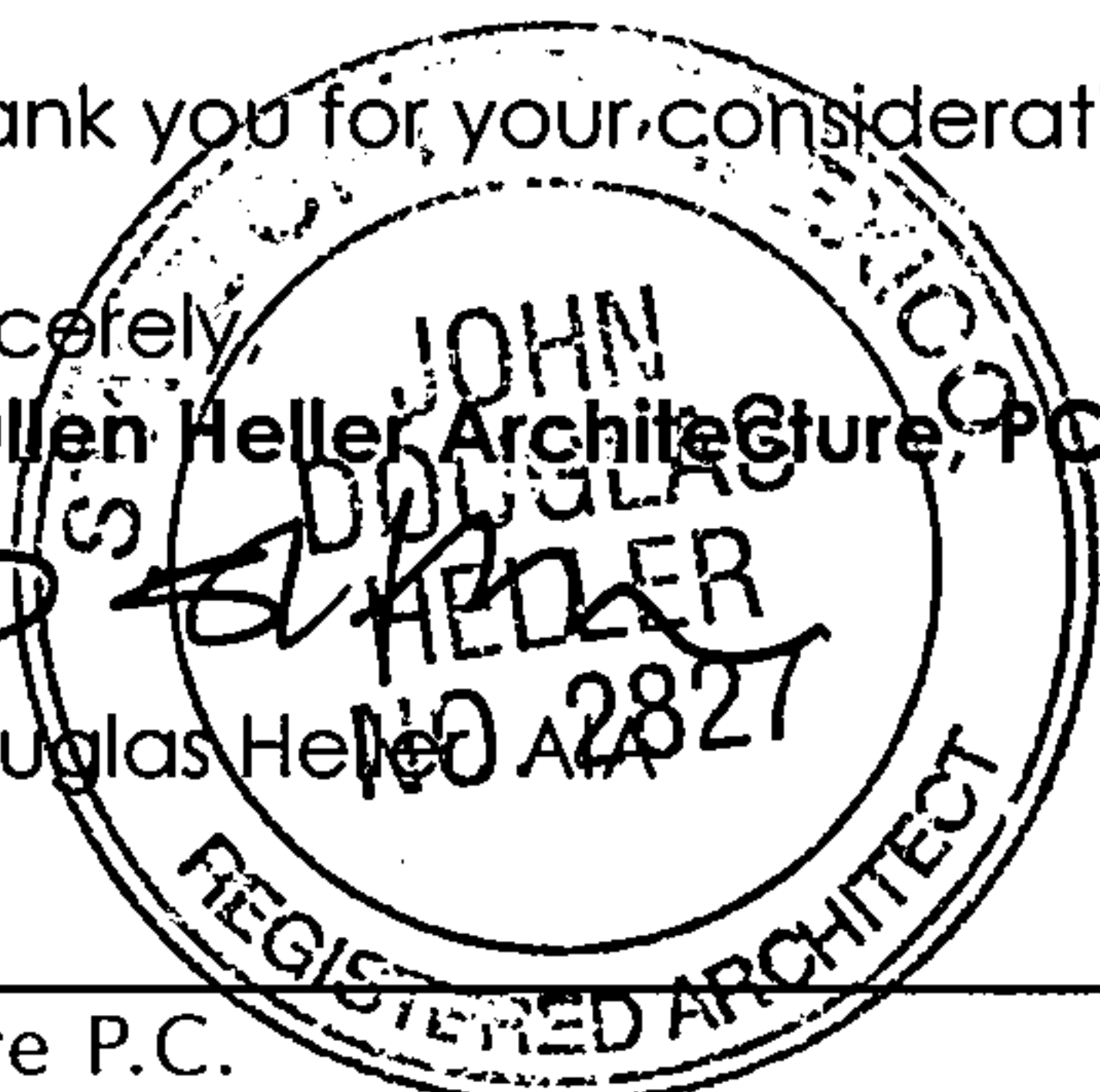
The following letter is in response to the review letter dated March 25, 2008.

1. A designated loading zone has been stripped on the south side of the warehouse adjacent to the overhead receiving doors, see site plan. No semi-truck deliveries will take place on the site. Same day deliveries will be in light-duty commercial vans and trucks.
2. One parking space has been deleted directly in front of the overhead doors and has been stripped and labeled for no parking.
3. Existing drive way openings on 6th Street and Bezemek Avenue have existing flared ADA ramps per COA DPM.
4. All perimeter sidewalks shown are existing and are labeled on the site plan (keyed notes 17 and 37).
5. Existing ramp at corner of McKnight Avenue/ 6th Street is ADA compliant and is not labeled correctly on plan.
6. Keyed note number 26 has been revised on site plan.
7. The re-submitted traffic circulation layout will be stamped, signed and dated.
8. All existing ramps are ADA compliant.
9. Door locations are shown on site plan and have been labeled.
10. A gate is currently located along 6th Street. During business hours, the gate is open to allow pedestrians and vehicles to access the site.
11. City Standard numbers are labeled in keyed notes were applicable.
12. A re-plot of all properties associated with the project, is in the city planning process.

Two copies of the revised site plan, along with the Drainage Information Sheet are attached for your review.

Thank you for your consideration of this project.

Sincerely,
Mullen Heller Architecture, PC

Douglas Heller
NO 2827



Mullen Heller
Architecture P.C.

