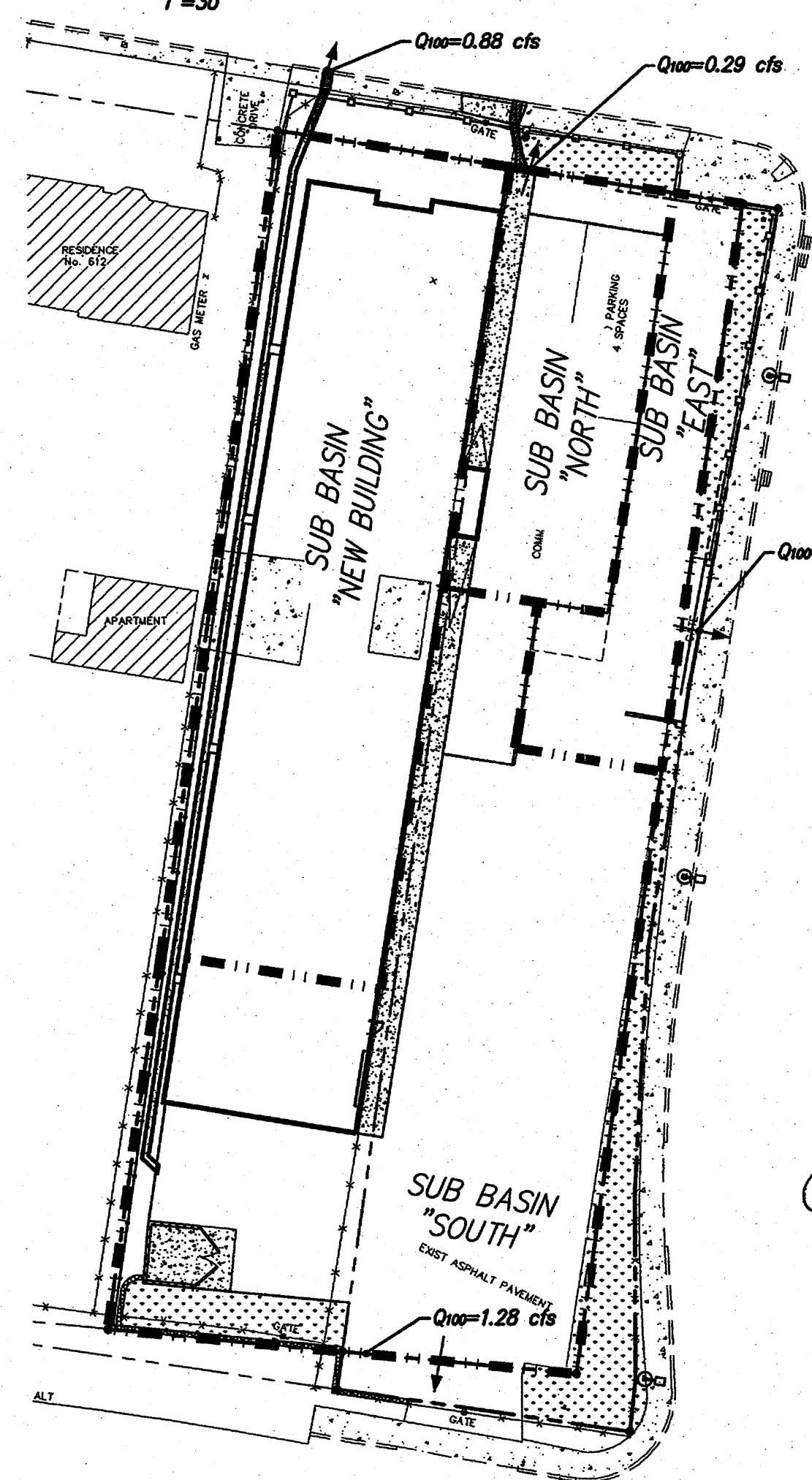
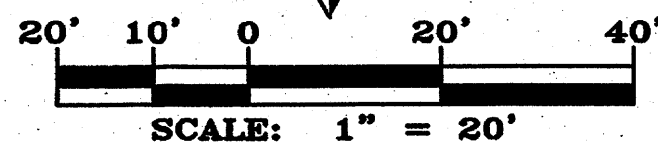


EXISTING DRAINAGE BASINS
1"=30'

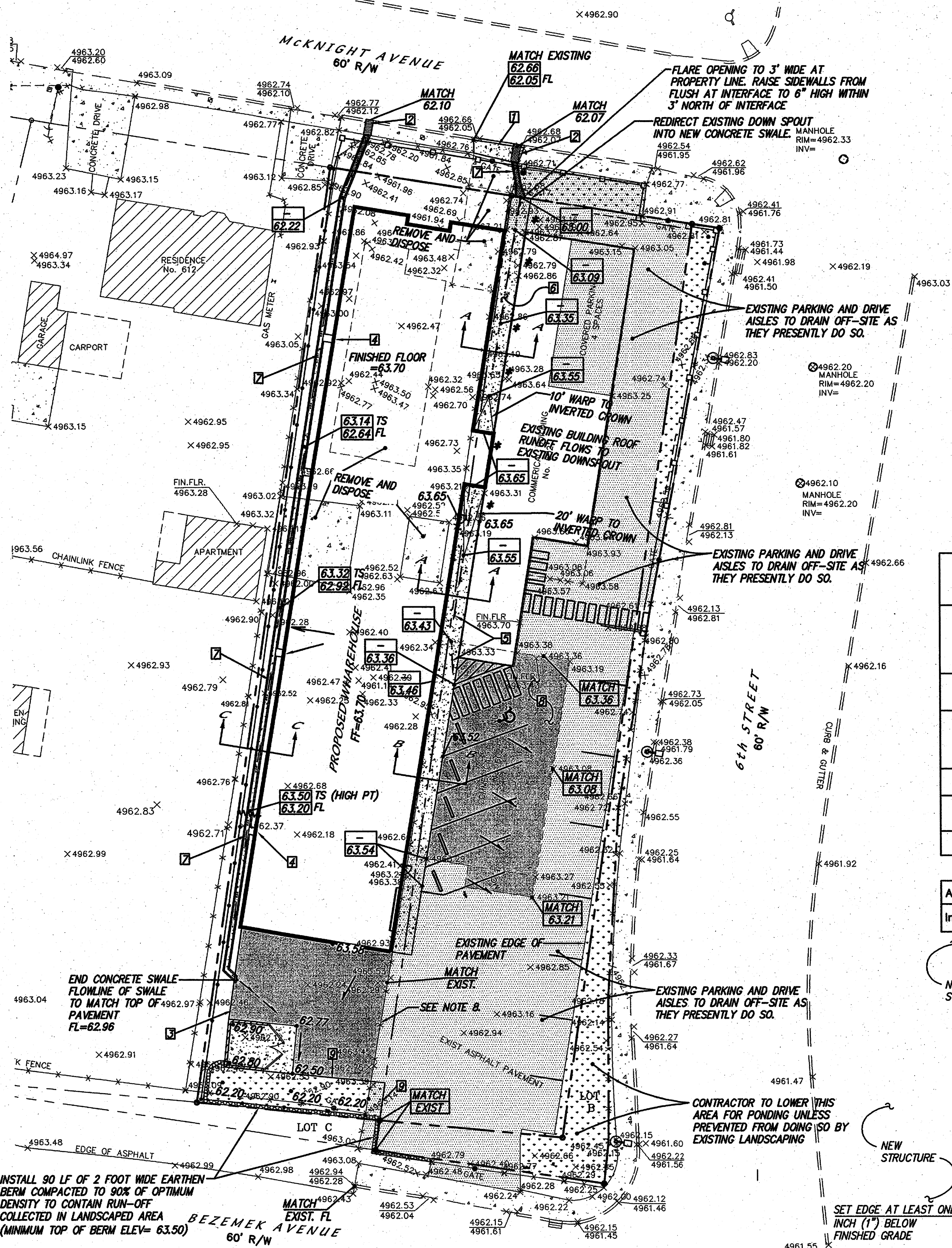


PROPOSED DRAINAGE BASINS
1"=30'

John W. Goodwin
5-6-88



SCALE: 1" = 20'



INSTALL 90 LF OF 2 FOOT WIDE EARTHEN BERM COMPACTED TO 90% OF OPTIMUM DENSITY TO CONTAIN RUN-OFF COLLECTED IN LANDSCAPED AREA (MINIMUM TOP OF BERM ELEV= 63.50)

DRAINAGE DATA - (TOTAL SITE AREA= 0.51 AC.)

