

CITY OF ALBUQUERQUE



December 3, 2014

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Noon Day
2500 Second St NW
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 12-5-13 (H14D067)
Certification dated: 11-26-14**

Dear Mr. Soule,

Based on the Certification received 12/1/2014, the site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

C: RR/CC
email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Noon Day Building Permit #: _____ City Drainage #: H14/D067
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: 23A1 Franciscan Addition
City Address: 2500 second street

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Noon Day Contact: _____
Address: 2500 second street1
Phone#: _____ Fax#: _____ E-mail: _____

Architect: Joe Simons Contact: Joe Simons
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS
Address: _____
Phone#: 917.8921 Fax#: _____ E-mail: _____

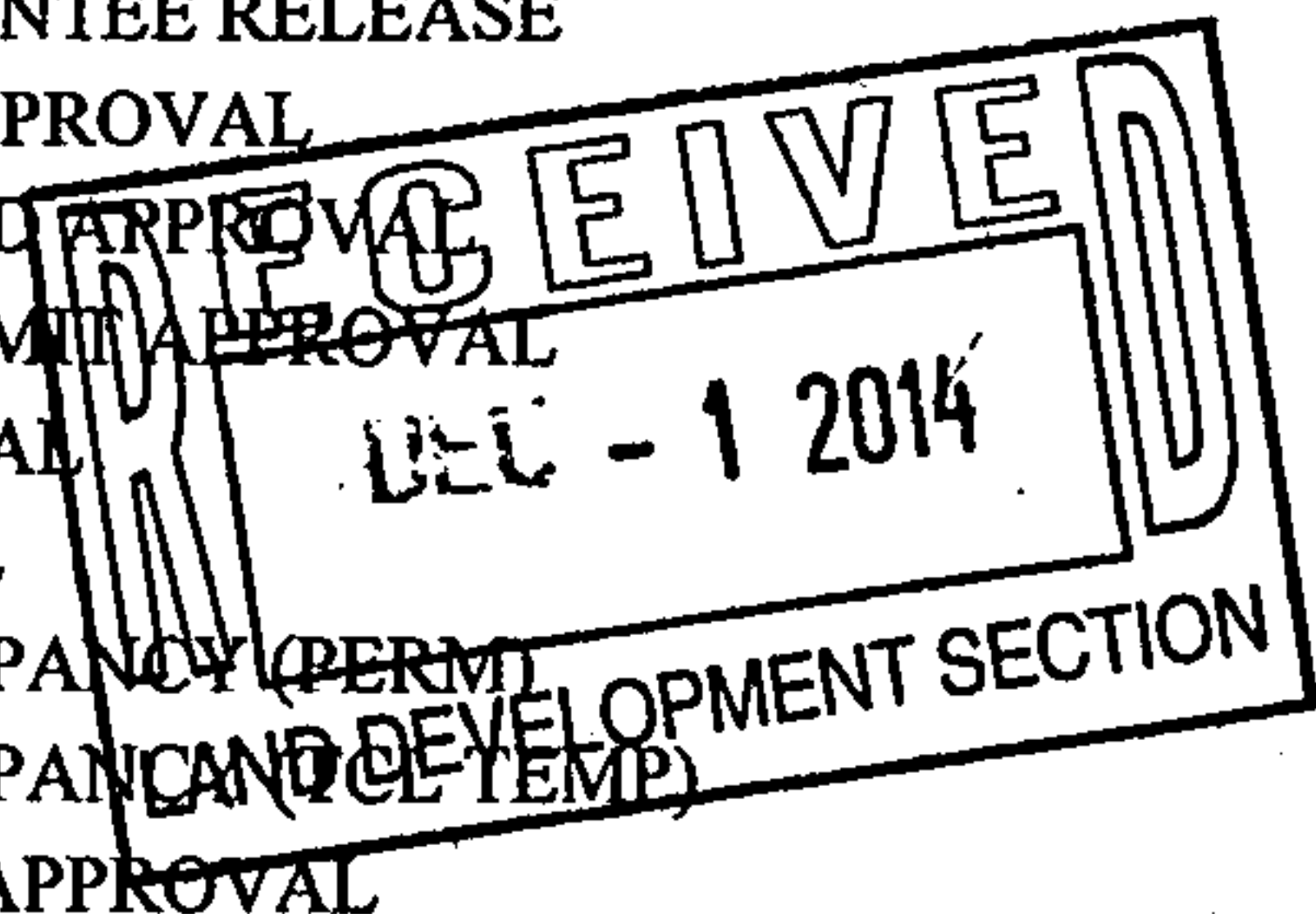
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
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- ☐ OTHER (SPECIFY)

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- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 11/26/14 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