924 Park Avenue SW Suite B ■ Albuquerque, NM 87102
505.268.4144 [p] ■ 505.268.4244 [f] ■ www.mullenheller.com



CITY OF ALBUQUERQUE



February 19, 2008

John Douglas Heller, R.A.
Mullen Heller Architecture PC
1015 Tijeras Ave. NW Suite 220
Albuquerque, NM 87102

**Re: Chaparral Electric Office / Warehouse, 608 McKnight Ave NW,
Traffic Circulation Layout
Architect's Stamp dated 2-08-08 (H14-D060)**

Dear Mr. Heller,

Based upon the information provided in your submittal received 2-08-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Show the heavy vehicle path. Where will loading take place for the warehouse? Define the design vehicle.
2. Call out the width of all sidewalk, both existing and proposed.
3. Does the ramp at McKnight Avenue / 6th Street meet current ADA criteria? If not, it will need to be amended at this time.
4. Please ensure all ramps are ADA compliant.
5. Demonstrate how existing drives meet current ADA criteria.
6. Call out the width of all drive aisles.
- ✓ 7. For passenger vehicles, the minimum end island radius is 15 feet.
8. The parallel parking spaces are split between one and two directional traffic. This adds an element of confusion, and cannot be allowed.
- ✓ 9. Clarify the location of all entrances to the buildings.
- ✓ 10. Please include two copies of the traffic circulation layout at the next submittal.
11. A fence is shown along 6th Street. How does the pedestrian path connect in this area?
12. Appropriate signing and striping are required for one directional traffic.
13. Please refer to all applicable city standards by City Standard number.
14. Since 6th Street is an arterial roadway, driveways with left turn access have a minimum driveway width of 36 feet (see the *Development Process Manual*, Chapter 23, Section 6, Part B.8).
- ✓ 15. Per the Development Process Manual, Chapter 27, Section 2, Part B.1, only the following scales may be used:
 - 1" = 50'
 - 1" = 40'
 - 1" = 20'
 - 1" = 10'
 - 1" = 100' (for overall layouts only)
16. A re-plat or a cross-lot access agreement will be required prior to approval of this plan.

If you have any questions, you can contact me at 924-3991.

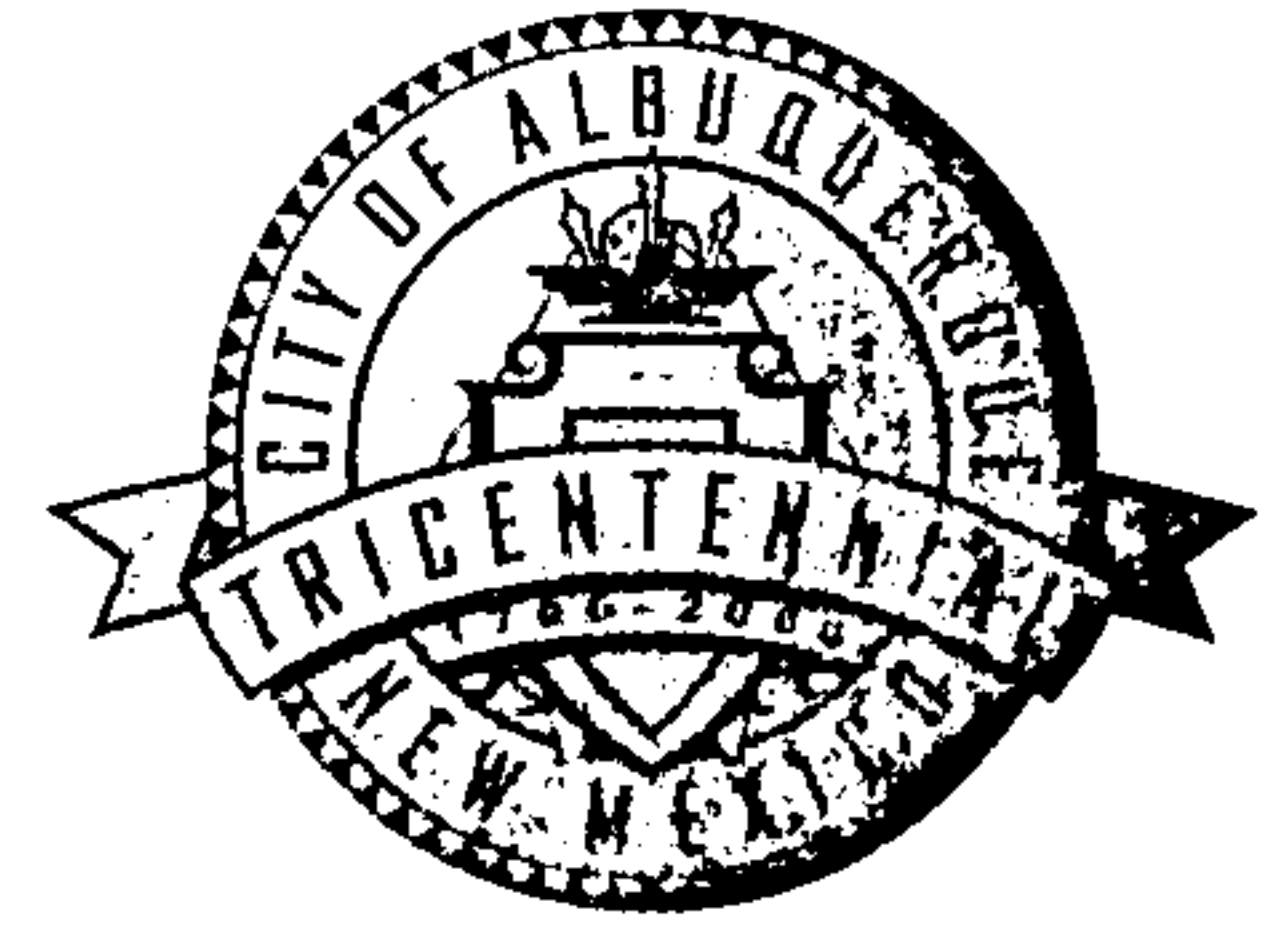
Sincerely,

A handwritten signature in black ink, appearing to read "Kristal D. Metro".