CONDITION	BASIN	STORM	TREATMENT TYPE	TREATMENT AREA	HYMO OUTPUT PEAK RUNOFF
EXISTING	ENTIRE SITE	100-YEAR	C=40% D=60%	0.236 Ac 0.355 Ac	2.30 cfs
DEVELOPED	ENTIRE SITE	100-YEAR	C=05% D=95%	0.029 Ac 0.562 Ac	2.62 cfs
DEVELOPED	NEW BUILDING	100-YEAR	C=05% D=95%	0.01 Ac 0.19 Ac	0.88 cfs
EXISTING	EAST	100-YEAR	D=100%	0.03 Ac	0.15 cfs
EXISTING	NORTH	100-YEAR	D=100%	0.07 Ac	0.29 cfs
DEVELOPED	SOUTH	100-YEAR	C=05% D=95%	0.01 Ac 0.28 Ac	1.28 cfs

*NOTE: THE EXISTING COMMERCIAL BUILDING UTILIZES A DRAINAGE GUTTER AT THE ROOF LINE THAT OUTLETS NORTH OF THE STRUCTURE. THEREFORE NO DRAINAGE FROM THE EXISTING BUILDING ENTERS THE CONCRETE WALK TO THE NORTH.

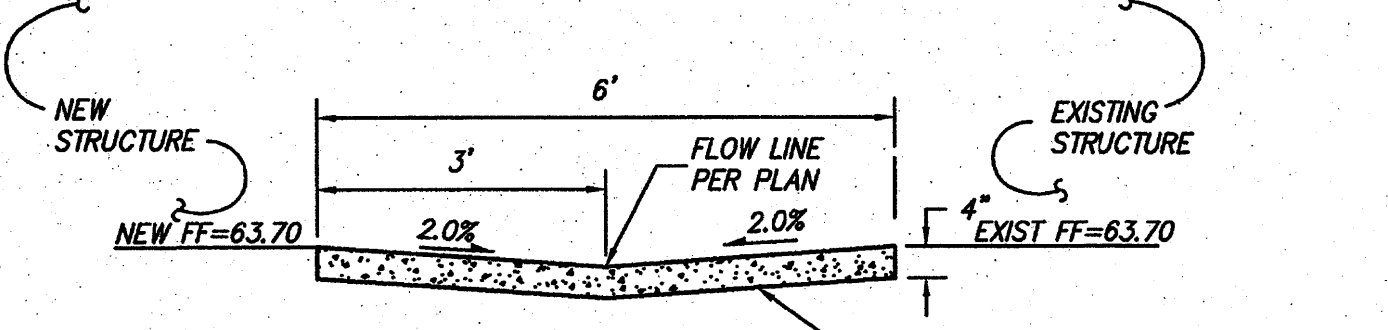
NOTES:

- REMOVE & DISPOSE OF EXISTING CONCRETE DRIVE. INSTALL 15 LF STANDARD CURB & GUTTER PER COA STD DWG #2415A. INSTALL 15 LF CONCRETE WALK PER COA STD DWG #2430.
- INSTALL DRAINAGE SIDEWALK CULVERT W/ STEEL PLATE TOP PER COA STD DWG #2236, 12" OPENING. EXTEND PLATES TO RIGHT OF WAY LINE.
- NEW PAVING TO BE INSTALLED FLUSH WITH ADJOINING FINISHED SIDEYARD GRADE. ALL RUN-OFF WITHIN SITE ALONG THIS EDGE SHALL DRAIN EAST.
- ROOF DRAINS SHALL EMPTY TO CONCRETE SPLASH BLOCKS. SPLASH BLOCKS SHALL EMPTY DIRECTLY INTO CONCRETE SWALE, AND NOT WEST ONTO ADJOINING PROPERTY (TYP).
- CONTINUE INVERTED CROWN SOUTH. INVERTED CROWN'S FLOWLINE TO BE FLUSH WITH PAVED EDGE AT INTERFACE.
- REMOVE & DISPOSE OF EXISTING CONCRETE AND INSTALL NEW CONCRETE PER CROSS-SECTIONS A-A AND B-B, THIS SHEET.
- INSTALL CONCRETE SWALE PER SECTION C-C, THIS SHEET.
- REMOVE & DISPOSE OF EXISTING BUILDING AND PAD AND REPLACE WITH ASPHALT PARKING AS SHOWN. CLEANLY SAWCUT OFF AT LEAST 6" OF EXISTING PAVING AFTER BUILDING REMOVAL TO PROVIDE A MATCH TO COMPETENT SURFACING. SEE SOILS REPORT FOR NEW PAVING SECTION.
- RUN-OFF FROM NEW PAVING SOUTH OF BUILDING TO DRAIN INTO ADJOINING LANDSCAPING AND THEN EAST ACROSS EXISTING PAVING ALONG HISTORICAL FLOW PATH. CONTRACTOR SHALL INSURE THAT THIS RUN-OFF DOES NOT BYPASS BERM AND ESCAPE SOUTH TOWARD BEZEMEK.

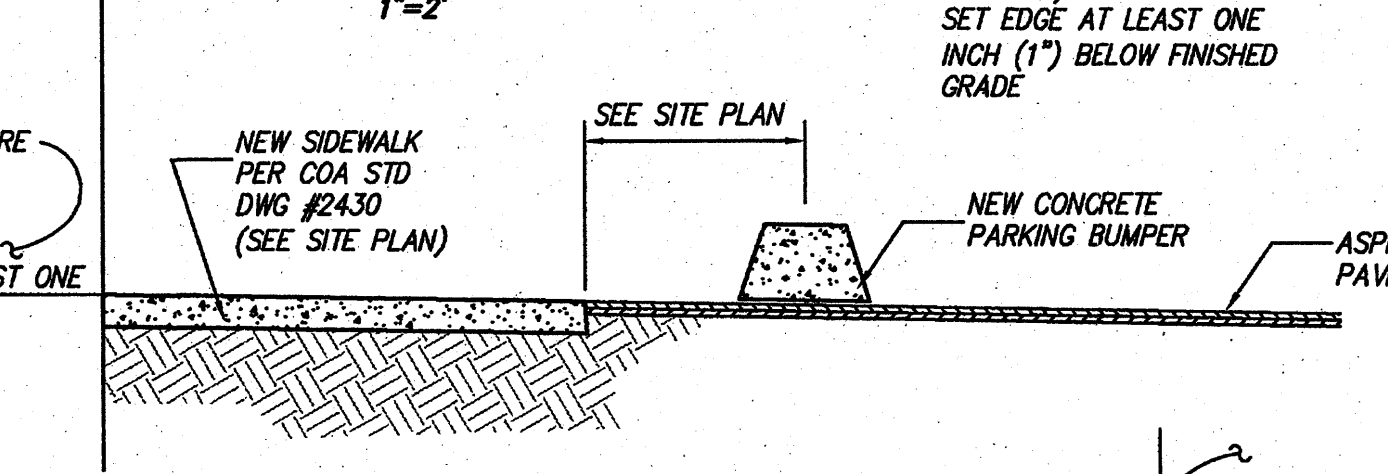
NOTICE TO CONTRACTOR

- An excavation/construction permit will be required before beginning any work within City right of way.
- All work detailed on these plans to be performed, except as otherwise stated or provided for herein, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
- Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
- Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to Traffic / street use.
- Maintenance of these facilities shall be the responsibility of the Owner of the property served.
- Work on Arterial Street shall be Performed on a 24-hour Basis.