November 26, 2014


Mr. Curtis Cherne, PE
Section head
Hydrology
City of Albuquerque

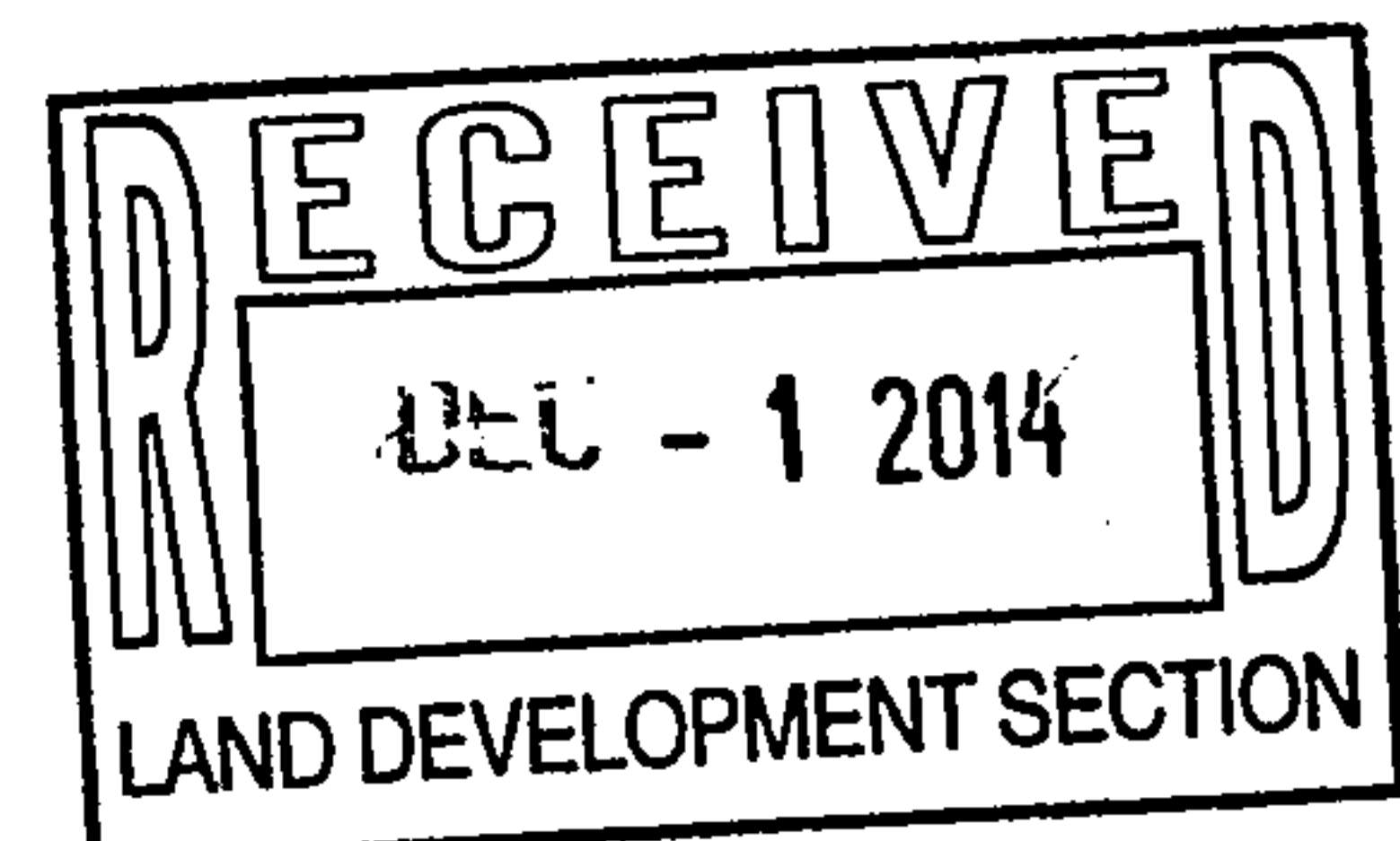
**RE: Grading and Drainage Plan
Noon Day (H14-D067D)**

Dear Mr. Cherne:

The purpose of this letter is to accompany the enclosed calculation to prove the proposed 2' sidewalk culvert that was constructed as a 16" culvert has the capacity to convey the contributing flow. Should you have any questions regarding this re-submittal, please do not hesitate to call me.