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



March 14, 2008

John M. MacKenzie, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

Re: Chaparral Electric Warehouse Grading and Drainage Plan
Engineer's Stamp dated 2-12-08 (H14/D060)

Dear Mr. MacKenzie,

Based upon the information provided in your submittal received 2-12-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- The above referenced plan is different than the plan submitted for TCL on 3-7-08. The plans need to be the same so it is evident what is to be built.
- Provide a build note for the channel or similar upstream of the sidewalk culvert.
- Show the drive entrance on McKnight Ave.
- Provide top of curb elevations for the new curb on the east side of the parking lot.
- The proposed basin map shows runoff leaving the site between the entrances on Bezemek Ave. This runoff, 1.28 cfs, should leave the site via a drive entrance.
- Historically, a significant portion of this site has drained over the sidewalk. A preferred method is to drain out a drive entrance or through a sidewalk culvert. It is noted that this is an existing condition; however, try to find a way to drain it out a drive entrance, through a sidewalk culvert or to landscaping.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Chaparral Warehouse / office
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: H-14-Z
WORK ORDER#: _____

LEGAL DESCRIPTION: Lot Numbered 2 in Block 2 of The Hills Addition
CITY ADDRESS: 602 McKnight Ave. NW, Abq. NM 87102

ENGINEERING FIRM: Mark Goodwin & Associates, PA
ADDRESS: PO Box 90606
CITY, STATE: Albuquerque, NM

CONTACT: Tom Gattis
PHONE: 828-2200
ZIP CODE: 87199

OWNER: Chaparral Electric Co., Inc.
ADDRESS: 602 McKnight Ave. NW
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: _____
ZIP CODE: 87102

ARCHITECT: Mullen Heller Architecture, PC
ADDRESS: 924 Park Ave. SW, Suite B
CITY, STATE: Albuquerque, NM

CONTACT: Doug Heller
PHONE: 268-4144
ZIP CODE: 87102

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

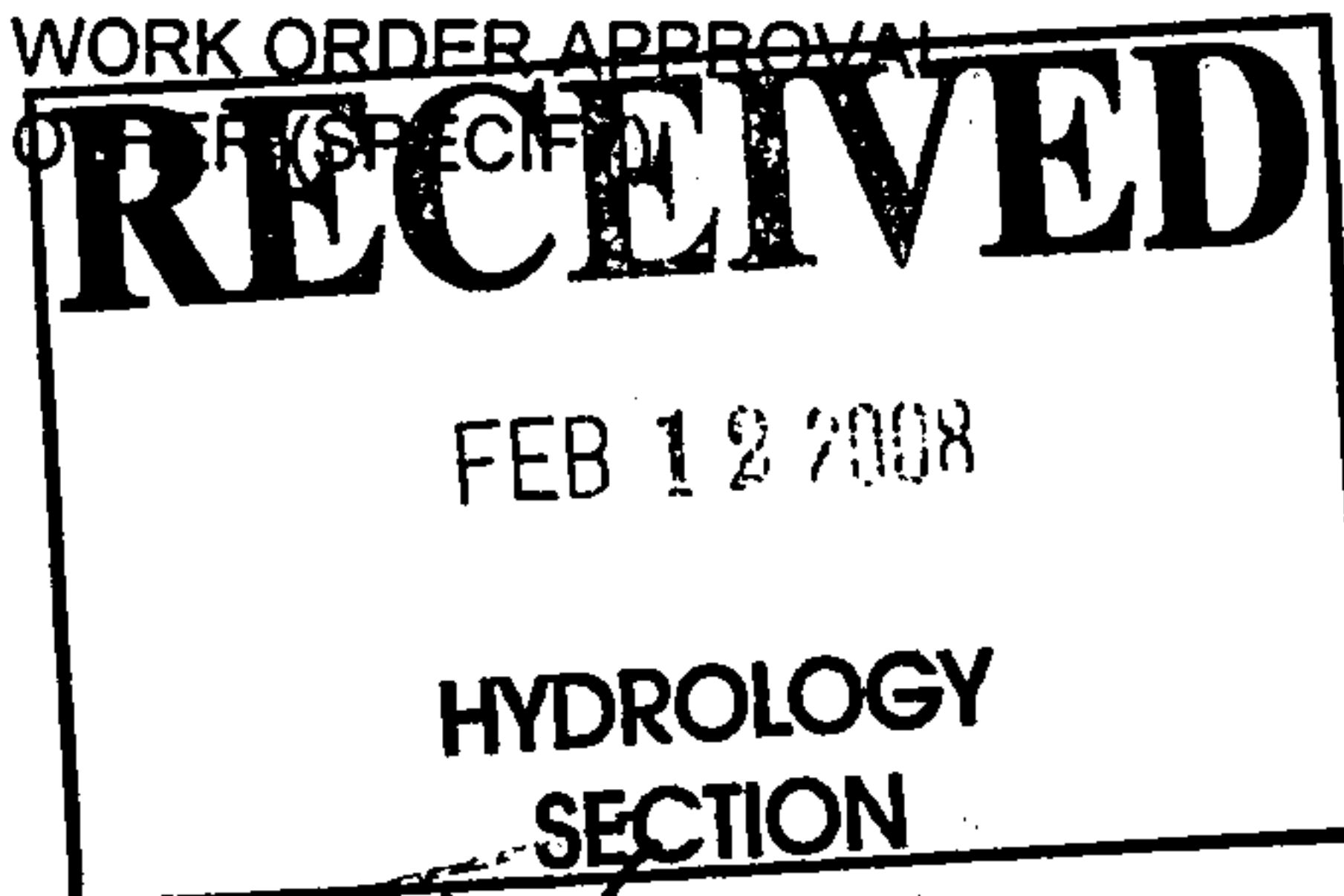
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

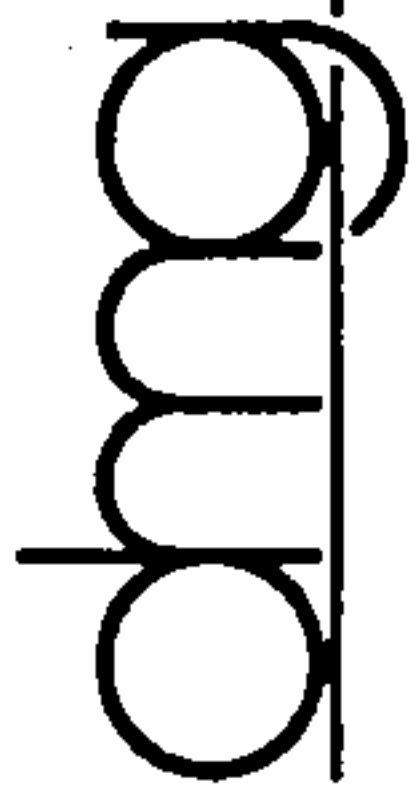
DATE SUBMITTED: February 12, 2008

BY: Tom Gattis

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

April 4, 2008

Mr. Brad Bingham
Hydrology Division
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Chaparral Warehouse

Dear Mr. Bingham:

Included herewith is our resubmittal of the referenced plan.