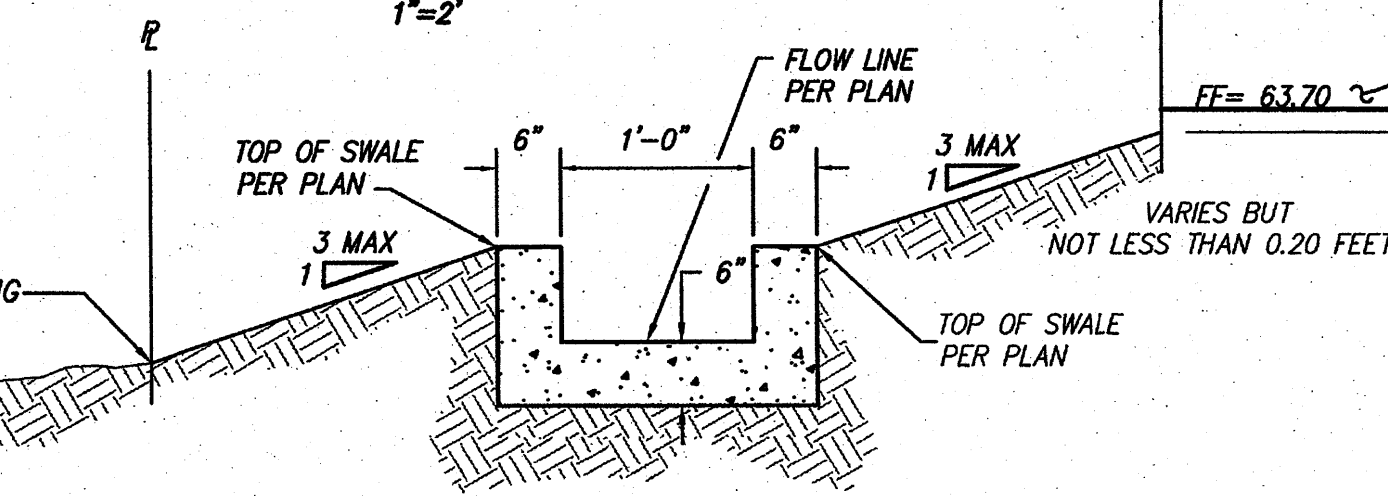
Approval	Name	Date
Inspector		



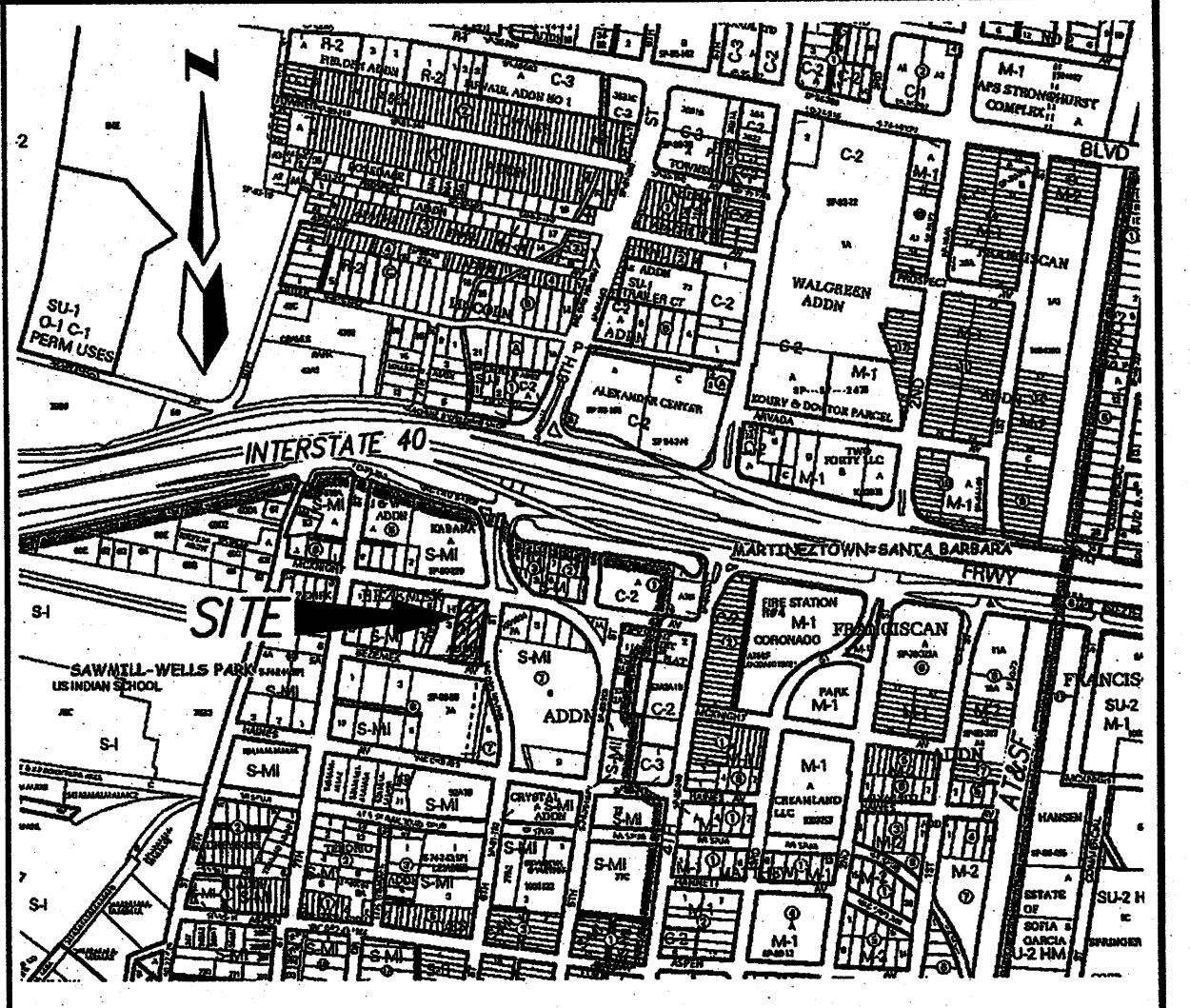
SECTION A-A
1"=2'



SECTION B-B
1"=2'



SECTION C-C, CONCRETE SWALE
NTS



ZONE MAP: H-14-Z SCALE: 1" = 750'

LEGAL DESCRIPTION

LOT NUMBERED TWO (2) IN BLOCK NUMBERED TWO (2) OF THE HILL'S ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 28, 1928 IN PLAT BOOK D-1, PAGE 60.

BENCHMARK

SEE TOPOGRAPHIC SURVEY BY HARRIS SURVEYING

LEGEND

- EXISTING CURB AND GUTTER
- EXISTING MANHOLE
- EXISTING DROP INLET
- EXISTING EDGE OF PAVEMENT
- EX. TOP CURB
- EX. FL=FLOWLINE
- EX. SPOT ELEVATION
- NEW WATER BREAK
- EXISTING BOUNDARY LINE
- PROPOSED SPOT ELEVATION
- FINISHED FLOOR
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLOWLINE ELEVATION
- PROPOSED TOP OF SWALE ELEVATION
- PROPOSED FLOWLINE ELEVATION
- SURFACE FLOW DIRECTION
- ROOF FLOWS
- DRAINAGE SWALE
- NEW DRAINAGE SUB-BASIN
- NEW CURB AND GUTTER
- NEW PAVEMENT (SEE SOILS REPORT FOR PROPOSED DESIGN SECTION)
- NEW CONCRETE SURFACING
- NEW SIDEWALK CULVERT
- EXISTING FIRE HYDRANT
- EXISTING PROPERTY CORNER
- NEW CHAINLINK FENCE
- EXISTING DRAINAGE SUB-BASIN
- NEW 2' WIDE EARTHEN BERM
- EXISTING PAVEMENT

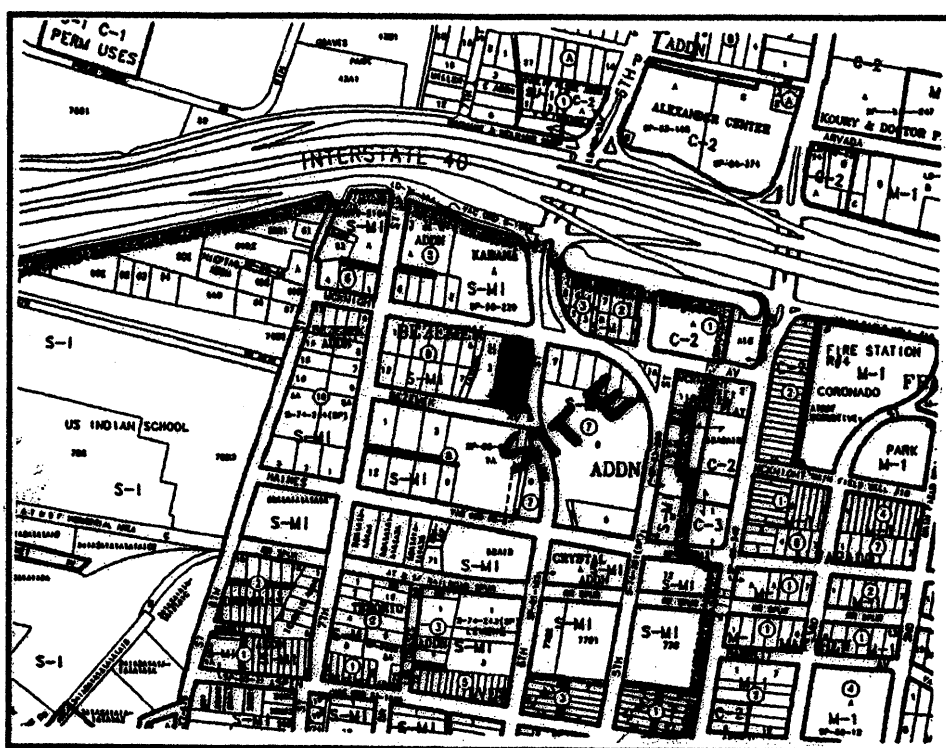
RECEIVED
MAY 08 2008
HYDROLOGY SECTION

Chaparral Electric Warehouse

GRADING AND DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM	Drawn: SPS	Checked: DMG	Sheet
Scale: 1" = 20'	Date: 03/26/08	Job: A7076	C101



VICINITY MAP No. H-14

LEGAL DESCRIPTION

PURPOSE OF PLAT:

GENERAL NOTES:

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	08°35'35"	S 05°26'09" W	1234.57	185.16	184.98
C2	91°28'03"	S 35°49'48" E	25.00	39.91	35.81
C3	95°27'06"	S 50°08'34" W	25.00	41.65	37.00
C4	07°18'55"	S 06°04'29" W	1234.57	157.62	157.52
C5	01°16'40"	S 01°46'48" W	1234.57	27.53	27.53

FREE CONSENT

Catherine M. Higgins 05/06/08
CATHERINE M. HIGGINS DATE

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
THIS 6 DAY OF May, 2008.