Sincerely,


David Soule, PE
Rio Grande Engineering
505.321.9099



Sidewalk culvert

Weir Equation:

$$Q = CLH^{3/2}$$

$Q = 1.85(\text{basin a}) \& 0.65(\text{basin b})$

$C = 2.95$

$H = 0.5 \text{ ft}$

$L = \text{Length of weir}$

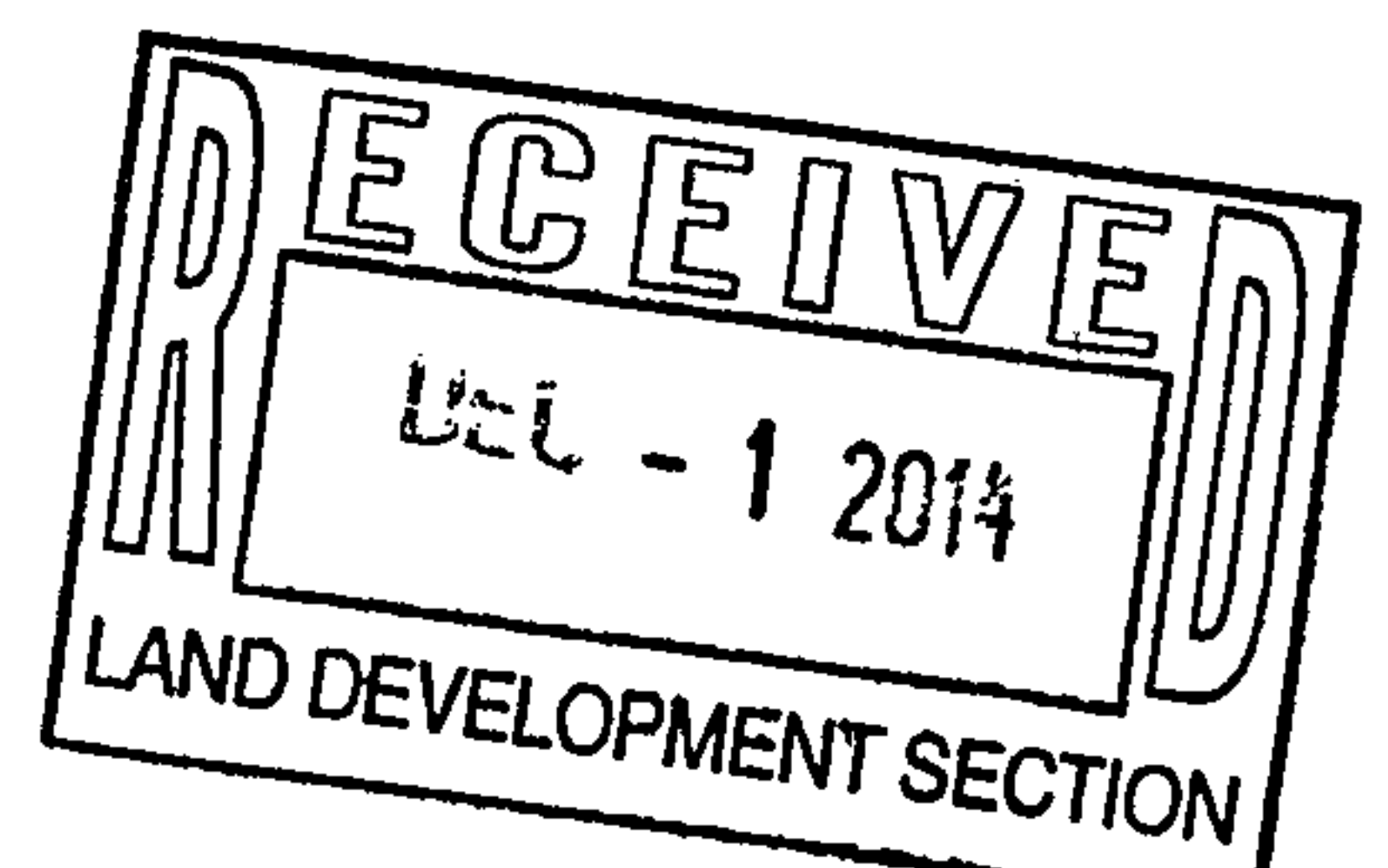
$$Q = 2.95 \times 1.5 \times 0.67^{1.5} = 2.42$$