Upon review of the plan by your staff, it was determined that the TCL did not match the grading plan. We then received a revised site plan from the architect and we revised our plan accordingly. The original architect's plan indicated new curb would be installed around the perimeter of the existing paved parking lot. As it turns out, this is not the case. There will not be any new curb placed around the perimeter of the existing paving and so now our grading plan matches the TCL.

Please let me know if I can be of further assistance.

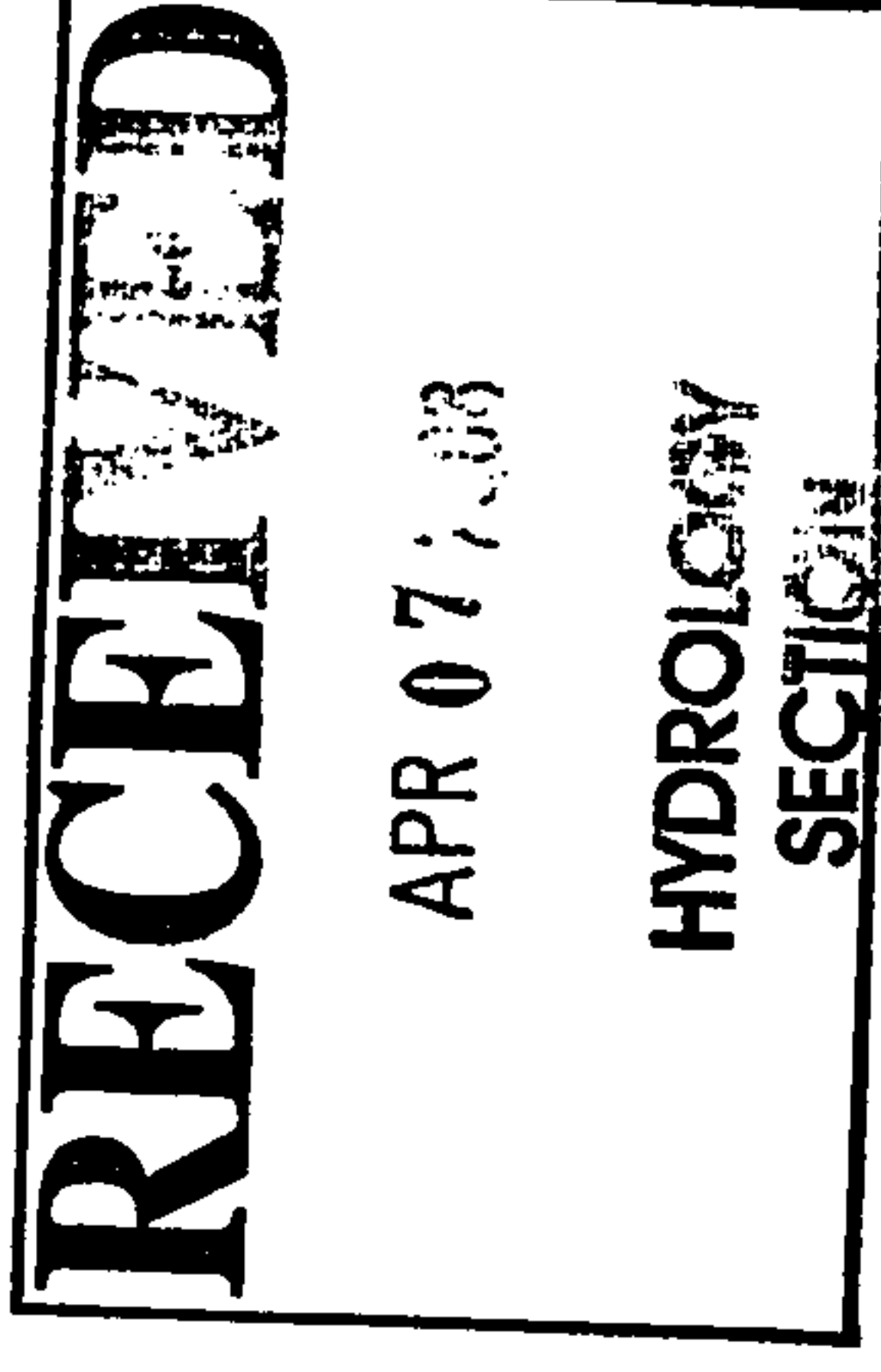
Sincerely,

MARK GOODWIN & ASSOCIATES, PA

John M. MacKenzie, PE
President

JMM/sr

Attachment, as stated



MARK GOODWIN

& ASSOCIATES
CONSULTING ENGINEERS

dmg

DRAINAGE REPORT
for
CHAPARRAL WAREHOUSE

Prepared for
CHAPARRAL ELECTRIC CO. INC.
602 McKnight Ave. N.W.
Albuquerque, NM 87102

Prepared by
MARK GOODWIN & ASSOCIATES, PA
P.O. Box 90606
Albuquerque, NM 87199
(505) 828-2200

RECEIVED

APR 07 2008

**HYDROLOGY
SECTION**

March 2008



TABLE OF CONTENTS

- I. PROJECT DESCRIPTION
- II. DRAINAGE DESIGN CRITERIA
- III. EXISTING DRAINAGE CONDITIONS
- IV. DRAINAGE MANAGEMENT PLAN
- V. CONCLUSION

FIGURE 1: VICINITY MAP

APPENDIX A - HYDROLOGY

AHYMO CALCULATIONS, EXISTING AND DEVELOPED CONDITIONS

POCKET 1: GRADING AND DRAINAGE PLAN

I. PROJECT DESCRIPTION

This project covers approximately 0.59 acres of developed and undeveloped property located on the southwestern corner of McKnight Avenue and 6th Street. The site is bounded by McKnight Avenue to the north, 6th Street to the east, Bezemek Avenue to the south, and a private residence to the west. Its legal description is "Lot numbered two (2) in Block Numbered two (2) of the Hill's Addition, to the City of Albuquerque, New Mexico, as the same as shown and designated on the plat of said addition, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 29, 1928 in Plat Book D-1, Page 60." The developer's plan is to construct a new warehouse on the western portion of the property, as an addition to the existing office building located on the eastern portion of the property. Additional asphalt parking will be added to the southern and eastern portions of the site. The purpose of this report is to present how drainage from the new building and parking lot will be handled.