ACS STATION "17-J14"
X=1,519,149.317
Y=1,488,866.762
GRD TO GRID=0.999683611
 $\Delta\alpha = -00^{\circ} 13' 59''$
CENTRAL ZONE, NAD 1983

BEZEMEK AVENUE N. W.
60' R/W

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

PROPERTY OWNER OF RECORD: *RCL VIII LLC*

BERNALILLO CO. TREASURER'S OFFICE: *X Bernalillo 3/2/05*

PLAT OF
LOT 1-A
BLOCK 2
HILL ACRES SUBDIVISION


PROJECT NUMBER: 1006767

UTILITY APPROVALS:

Ignacio Vigil June, 20, 2008
PNM ELECTRIC SERVICES DATE

Leonardo Vigil June 20, 2008
DNM GAS SERVICES DATE

WEST TELECOMMUNICATIONS 6-20-08
DATE

COMCAST
 6-20-08

DATE

NEW MEXICO UTILITIES _____ DATE _____

CITY APPROVALS:

CH B Jant 5-6-08
CITY SURVEYOR DATE

NA
*REAL PROPERTY DIVISION (CONDITIONAL) DATE

NA
**ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION 5-14-08
DATE

ABCWUA Roger L. Green 5-14-28
DATE

David E. Jones 5-14-09
PARKS AND RECREATION DEPARTMENT DATE

Bradley L. Bumpson 5/14/08
AMAFCA DATE

Carter A. Chene 5-14-08
CITY ENGINEER DATE

Jack Chan 7-01-08
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

DOC# 2008075750

07/03/2008 12:50 PM Page: 1 of 1
Toulous Olivere, Bernalillo Coun

PLAT R: \$7.00 B: 2008C F: 0145

RECEIVED
JUL 07 2008
HYDROLOGY
SECTION

SURVEYORS CERTIFICATE:

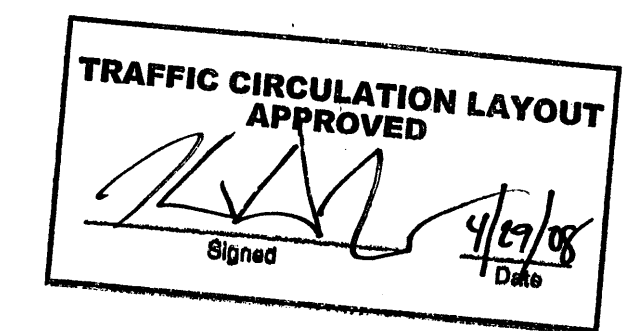
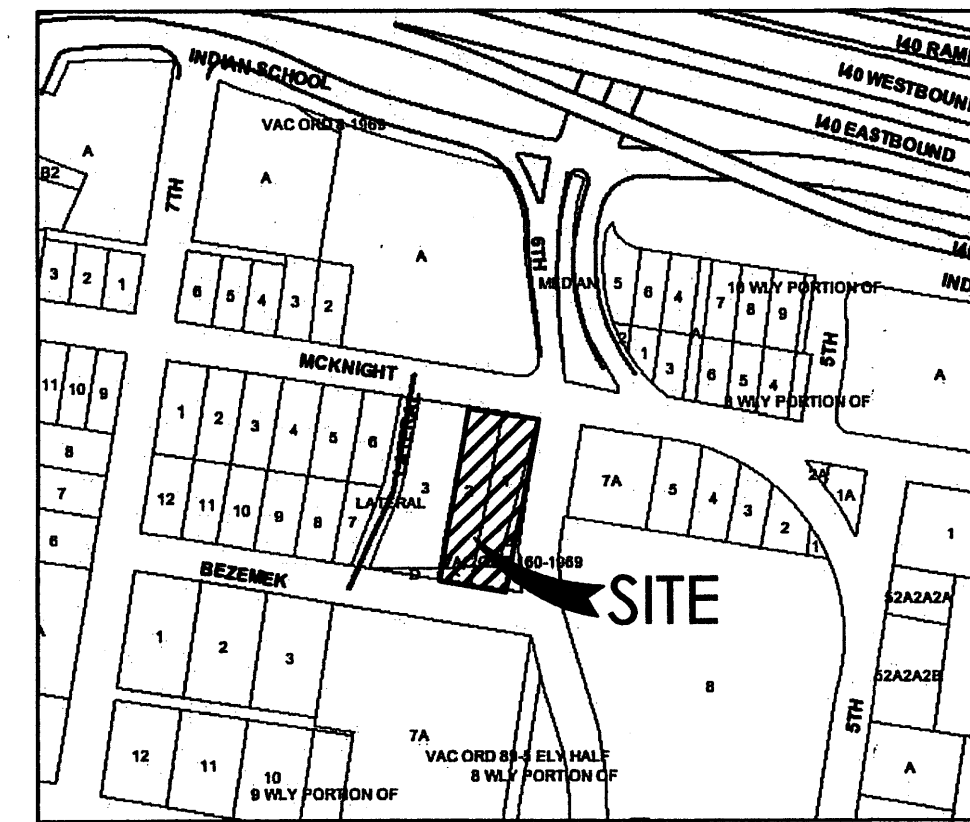
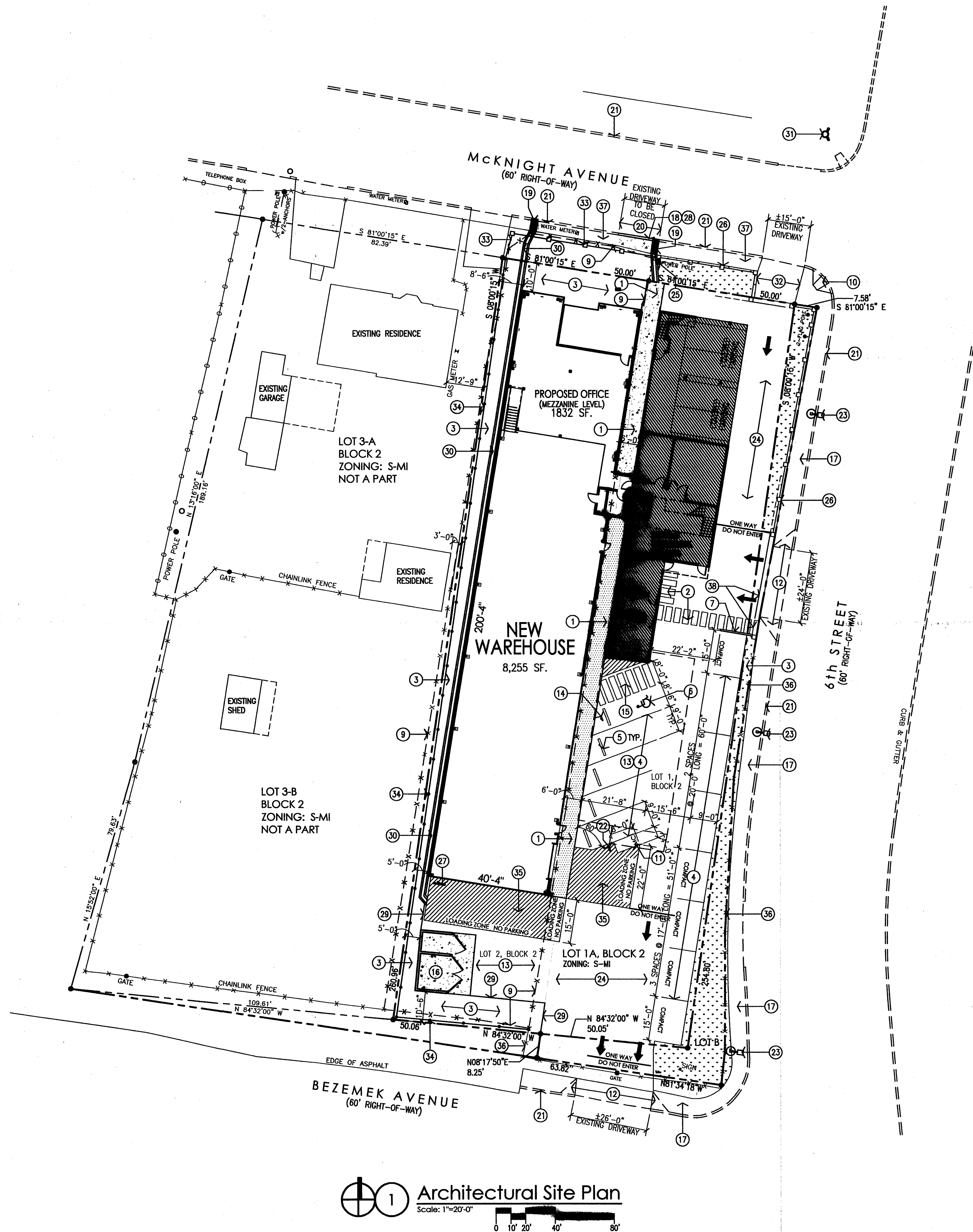
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) S.S.