there are two culverts so

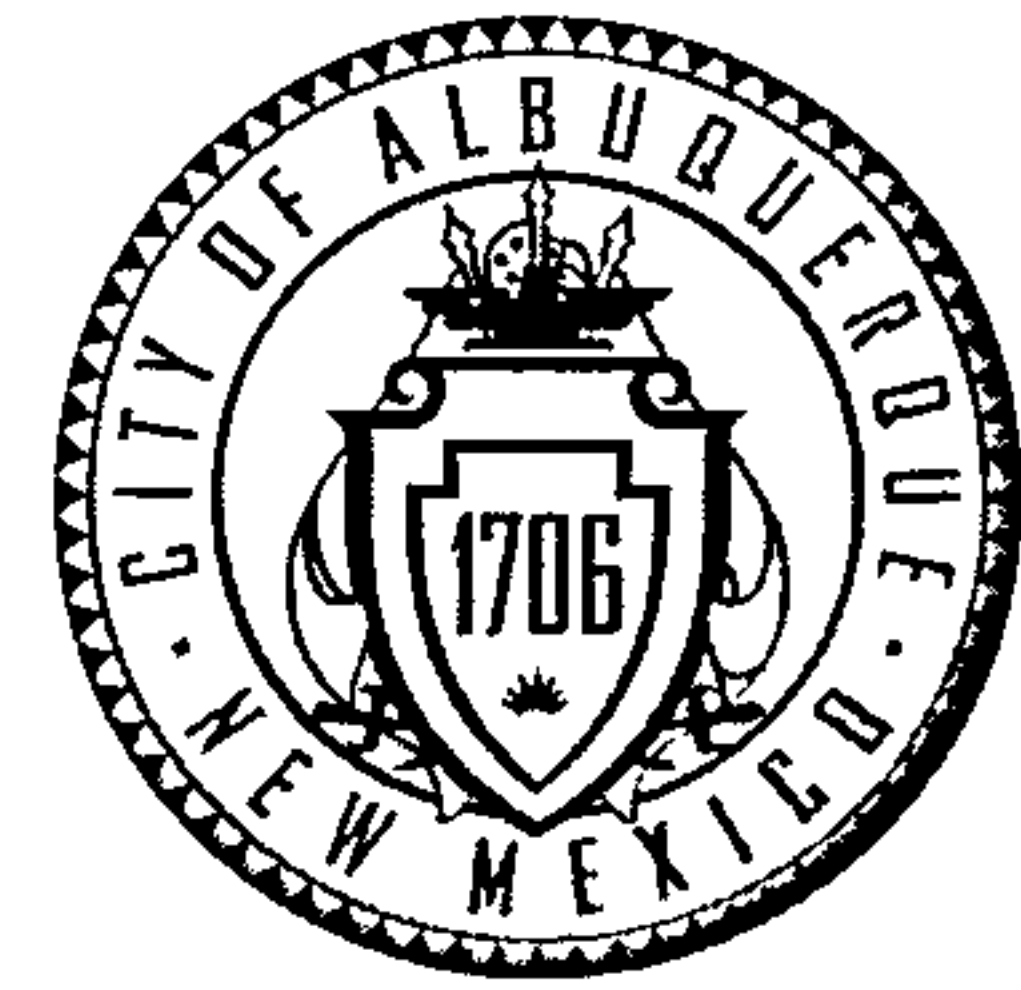
$Q_{\text{allowable}} = 4.84 \text{ cfs} > Q_{\text{required}} = 1.85$



11/29/14



CITY OF ALBUQUERQUE



14
November, 2014

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Noon Day, 2500 2nd St**
Grading and Drainage Plan
Engineers Stamp Date 12/05/13 (H14-D067)
Engineer's Certification Date 11/4/2014

Dear Mr. Soule,

Based on the Certification received 11/12/2014, the site is acceptable for a TEMPORARY 30-day Certificate of Occupancy by Hydrology.

Prior to permanent C.O., the following conditions must be met or repaired:

PO Box 1293

Albuquerque

New Mexico 87103

- provide calculations showing that the as-built width of the north sidewalk culverts is sufficient for drainage. It is built 17" wide but G&D calls for a 24" wide.
- On the north culvert, there is no expansion on both ends. Give room to have the 6" space for expansion on both ends. There is also no bar on street end of plate.
- The south culvert has a cracked center with missing concrete at face creating a tripping hazard. Recommendation is to remove south culvert, saw cut at cold joint ramp end.
- There is a cracked north side curb at cold joint through the back of curb, epoxy over bolts