4 lots 3 units

II. DRAINAGE DESIGN CRITERIA

The design criteria used in this report was in accordance with Section 22.2 Hydrology of the Development Process Manual. The 100-year, 6-hour storm event for the site was modeled utilizing site runoff rates estimated at $P(6 \text{ hr}) = 2.18$, obtained from the precipitation graphs in the DPM. The on-site land treatment values for use by AHYMO were estimated primarily as all Type D, but with incidental amounts of Type C representing gravel landscaping surrounding the new building and the existing structure.

2.35 in DPM

III. EXISTING DRAINAGE CONDITION

The property is currently divided into two sections: the eastern portion and western portion. The eastern portion consists of an existing office building and associated asphalt parking areas. The western portion contained a structure that has recently been torn down, and now consists of bare earth and some exposed footings and concrete pads. The northern portion of the existing office building drains to the north to McKnight Avenue via roof drains and a downspout. The eastern portion of the site drains to the east to 6th Street, and the southern portion of the site drains to Bezemek Avenue to the south. All on-site drainage is intercepted by the city's storm drain system, with one inlet located on 6th Street just south of the intersection with McKnight, and the other on Bezemek Avenue just west of the intersection with 6th Street.

In order to determine both the existing and developed flows affecting the site, AHYMO calculations were performed. Under existing conditions, approximately 2.30 cfs of flow exits the site and enters the city storm drain system.

APPENDIX A

HYDROLOGY

AHYMO CALCULATION, EXISTING CONDITIONS

□(s16.66H□□□□□□□□□□□□

AHYMO PROGRAM (AHYMO_97) -

- Version: 1997.02d

RUN DATE (MON/DAY/YR) = 01/16/2008

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*S

*S

Chaparral Building

*S

EXISTING CONDITIONS

*S

*S

*S 100-YR, 24-HR STORM

*S FILE NAME: cw.DAT

*S BY: Tom Gattis

*S MARK GOODWIN AND ASSOCIATES 01-16-08.

*S

*S*****

*S RAINFALL FROM NOAA ATLAS 2

*S

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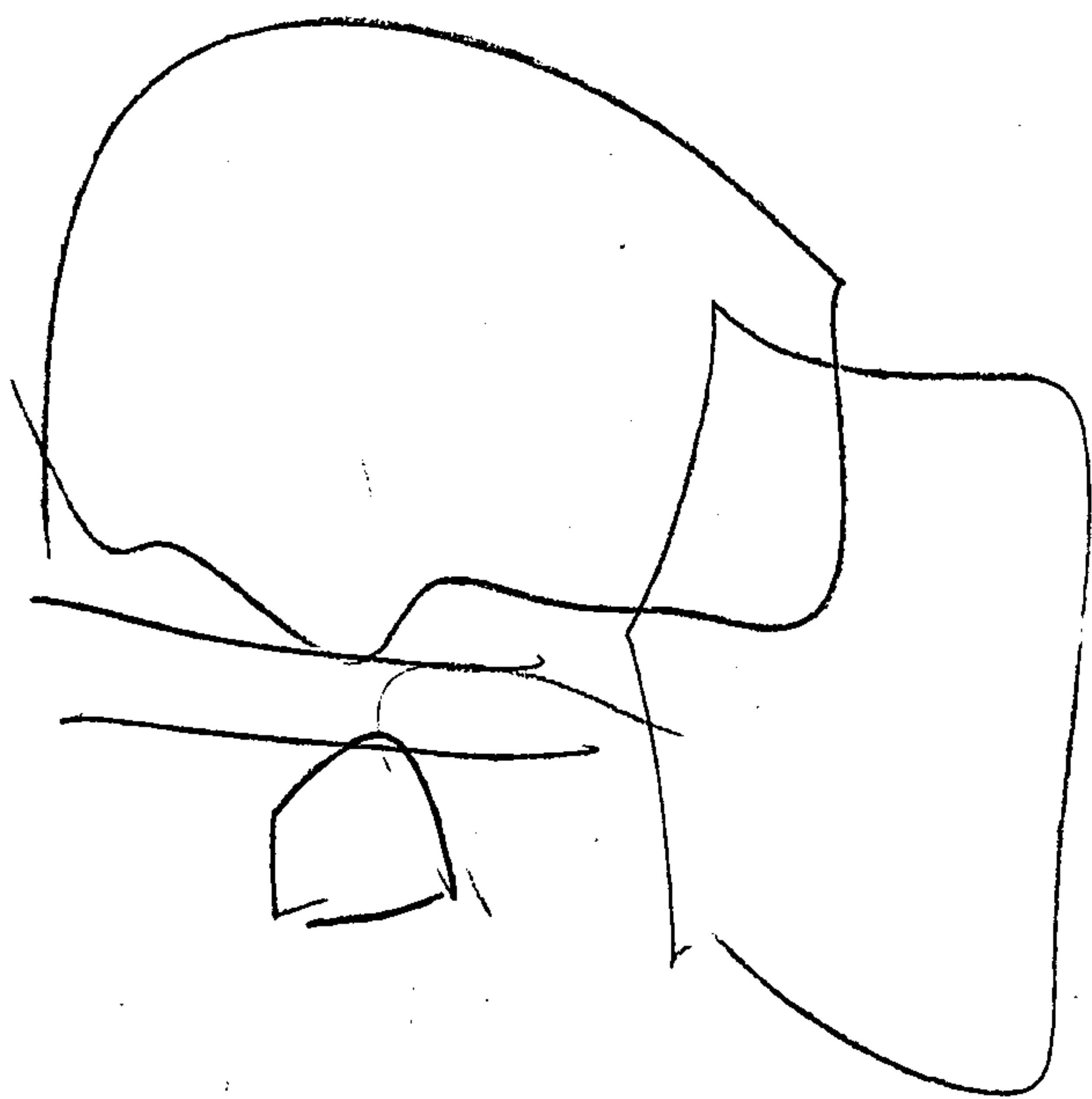
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.0272	.0290	.0308	.0328	.0348	.0370	.0392
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.1048	.1491	.2127	.2996	.4140	.5600	.7418
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2.0925	2.0942	2.0958	2.0974	2.0990	2.1006	2.1021
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AHYMO, EXISTING