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS 5th DAY OF May, 2008

ANTHONY L. HARRIS, P.S. # 11463

H.E.T. HARRIS SURVEYING, INC. PHONE: (505) 261-1111
2413-D MONROE STREET N.E. FAX: (505) 261-1111
ALBUQUERQUE, NEW MEXICO 87110



Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION: LOT 1A IN BLOCK 2 OF HILL'S ADDITION SUBDIVISION CITY OF ALBUQUERQUE BERNILLO COUNTY, NEW MEXICO

BUILDING ADDRESS: PROPOSED OFFICE/WAREHOUSE 608 MCKNIGHT AVENUE NW, ALBUQUERQUE, NEW MEXICO 87102

CURRENT ZONING: S-M1

ZONE ATLAS PAGE: H-14-Z

LAND AREA: 0.59 ACRES (25,786 SQ. FT.)

BUILDING AREA: 8,434 S.F. (PROPOSED WAREHOUSE FIRST FLOOR)
1,832 S.F. (PROPOSED WAREHOUSE MEZZANINE)
10,266 S.F. TOTAL WAREHOUSE AREA

PARKING REQUIREMENTS: EXISTING OFFICE 2,782 S.F./2000 = 14 SPACES
NEW WAREHOUSE 10,266 S.F./2000 = 5 SPACES
TOTAL 19 SPACES

19 SPACES REQ'D x 15% (BUS STOP CREDIT - ROUTE 92, 93, 94 & 8) = 16 SPACES REQUIRED

16 SPACES REQUIRED
17 SPACES PROVIDED

INCLUDING WITH THE PROVIDED SPACES
-16 REGULAR SPACES
-1 HANDICAP PARKING SPACES
17 TOTAL PROVIDED SPACES

LANDSCAPING REQUIREMENTS: 30,737 SF GROSS LAND AREA
-7,171 SF BUILDING AREA
23,566 NET LOT AREA
23,566 NET LOT AREA x 15% = 3,535 SF
3,535 SF LANDSCAPING REQUIRED

- GENERAL NOTES:**
- [A] PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- [C] EXISTING RAMPS IN CITY RIGHT-OF-WAY MEET CURRENT ADA CRITERIA.

- KEYED NOTES:**
- [1] CONCRETE SIDEWALK WITH CONTROL JOINTS @ 5'-0" AND EXPANSION JOINTS AT 20'-0" O.C. SEE 3.10A.10B/A002.
- [2] 5' WIDE PAINTED PEDESTRIAN WALKWAY.
- [3] LANDSCAPING. SEE LANDSCAPING PLAN.
- [4] PAINTED PARKING STRIPES.
- [5] CONCRETE PARKING BUMPERS. TYPICAL OF 6.
- [6] PAINTED HC PARKING SYMBOL. SEE 7/A002.
- [7] NEW CONCRETE CURB, REFER TO 4/A002.
- [8] 24" WIDE CONCRETE STRIP, TYP. SEE 9/A002.
- [9] EXISTING CHAINLINK FENCE TO BE REMOVED.
- [10] EXISTING ADA RAMP WITH FLARED SIDES TO REMAIN.
- [11] PROPOSED MOTORCYCLE SPACES (1 REQUIRED, 1 PROVIDED).
- [12] EXISTING 24" WIDE CONCRETE DRIVEWAY WITH FLARED ADA SLOPES TO REMAIN.
- [13] NEW ASPHALT PAVING. SEE CIVIL AND SOILS REPORT FOR PAVING RECOMMENDATIONS.
- [14] HC PARKING SIGN, TYPICAL OF 1.
- [15] PAINTED HC PARKING STRIPING, SEE 5/A002.
- [16] CMU DUMPSTER LOCATION. SEE 1/A002.
- [17] EXISTING 6' WIDE CONCRETE SIDEWALK TO REMAIN.
- [18] NEW CONCRETE CURB & GUTTER TO COA STANDARDS (STD. DWG. 2415A). SEE GRADING AND DRAINAGE.
- [19] NEW CONCRETE SIDEWALK CULVERT WITH STEEL PLATE COVER TO COA STANDARDS (STD. DWG. 2236).
- [20] EXISTING DRIVEWAY OPENING TO BE CLOSED AND REPLACED WITH CONCRETE SIDEWALK TO MATCH EXISTING SIDEWALK ELEVATION.
- [21] EXISTING CONCRETE CURB TO REMAIN.
- [22] MOTORCYCLE PARKING SIGN. SIMILAR TO DETAIL 8/A002 (1 SIGN).
- [23] EXISTING SITE LIGHTING LOCATION, SEE ELECTRICAL.
- [24] EXISTING ASPHALT PAVING TO REMAIN.
- [25] EXISTING POWER POLE TO REMAIN.
- [26] EXISTING TUBE STEEL AND CMU PILASTER FENCE TO REMAIN.
- [27] BIKE RACK LOCATION. SEE 12/A002.
- [28] NEW CONCRETE SIDEWALK TO MATCH AND TO TIE INTO EXISTING (STD. DWG. 2430).
- [29] EDGE OF NEW ASPHALT PAVING WITH STEEL LANDSCAPING EDGING.
- [30] NEW CONCRETE DRAINAGE CHANNEL. SEE CIVIL.
- [31] EXISTING FIRE HYDRANT.
- [32] EXISTING 15'-0" WIDE CONCRETE DRIVEWAY.
- [33] NEW CMU PILASTER WITH WROUGHT IRON FENCING TO MATCH EXISTING FENCE TYPE AND COLOR.
- [34] NEW CHAINLINK FENCE WITH SLATS.
- [35] NEW PAINTED STRIPING FOR LOADING ZONE.
- [36] EXISTING CHAINLINK FENCE TO REMAIN.
- [37] EXISTING 4' WIDE CONCRETE SIDEWALK TO REMAIN.
- [38] EXISTING ELECTRIC GATE TO REMAIN OPEN DURING BUSINESS HOURS TO ALLOW FOR PEDESTRIAN ACCESS TO THE SITE.

RECEIVED
JUL 07 2008
HYDROLOGY SECTION

revision	by	date	rev
	nms	4/16/08	3
	nms	04/14/08	4
	nms	03/17/08	5

Per COA Transportation Dept.
Per COA Transportation Dept.
Per COA Transportation Dept.

Mullen Heller Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque, NM 87102
505 268 4144 [p]
505 268 4244 [f]

STATE OF NEW MEXICO
JOHN DOUGLAS
ARCHITECT
NO. 2827
EXPIRES 12-31-2010

project title
Chaparral Electric Warehouse
608 McKnight Ave. NW
Albuquerque, New Mexico

sheet
A001

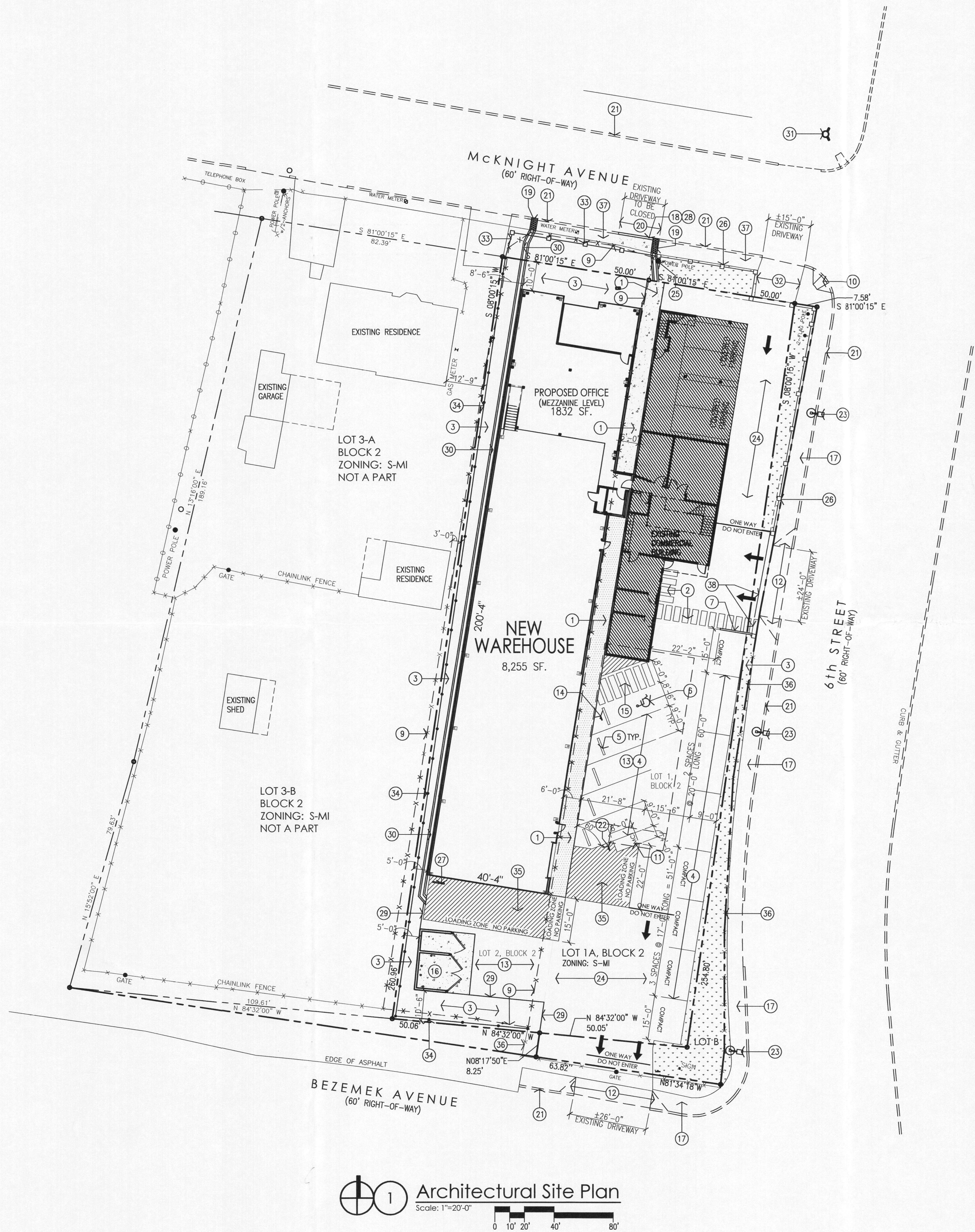
project title
Architectural Site Plan - For TOL