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file

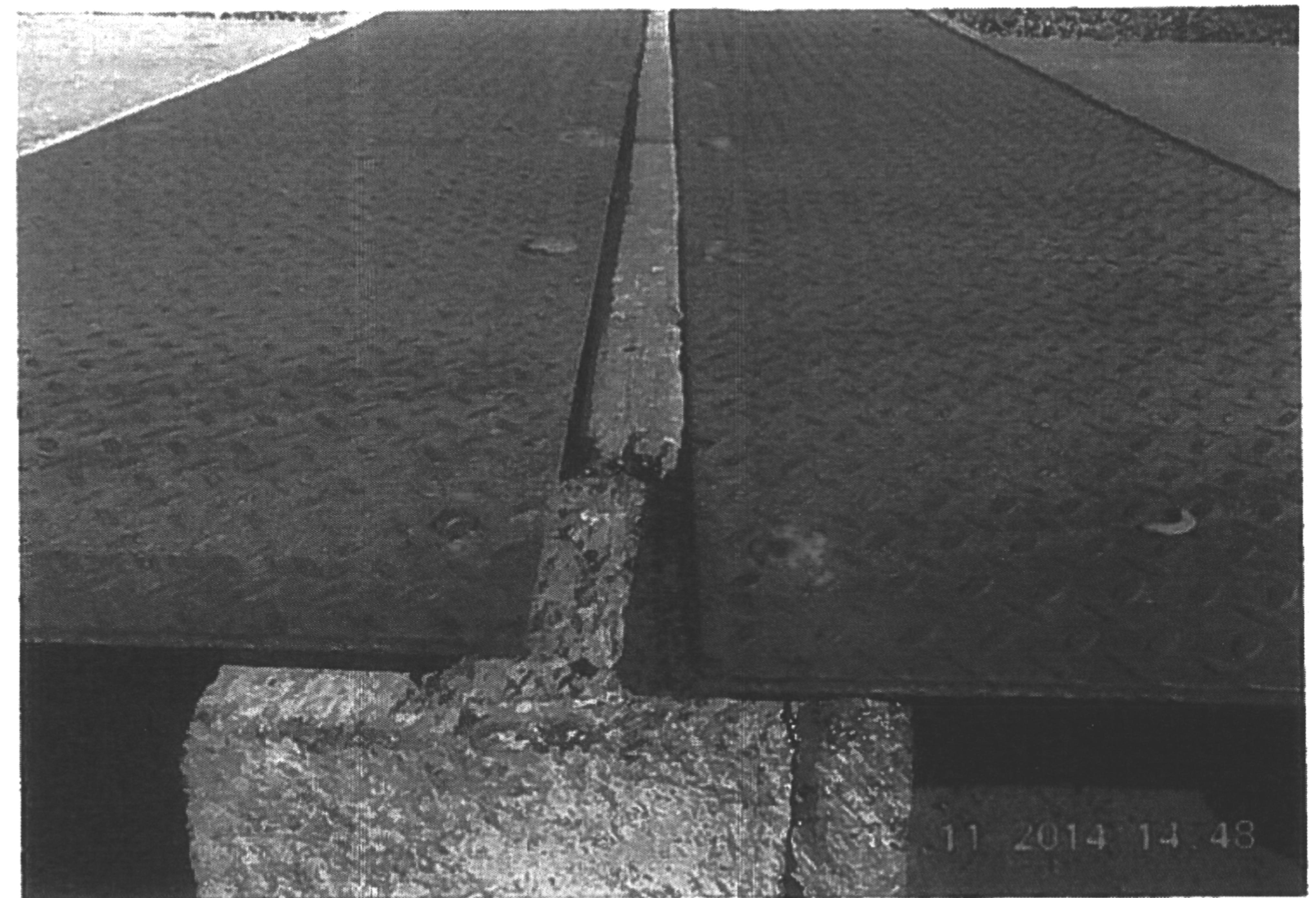
c.pdf: via Email: recipient, CO Clerks—Katrina Sigala, Francis Connor, Carol Quintana

North Culvert
↓



North culvert plates 2 feet with 17 inch openings plan calls for two 24 inch. Plate is welded but there is no expansion on both ends the plate is painted no other deficiencies

South culvert is a no pass cracked center with missing concrete at face tripping hazard. Cracked north side curb at cold joint through back of curb, epoxy over bolts. And no bar on street end of plate, openings are 17 inches. Recommendation is to remove south culvert saw cut at cold joint ramp end. North to give room to have the 6 inch space to expansion at both ends



↖ South Culvert ↗



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Slack Cabut
Issues

Jason R to
Five e-mail

Project Title: Noon Day Building Permit #: _____ City Drainage #: H14/D067
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: 23A1 Franciscan Addition
City Address: 2500 second street

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Noon Day Contact: _____
Address: 2500 second street1
Phone#: _____ Fax#: _____ E-mail: _____

Architect: Joe Simons Contact: Joe Simons
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS
Address: _____
Phone#: 917.8921 Fax#: _____ E-mail: _____