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*S*****

*S

*S*****

*S

*S CALCULATE THE FLOW FROM SITE

*S

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PRINT HYD ID=1 CODE=1

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*S

FINISH

NORMAL PROGRAM FINISH

END TIME (HR:MIN:SEC) = 10:21:00

□(s10H□□□□□□□□□□□□)

AHYMO CALCULATION, DEVELOPED CONDITIONS

□(s16.66H□□□□□□□□□□

AHYMO PROGRAM (AHYMO_97) -

- Version: 1997.02d

RUN DATE (MON/DAY/YR) = 02/11/2008

START TIME (HR:MIN:SEC) = 10:20:08

USER NO.= AHYMO-I-9702dGoodwinM-AH

INPUT FILE = F:\TomG\CHAPAR~1\ahymo\dev\CHAPAR~1.TXT

START 0.0 HOURS PC=0 PL=-1

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Chaparral Building

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*S 100-YR, 24-HR STORM

*S FILE NAME: cb.DAT

*S BY: Tom Gattis

*S MARK GOODWIN AND ASSOCIATES 01-16-08.

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*S*****

*S RAINFALL FROM NOAA ATLAS 2

*S

RAINFALL TYPE=2 0.0 1.92 2.18 2.6 DT=0.0333

COMPUTED 24-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40 HR.

DT = .033300 HOURS END TIME = 19.946700 HOURS

.0000	.0010	.0020	.0030	.0041	.0052	.0063
.0074	.0086	.0098	.0110	.0123	.0136	.0149
.0163	.0177	.0191	.0206	.0222	.0238	.0255
.0272	.0290	.0308	.0328	.0348	.0370	.0392
.0416	.0441	.0467	.0519	.0576	.0636	.0761
.1048	.1491	.2127	.2996	.4140	.5600	.7418
.9639	1.1771	1.2646	1.3382	1.4036	1.4630	1.5177
1.5685	1.6159	1.6604	1.7022	1.7417	1.7790	1.8143
1.8477	1.8794	1.9095	1.9381	1.9652	1.9720	1.9772
1.9821	1.9867	1.9911	1.9954	1.9994	2.0033	2.0070
2.0106	2.0141	2.0175	2.0207	2.0238	2.0269	2.0299
2.0327	2.0355	2.0383	2.0409	2.0435	2.0460	2.0485
2.0509	2.0533	2.0556	2.0579	2.0601	2.0623	2.0644
2.0665	2.0686	2.0706	2.0726	2.0746	2.0765	2.0784
2.0803	2.0821	2.0839	2.0857	2.0874	2.0892	2.0909
2.0925	2.0942	2.0958	2.0974	2.0990	2.1006	2.1021
2.1037	2.1052	2.1067	2.1082	2.1096	2.1111	2.1125
2.1139	2.1153	2.1167	2.1180	2.1194	2.1207	2.1220
2.1233	2.1246	2.1259	2.1272	2.1284	2.1297	2.1309
2.1321	2.1334	2.1346	2.1357	2.1369	2.1381	2.1392
2.1404	2.1415	2.1427	2.1438	2.1449	2.1460	2.1471
2.1482	2.1492	2.1503	2.1514	2.1524	2.1535	2.1545
2.1555	2.1565	2.1575	2.1585	2.1595	2.1605	2.1615
2.1625	2.1635	2.1644	2.1654	2.1663	2.1673	2.1682
2.1691	2.1701	2.1710	2.1719	2.1728	2.1737	2.1746
2.1755	2.1764	2.1772	2.1781	2.1790	2.1798	2.1810
2.1822	2.1834	2.1846	2.1857	2.1869	2.1881	2.1893