job number
07-09

drawn by
mcg/nms

project manager
Douglas Heller, AIA

date
02/08/08



1 Architectural Site Plan
Scale: 1"=20'-0"
0 10' 20' 40' 80'



VICINITY MAP



LOCATION MAP

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed _____ Date 4/29/08

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

SITE DEVELOPMENT DATA:	
LEGAL DESCRIPTION:	LOT 1A IN BLOCK 2 OF HILL'S ADDITION SUBDIVISION CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO
BUILDING ADDRESS:	PROPOSED OFFICE/WAREHOUSE 608 MCKNIGHT AVENUE NW, ALBUQUERQUE, NEW MEXICO 87102
CURRENT ZONING:	S-M1
ZONE ATLAS PAGE:	H-14-Z
LAND AREA:	0.59 ACRES (25,786 SQ. FT.)
BUILDING AREA:	8,434 S.F. (PROPOSED WAREHOUSE FIRST FLOOR) 1,832 S.F. (PROPOSED WAREHOUSE MEZZANINE) 10,266 S.F. TOTAL WAREHOUSE AREA
PARKING REQUIREMENTS:	EXISTING OFFICE 2,782 S.F./200 = 14 SPACES NEW WAREHOUSE 10,266 S.F./2000 = 5 SPACES TOTAL 19 SPACES
	19 SPACES REQ'D x 15% (BUS STOP CREDIT - ROUTE 92, 93, 94 & 8) = 16 SPACES REQUIRED
	16 SPACES REQUIRED 17 SPACES PROVIDED
	INCLUDING WITH THE PROVIDED SPACES - 16 REGULAR SPACES - 1 HANDICAP PARKING SPACES - 17 TOTAL PROVIDED SPACES
LANDSCAPING REQUIREMENTS:	30,737 SF GROSS LAND AREA -7,171 SF BUILDING AREA 23,566 NET LOT AREA 23,566 NET LOT AREA x 15% = 3,535 SF 3,535 SF LANDSCAPING REQUIRED

- GENERAL NOTES:
- [A] PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- [C] EXISTING RAMPS IN CITY RIGHT-OF-WAY MEET CURRENT ADA CRITERIA.

- KEYED NOTES:
- [1] CONCRETE SIDEWALK WITH CONTROL JOINTS @ 5'-0" AND EXPANSION JOINTS AT 20'-0" O.C. SEE 3.10A.10B/A002.
- [2] 5' WIDE PAINTED PEDESTRIAN WALKWAY.
- [3] LANDSCAPING. SEE LANDSCAPING PLAN.
- [4] PAINTED PARKING STRIPES.
- [5] CONCRETE PARKING BUMPERS. TYPICAL OF 6.
- [6] PAINTED HC PARKING SYMBOL. SEE 7/A002.
- [7] NEW CONCRETE CURB, REFER TO 4/A002.
- [8] 24" WIDE CONCRETE STRIP, TYP. SEE 9/A002.
- [9] EXISTING CHAINLINK FENCE TO BE REMOVED.
- [10] EXISTING ADA RAMP WITH FLARED SIDES TO REMAIN.
- [11] PROPOSED MOTORCYCLE SPACES (1 REQUIRED, 1 PROVIDED).
- [12] EXISTING 24" WIDE CONCRETE DRIVEWAY WITH FLARED ADA SLOPES TO REMAIN.
- [13] NEW ASPHALT PAVING. SEE CIVIL AND SOILS REPORT FOR PAVING RECOMMENDATIONS.
- [14] HC PARKING SIGN, TYPICAL OF 1.
- [15] PAINTED HC PARKING STRIPING, SEE 5/A002.
- [16] CMU DUMPSTER LOCATION. SEE 1/A002.
- [17] EXISTING 6' WIDE CONCRETE SIDEWALK TO REMAIN.
- [18] NEW CONCRETE CURB & GUTTER TO COA STANDARDS (STD. DWG. 2415A). SEE GRADING AND DRAINAGE.
- [19] NEW CONCRETE SIDEWALK CULVERT WITH STEEL PLATE COVER TO COA STANDARDS (STD. DWG. 2236).
- [20] EXISTING DRIVEWAY OPENING TO BE CLOSED AND REPLACED WITH CONCRETE SIDEWALK TO MATCH EXISTING SIDEWALK ELEVATION.
- [21] EXISTING CONCRETE CURB TO REMAIN.
- [22] MOTORCYCLE PARKING SIGN. SIMILAR TO DETAIL 8/A002 (1 SIGN).
- [23] EXISTING SITE LIGHTING LOCATION, SEE ELECTRICAL.
- [24] EXISTING ASPHALT PAVING TO REMAIN.
- [25] EXISTING POWER POLE TO REMAIN.
- [26] EXISTING TUBE STEEL AND CMU PILASTER FENCE TO REMAIN.
- [27] BIKE RACK LOCATION. SEE 12/A002.
- [28] NEW CONCRETE SIDEWALK TO MATCH AND TO TIE INTO EXISTING (STD. DWG. 2430).
- [29] EDGE OF NEW ASPHALT PAVING WITH STEEL LANDSCAPING EDGING.
- [30] NEW CONCRETE DRAINAGE CHANNEL. SEE CIVIL.
- [31] EXISTING FIRE HYDRANT.
- [32] EXISTING 15'-0" WIDE CONCRETE DRIVEWAY.
- [33] NEW CMU PILASTER WITH WROUGHT IRON FENCING TO MATCH EXISTING FENCE TYPE AND COLOR.
- [34] NEW CHAINLINK FENCE WITH SLATS.
- [35] NEW PAINTED STRIPING FOR LOADING ZONE.
- [36] EXISTING CHAINLINK FENCE TO REMAIN.
- [37] EXISTING 4' WIDE CONCRETE SIDEWALK TO REMAIN.
- [38] EXISTING ELECTRIC GATE TO REMAIN OPEN DURING BUSINESS HOURS TO ALLOW FOR PEDESTRIAN ACCESS TO THE SITE.

revision	by	mms	mms	mms
date	4/16/08	04/14/08	03/17/08	
rev	A	A	A	A

Mullen Heller
Architecture P.C.

924 Park Avenue SW
Suite B
Albuquerque, NM 87102
505 268 4144[p]
505 268 4244 [f]

JOHN D. HELLER
NO. 2822
REGISTERED ARCHITECT

07-09	mag/mms	Douglas Heller, AIA	02/09/08
job number	drawn by	project manager	date

project title

Chaparral Electric Warehouse
608 McKnight Ave. NW
Albuquerque, New Mexico

sheet title

Architectural Site Plan - For T.C.L.

sheet-	A001
--------	------

DRAINAGE PLAN

THE SUBJECT SITE IS LOCATED ON SIXTH STREET NW BETWEEN MCKNIGHT AVE. AND BEZEMEK AVE. AS SHOWN ON PANEL 22 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD BOUNDARY AND FLOODWAY MAP, THIS SITE DOES NOT LIE WITHIN A DESIGNATED 100-YEAR FLOOD HAZARD BOUNDARY.