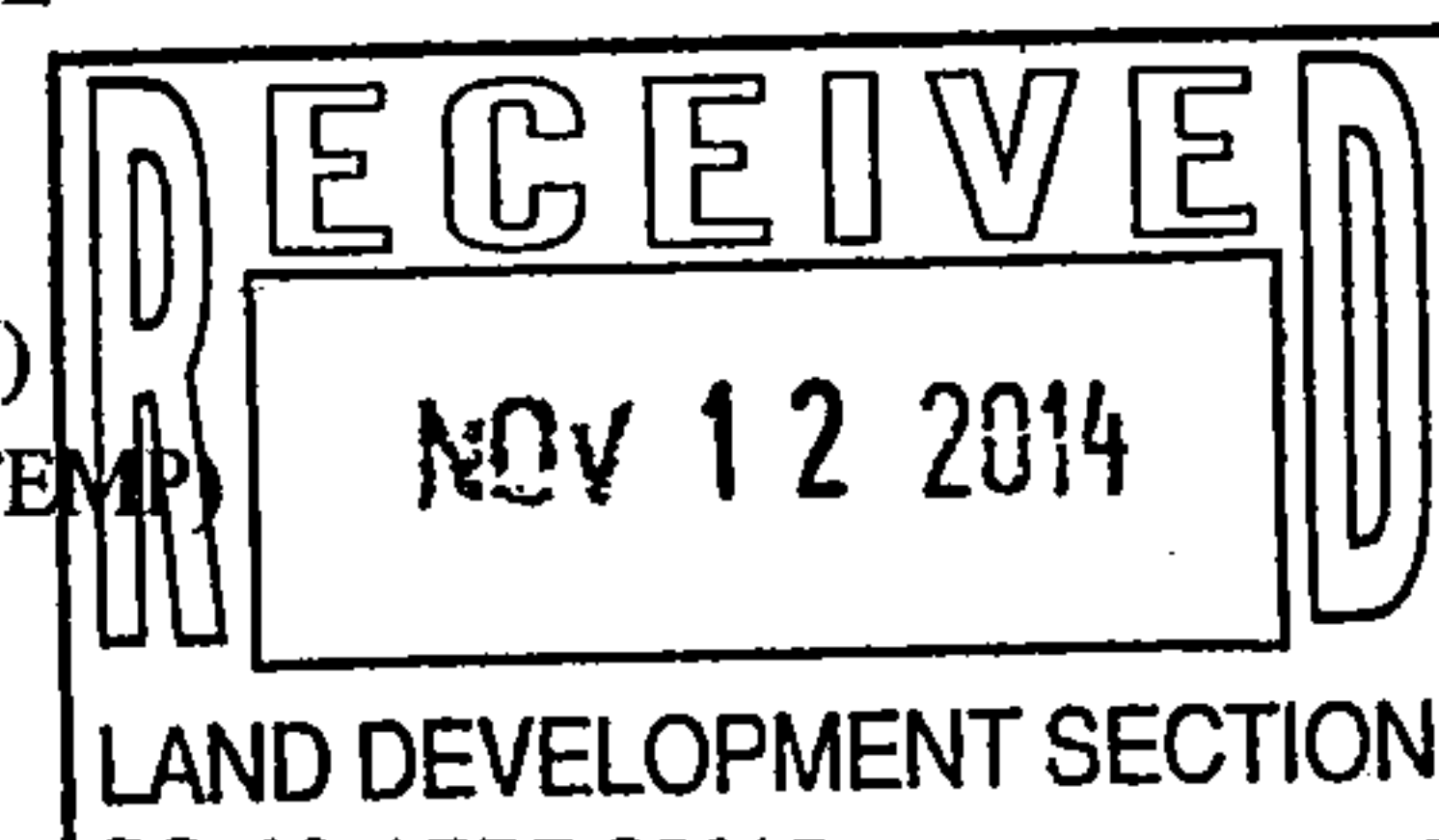
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

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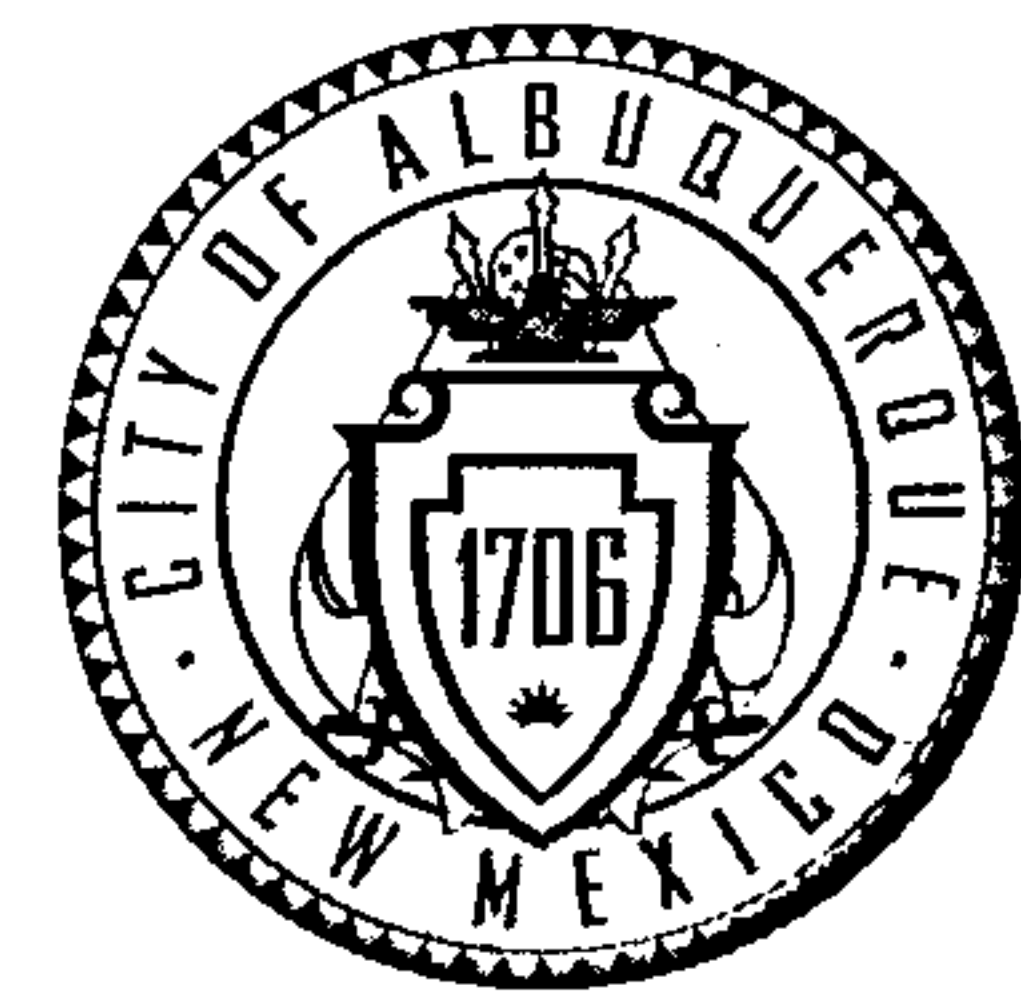
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 11/12/14 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