AHYMO, DEVELOPED

2.1905	2.1916	2.1928	2.1940	2.1951	2.1963	2.1975
2.1986	2.1998	2.2009	2.2021	2.2032	2.2044	2.2055
2.2066	2.2078	2.2089	2.2100	2.2112	2.2123	2.2134
2.2145	2.2157	2.2168	2.2179	2.2190	2.2201	2.2212
2.2223	2.2234	2.2245	2.2256	2.2267	2.2278	2.2289
2.2300	2.2310	2.2321	2.2332	2.2343	2.2354	2.2364
2.2375	2.2386	2.2396	2.2407	2.2418	2.2428	2.2439
2.2449	2.2460	2.2470	2.2481	2.2491	2.2502	2.2512
2.2522	2.2533	2.2543	2.2554	2.2564	2.2574	2.2584
2.2595	2.2605	2.2615	2.2625	2.2635	2.2646	2.2656
2.2666	2.2676	2.2686	2.2696	2.2706	2.2716	2.2726
2.2736	2.2746	2.2756	2.2766	2.2776	2.2785	2.2795
2.2805	2.2815	2.2825	2.2834	2.2844	2.2854	2.2864
2.2873	2.2883	2.2893	2.2902	2.2912	2.2922	2.2931
2.2941	2.2950	2.2960	2.2969	2.2979	2.2988	2.2998
2.3007	2.3017	2.3026	2.3035	2.3045	2.3054	2.3064
2.3073	2.3082	2.3091	2.3101	2.3110	2.3119	2.3128
2.3138	2.3147	2.3156	2.3165	2.3174	2.3184	2.3193
2.3202	2.3211	2.3220	2.3229	2.3238	2.3247	2.3256
2.3265	2.3274	2.3283	2.3292	2.3301	2.3310	2.3319
2.3327	2.3336	2.3345	2.3354	2.3363	2.3372	2.3380
2.3389	2.3398	2.3407	2.3415	2.3424	2.3433	2.3441
2.3450	2.3459	2.3467	2.3476	2.3485	2.3493	2.3502
2.3510	2.3519	2.3527	2.3536	2.3545	2.3553	2.3562
2.3570	2.3578	2.3587	2.3595	2.3604	2.3612	2.3621
2.3629	2.3637	2.3646	2.3654	2.3662	2.3671	2.3679
2.3687	2.3695	2.3704	2.3712	2.3720	2.3728	2.3737
2.3745	2.3753	2.3761	2.3769	2.3777	2.3786	2.3794
2.3802	2.3810	2.3818	2.3826	2.3834	2.3842	2.3850
2.3858	2.3866	2.3874	2.3882	2.3890	2.3898	2.3906
2.3914	2.3922	2.3930	2.3938	2.3946	2.3953	2.3961
2.3969	2.3977	2.3985	2.3993	2.4000	2.4008	2.4016
2.4024	2.4031	2.4039	2.4047	2.4055	2.4062	2.4070
2.4078	2.4085	2.4093	2.4101	2.4108	2.4116	2.4124
2.4131	2.4139	2.4146	2.4154	2.4162	2.4169	2.4177
2.4184	2.4192	2.4199	2.4207	2.4214	2.4222	2.4229
2.4237	2.4244	2.4252	2.4259	2.4266	2.4274	2.4281
2.4289	2.4296	2.4303	2.4311	2.4318	2.4325	2.4333
2.4340	2.4347	2.4355	2.4362	2.4369	2.4377	2.4384
2.4391	2.4398	2.4406	2.4413	2.4420	2.4427	2.4434
2.4442	2.4449	2.4456	2.4463	2.4470	2.4477	2.4484
2.4492	2.4499	2.4506	2.4513	2.4520	2.4527	2.4534
2.4541	2.4548	2.4555	2.4562	2.4569	2.4576	2.4583
2.4590	2.4597	2.4604	2.4611	2.4618	2.4625	2.4632
2.4639	2.4646	2.4653	2.4659	2.4666	2.4673	2.4680
2.4687	2.4694	2.4701	2.4707	2.4714	2.4721	2.4728
2.4735	2.4741	2.4748	2.4755	2.4762	2.4769	2.4775
2.4782	2.4789	2.4795	2.4802	2.4809	2.4816	2.4822
2.4829	2.4836	2.4842	2.4849	2.4856	2.4862	2.4869
2.4875	2.4882	2.4889	2.4895	2.4902	2.4908	2.4915
2.4922	2.4928	2.4935	2.4941	2.4948	2.4954	2.4961
2.4967	2.4974	2.4980	2.4987	2.4993	2.5000	2.5006

2.5013	2.5019	2.5026	2.5032	2.5038	2.5045	2.5051
2.5058	2.5064	2.5070	2.5077	2.5083	2.5090	2.5096
2.5102	2.5109	2.5115	2.5121	2.5128	2.5134	2.5140
2.5146	2.5153	2.5159	2.5165	2.5172	2.5178	2.5184
2.5190	2.5197	2.5203	2.5209	2.5215	2.5222	2.5228
2.5234	2.5240	2.5246	2.5252	2.5259	2.5265	2.5271
2.5277	2.5283	2.5289	2.5296	2.5302		

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*S CALCULATE THE FLOW FROM SITE

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COMPUTE NM HYD ID=1 HYD=JT AREA=0.000925 SQ MI
 A=0 B=0 C=5 D=95
 TP=0.1333 MASSRAIN=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420
 UNIT PEAK = 3.4694 CFS UNIT VOLUME = .9960 B = 526.28 P60 = 1.9200
 AREA = .000879 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

K = .106431HR TP = .133300HR K/TP RATIO = .798430 SHAPE CONSTANT, N = 4.488057
 UNIT PEAK = .13410 CFS UNIT VOLUME = .9022 B = 386.49 P60 = 1.9200
 AREA = .000046 SQ MI IA = .35000 INCHES INF = .83000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

PRINT HYD ID=1 CODE=1

HYDROGRAPH FROM AREA JT

RUNOFF VOLUME = 2.23014 INCHES = .1100 ACRE-FEET
 PEAK DISCHARGE RATE = 2.62 CFS AT 1.499 HOURS BASIN AREA = .0009 SQ. MI.

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*S CALCULATE THE FLOW FROM EAST

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COMPUTE NM HYD ID=1 HYD=EAST AREA=0.00005 SQ MI
 A=0 B=0 C=0 D=100
 TP=0.1333 MASSRAIN=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420
 UNIT PEAK = .19740 CFS UNIT VOLUME = .9385 B = 526.28 P60 = 1.9200
 AREA = .000050 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

PRINT HYD ID=1 CODE=1

HYDROGRAPH FROM AREA EAST

RUNOFF VOLUME = 2.29436 INCHES = .0061 ACRE-FEET
 PEAK DISCHARGE RATE = .15 CFS AT 1.499 HOURS BASIN AREA = .0001 SQ. MI.