THE PROPOSED IMPROVEMENTS TO THIS SITE INCLUDE THE DEMOLITION OF THE EXISTING OFFICE, GARAGE AND COVERED PATIO, AND REPLACING THOSE STRUCTURES WITH A NEW 2-STORY OFFICE BUILDING. AT THE NORTH END OF THE NEW STRUCTURE THE FIRST LEVEL WILL BE PARKING. THE CURRENT DRAINAGE PATTERNS ARE SUCH THAT RUNOFF "SHEET FLOWS" OFF THE PROPERTY ESSENTIALLY, IN ALL DIRECTIONS. EXISTING ROOF RUNOFF ALSO FLOWS IN ALL DIRECTIONS. THE PROPOSED BUILDING WILL HAVE A PITCHED ROOF. A SMALL WALL IS PROPOSED TO PREVENT STORM WATERS FROM ENTERING THE ADJACENT PROPERTY (PRIVATE HOME) TO THE WEST. THESE FLOWS WILL BE DIRECTED THROUGH LANDSCAPED AREAS TO THE ROADWAYS.

THIS SITE IS CONSIDERED TO BE AN INFILL SITE AND AS SUCH, WILL DISCHARGE ITS RUNOFF TO THE EXISTING STORM SEWER FACILITIES. THERE ARE THREE (3) STORM WATER INLETS LOCATED IMMEDIATELY ADJACENT TO THIS SITE. THOSE ARE SHOWN HEREON.

THE TOPOGRAPHY SHOWN HEREON WAS PROVIDED BY RIO GRANDE SURVEYING FORM A FIELD SURVEY PERFORMED IN JUNE OF 1995. A SUBSEQUENT FIELD INSPECTION PERFORMED BY THIS OFFICE REVEALED THAT ALL THE INFORMATION SHOWN IS CONSISTANT WITH THE ACTUAL CONDITIONS THAT EXIST IN THE FIELD.

CALCULATIONS

THE FOLLOWING CALCULATIONS WERE DEVELOPED USING THE CITY OF ALBUQUERQUE DPM SECTION 22.2

SITE CHARACTERISTICS:
SITE LOCATION: ZONE 2
PRECIPITATION: P = 2.35 inches

LAND TREATMENT:
UNCOMPACTED SOIL - TREATMENT A
LANDSCAPE - TREATMENT B
COMPACTED SOIL - TREATMENT C
BUILDINGS & PAVING - TREATMENT D

EXCESS PRECIPITATION:
TREATMENT A E = 0.53 inches
TREATMENT B E = 0.78 inches
TREATMENT C E = 1.13 inches
TREATMENT D E = 2.12 inches

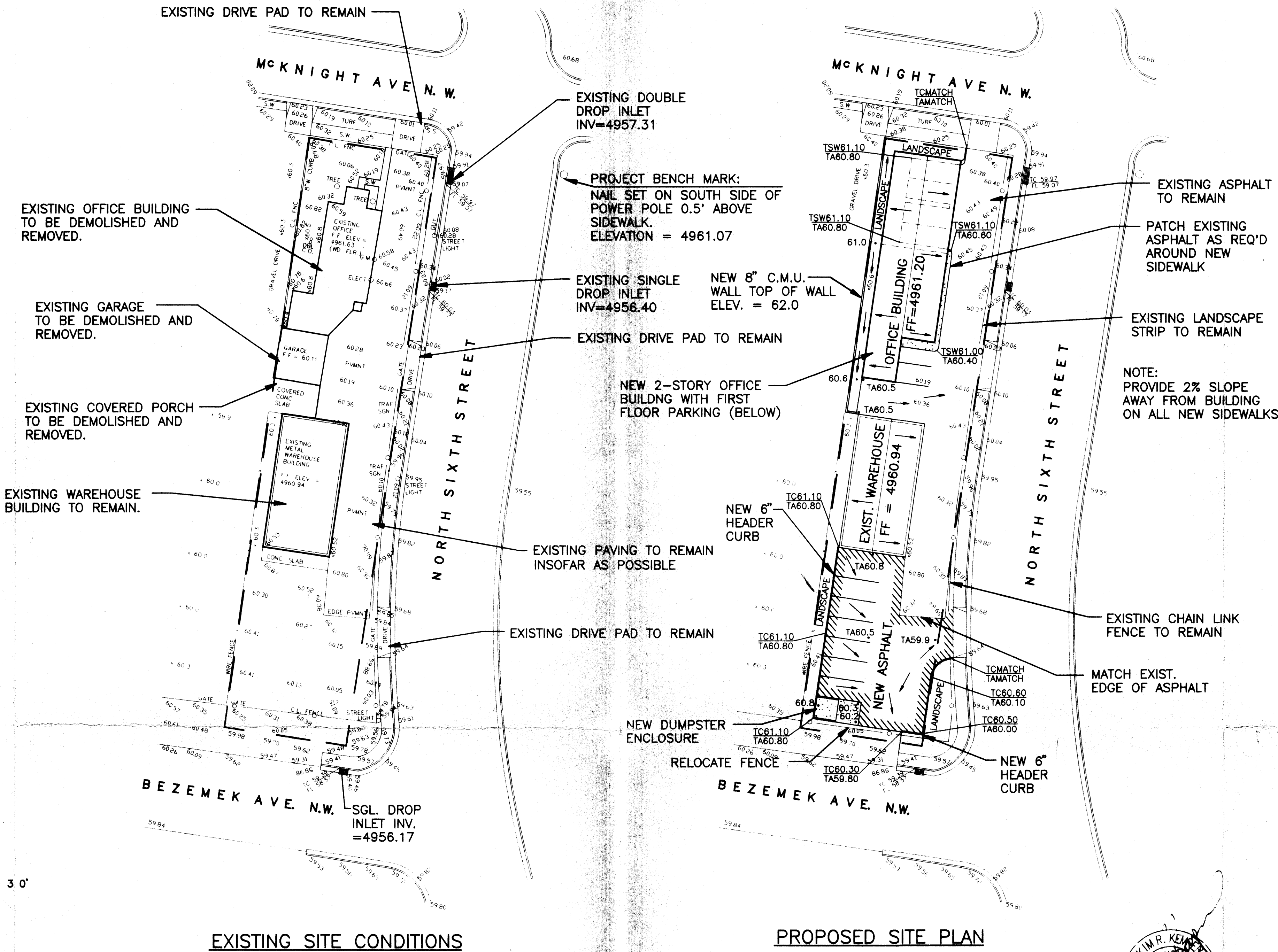
PEAK DISCHARGE:
TREATMENT A = 1.56 cfs/acre
TREATMENT B = 2.28 cfs/acre
TREATMENT C = 3.14 cfs/acre
TREATMENT D = 4.70 cfs/acre

	EXISTING	PROPOSED
TOTAL AREA	= 0.345 AC.	
TREATMENT A	= 0.000 AC. = 0.0%	0.000 AC. = 0.0%
TREATMENT B	= 0.039 AC. = 11.3%	0.050 AC. = 14.5%
TREATMENT C	= 0.095 AC. = 27.5%	0.000 AC. = 0.0%
TREATMENT D	= 0.211 AC. = 61.2%	0.295 AC. = 85.5%

ONSITE - EXCESS PRECIPITATION & VOLUMETRIC RUNOFF:
EXISTING RUNOFF:
WEIGHTED E = [(0.78)(0.039) + (1.13)(0.095) + (2.12)(0.211)]/0.345
= 1.69 inches
V100-6hr = (1.69)(0.345)/12 = 0.049 acre ft = 2,135 cf
DEVELOPED RUNOFF:
WEIGHTED E = [(0.78)(0.050) + (2.12)(0.295)]/0.345
= 1.92 inches
V100-6hr = (1.92)(0.345)/12 = 0.055 acre ft = 2,395 cf

ONSITE - PEAK DISCHARGE:
EXISTING DISCHARGE:
Q100 = (2.28)(0.039) + (3.14)(0.095) + (4.70)(0.211) = 1.38 cfs
DEVELOPED DISCHARGE:
Q100 = (2.28)(0.050) + (4.70)(0.295) = 1.50 cfs

RESULTS:
DEVELOPED VOLUMETRIC RUNOFF:
2,395 - 2,135 = 260 cf INCREASE IN RUNOFF VOLUME
DEVELOPED PEAK DISCHARGE:
1.50 - 1.38 = 0.12 cfs INCREASE IN PEAK DISCHARGE



GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHTS-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY BERNALILLO COUNTY FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

BENCH MARK

CITY OF ALBUQUERQUE CONTROL STATION C-424-NGS BRASS CAP LOCATED AT THE NW QUAD. OF 4th STREET N.W. AND 1-40 WESTBOUND ON THE NORTH FACE OF THE NORTHERMOST BRIDGE PIER. ELEVATION = 4966.899

LEGAL DESCRIPTION

LOT NUMBER ONE (1) IN BLOCK NUMBER TWO (2) OF THE HILL'S ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 29, 1928. AND TRACT B, BEZEMEK ADDITION, AS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 12, 1947.