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COMPUTE NM HYD ID=1 HYD=NEWBUILD AREA=0.00031 SQ MI
 A=0 B=0 C=5 D=95
 TP=0.1333 MASSRAIN=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420
 UNIT PEAK = 1.1627 CFS UNIT VOLUME = .9896 B = 526.28 P60 = 1.9200
 AREA = .000295 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

K = .106431HR TP = .133300HR K/TP RATIO = .798430 SHAPE CONSTANT, N = 4.488057
 UNIT PEAK = .44940E-01CFS UNIT VOLUME = .8794 B = 386.49 P60 = 1.9200
 AREA = .000016 SQ MI IA = .35000 INCHES INF = .83000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

PRINT HYD ID=1 CODE=1

HYDROGRAPH FROM AREA NEWBUILD

RUNOFF VOLUME = 2.23023 INCHES = .0369 ACRE-FEET
 PEAK DISCHARGE RATE = .88 CFS AT 1.499 HOURS BASIN AREA = .0003 SQ. MI.

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*S CALCULATE THE FLOW FROM NORTH

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COMPUTE NM HYD ID=1 HYD=NORTH AREA=0.0001 SQ MI
 A=0 B=0 C=0 D=100
 TP=0.1333 MASSRAIN=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420
 UNIT PEAK = .39481 CFS UNIT VOLUME = .9710 B = 526.28 P60 = 1.9200
 AREA = .000100 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

PRINT HYD ID=1 CODE=1

HYDROGRAPH FROM AREA NORTH

RUNOFF VOLUME = 2.29413 INCHES = .0122 ACRE-FEET
PEAK DISCHARGE RATE = .29 CFS AT 1.499 HOURS BASIN AREA = .0001 SQ. MI.

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*S CALCULATE THE FLOW FROM SOUTH

*S

COMPUTE NM HYD ID=1 HYD=SOUTH AREA=0.00045 SQ MI
A=0 B=0 C=5 D=95
TP=0.1333 MASSRAIN=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420
UNIT PEAK = 1.6878 CFS UNIT VOLUME = .9922 B = 526.28 P60 = 1.9200
AREA = .000428 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

K = .106431HR TP = .133300HR K/TP RATIO = .798430 SHAPE CONSTANT, N = 4.488057
UNIT PEAK = .65236E-01CFS UNIT VOLUME = .8794 B = 386.49 P60 = 1.9200
AREA = .000023 SQ MI IA = .35000 INCHES INF = .83000 INCHES PER HOUR
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

PRINT HYD ID=1 CODE=1

HYDROGRAPH FROM AREA SOUTH

RUNOFF VOLUME = 2.23019 INCHES = .0535 ACRE-FEET
PEAK DISCHARGE RATE = 1.28 CFS AT 1.499 HOURS BASIN AREA = .0005 SQ. MI.

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FINISH

NORMAL PROGRAM FINISH END TIME (HR:MIN:SEC) = 10:20:08
□(s10H□□□□□□□□□□□□□□□□



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 21, 1995

Kim R. Kemper
3700 Coors rd. NW
Albuquerque, NM 87120

RE: Drainage Plan for Chaparral Electric Co. (H-14/D60).
Engineer's Stamp dated 6-22-95.

Dear Mr. Kemper:

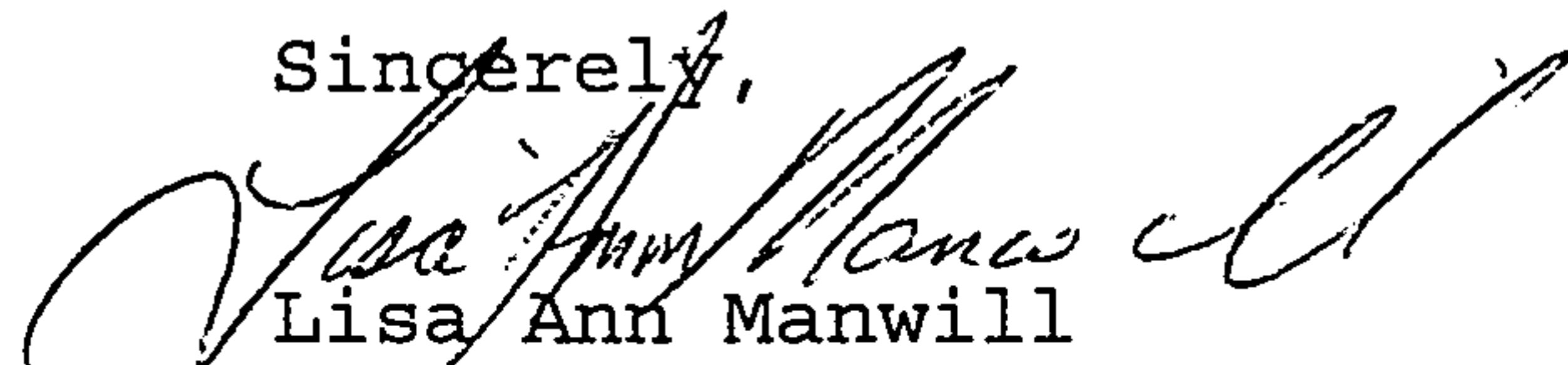
Based on the information provided on your June 23, 1995 drainage plan submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to all construction sets prior to sign-off by Hydrology.

Before a Certificate of Occupancy is released, Engineer's Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please call me at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Associate

c: Andrew Garcia
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: CHAPARRAL ELECTRIC Co. ZONE ATLAS/DRNG. FILE #: H-14/1160
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: LOT 1, BLOCK 2 HILL'S ADDITION
CITY ADDRESS: 602 MCKNIGHT AVE NW
ENGINEERING FIRM: KEMPER-VAUGHAN CONSULTING ENGRS CONTACT: KIM R. KEMPER
ADDRESS: 3700 COORS RD. NW PHONE: 831-4520
OWNER: CHAPARRAL ELECTRIC CONTACT: RICK HIGGINS
ADDRESS: 602 MCKNIGHT AVE. NW PHONE: 242-1783
ARCHITECT: JLS ARCHITECTURE CONTACT: JOE SLADE
ADDRESS: 414 SECOND STREET S.W PHONE: 246-0870
SURVEYOR: RIO GRANDE SURVEYING CONTACT: REX VOGLER
ADDRESS: 3700 COORS ROAD NW PHONE: 831-4520
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 6/23/95BY: Kim R. Kemper