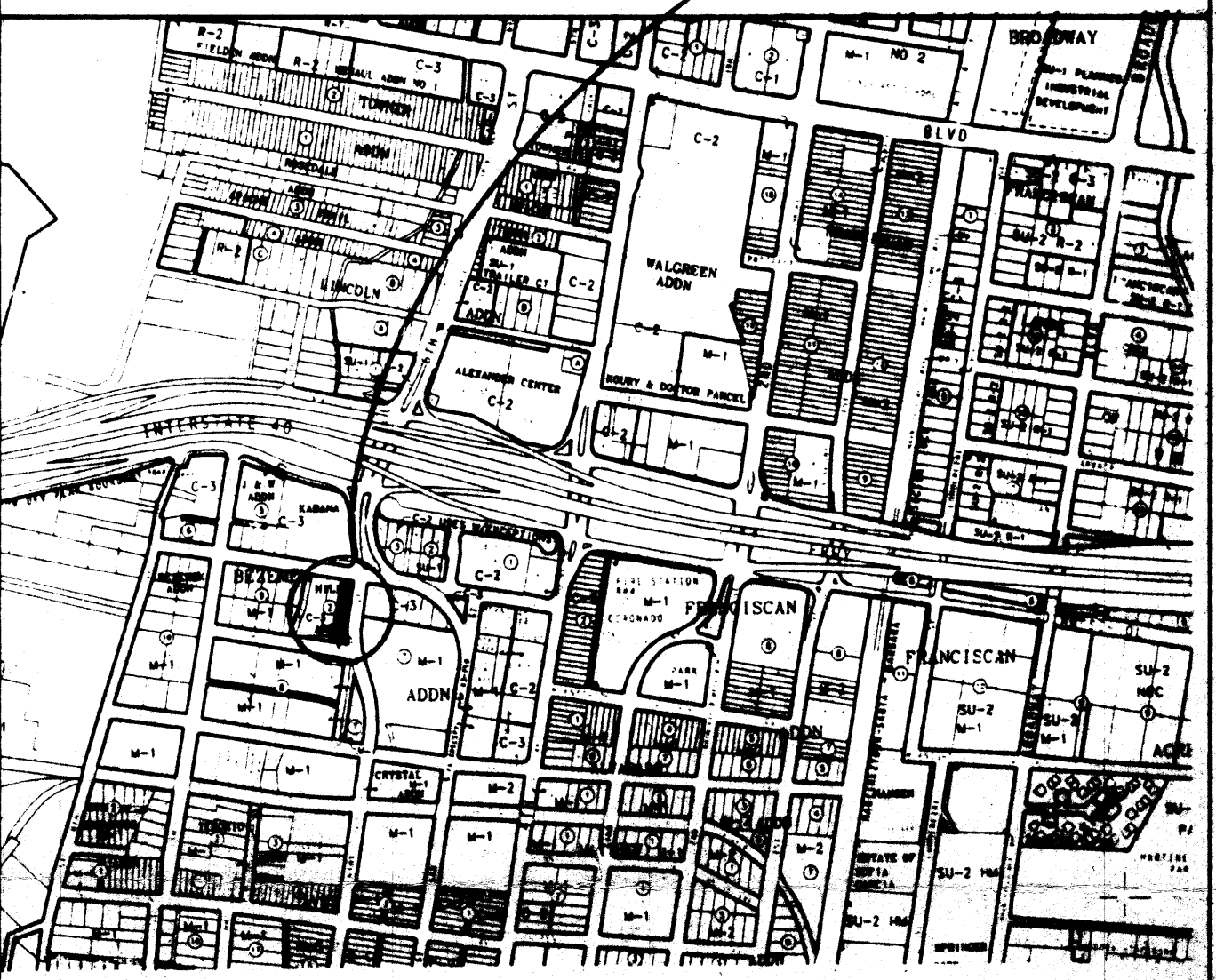
GENERAL LEGEND

PROPOSED SPOT ELEVATION	56.4
FLOWLINE	→
FLOW DIRECTION ARROW	→
PROPOSED CONCRETE	---
TOP OF CURB ELEVATION	TC
TOP OF SIDEWALK ELEVATION	TSW
FLOWLINE ELEVATION	FL
TOP OF ASPHALT	TA
TELEPHONE PED.	PED
WATER METER	WM
CLEAN-OUT	C.O.
GAS METER	GM



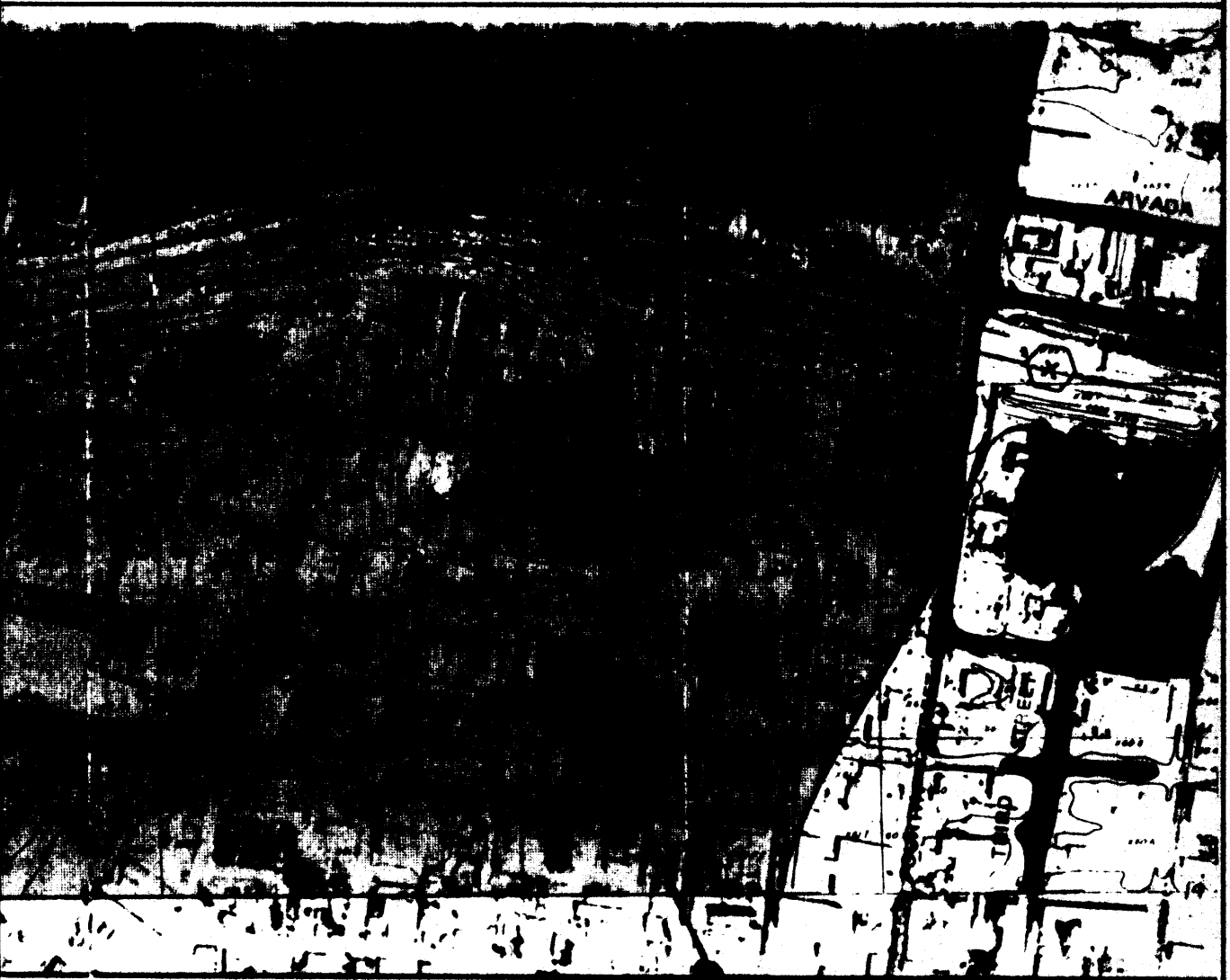
LOCATION MAP

PROJECT LOCATION



ZONE MAP

H-14



FLOOD BOUNDARY MAP

PROJECT LOCATION

ALBUQUERQUE, NEW MEXICO
JUN 23 1995
CHAPARRAL ELECTRIC CO.
GRADING AND DRAINAGE PLAN
SIXTH STREET AND MCKNIGHT AVENUE
KEMPER-VAUGHAN
CONSULTING ENGINEERS
3700 COORS RD. N.W. • ALBUQUERQUE, NEW MEXICO 87120 • (505) 831-4520
Designed KRK Drawn SE Checked KRK Sheet 1 of 1
File CHAPARRAL Date JUNE 1995