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CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

November 14, 2014

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

**Re: Noon Day Church, 2400 2nd St.
Certificate of Occupancy – Transportation Development**
Engineer's Stamp dated 11-14-13 (H14-D067)
Certification dated 11-12-14

Dear Mr. Soule,

Based upon the information provided in your submittal received 11-12-14, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Noon Day Building Permit #: _____ City Drainage #: H14/D067

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: 23A1 Franciscan Addition

City Address: 2500 second street

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Noon Day Contact: _____

Address: 2500 second street1

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Joe Simons Contact: Joe Simons

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS

Address: _____

Phone#: 917.8921 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

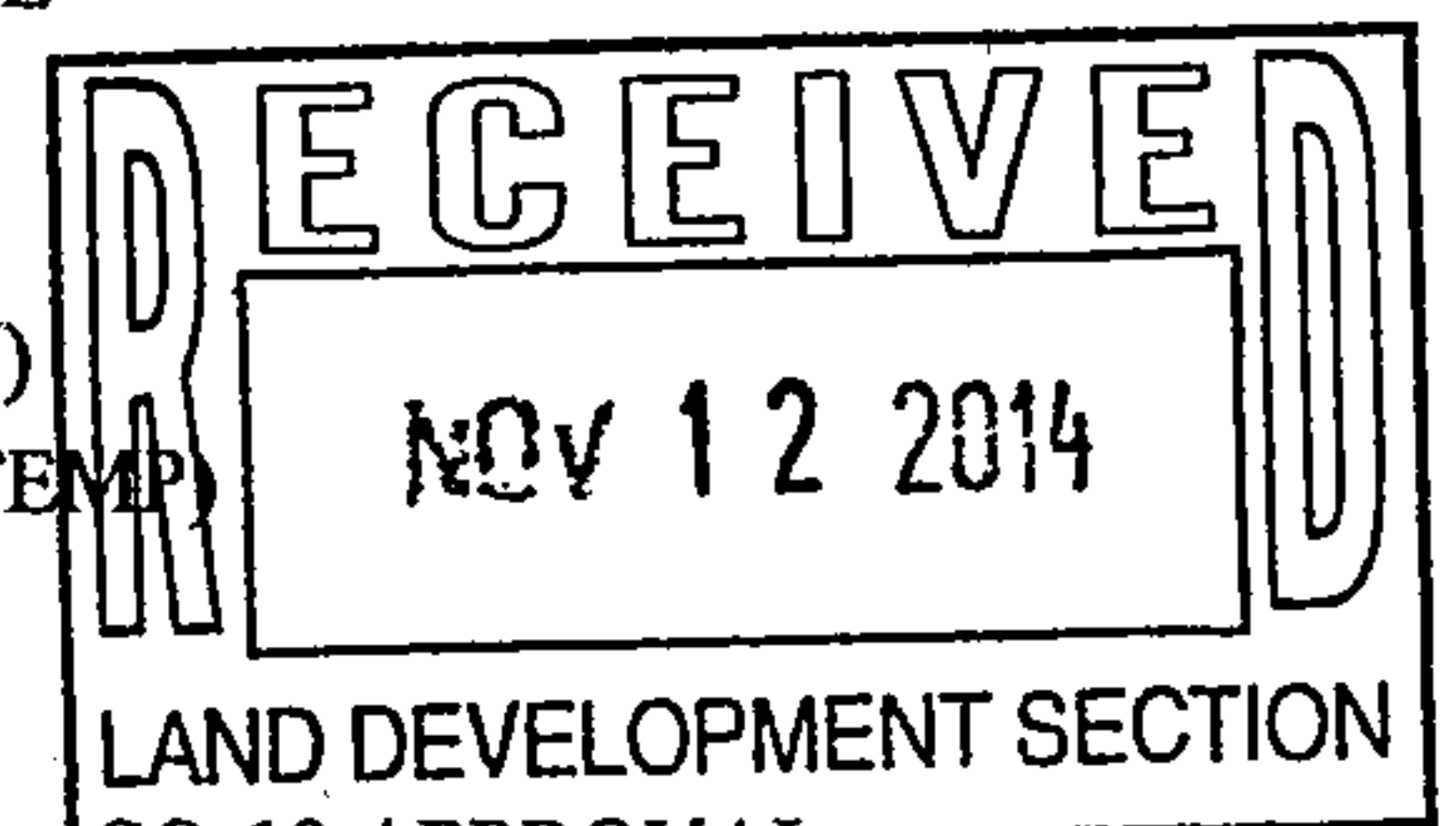
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TYPE OF SUBMITTAL:

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- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
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- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 11/12/14 By: _____

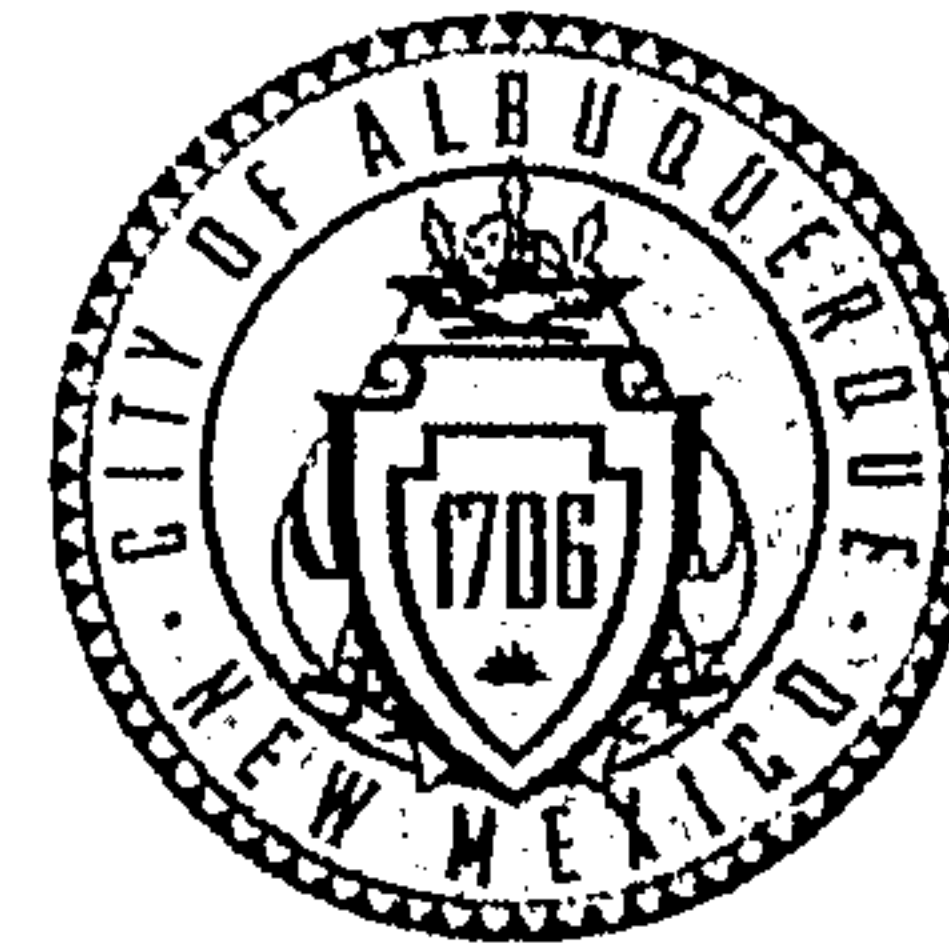
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I was here
& mole changes
Please let me
know if you
are on with this.

David

CITY OF ALBUQUERQUE



January 10, 2014

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Noon Day, 2500 2nd St**
Grading and Drainage Plan
Engineers Stamp Date 12/05/13 (H14-D067)

Dear Mr. Soule,

Based upon the information provided in your submittal received 12/05/13, the above referenced Grading and Drainage Plan is approved for Grading Permit, Paving Permits and Building Permit. The grading and drainage plan submitted with the redlined sidewalk culvert will be the plan used for Co and building permit approval.

Please attach a copy of this approved plan to each of the Building Permit sets, prior to seeking approval by Hydrology section. An Erosion and Sediment Control Plan must be submitted and approved before approval by the hydrology department.

Prior to Certificate of Occupancy release, an Engineer Certification of the as-constructed, Grading and Drainage Plan will be required, per the DPM checklist.

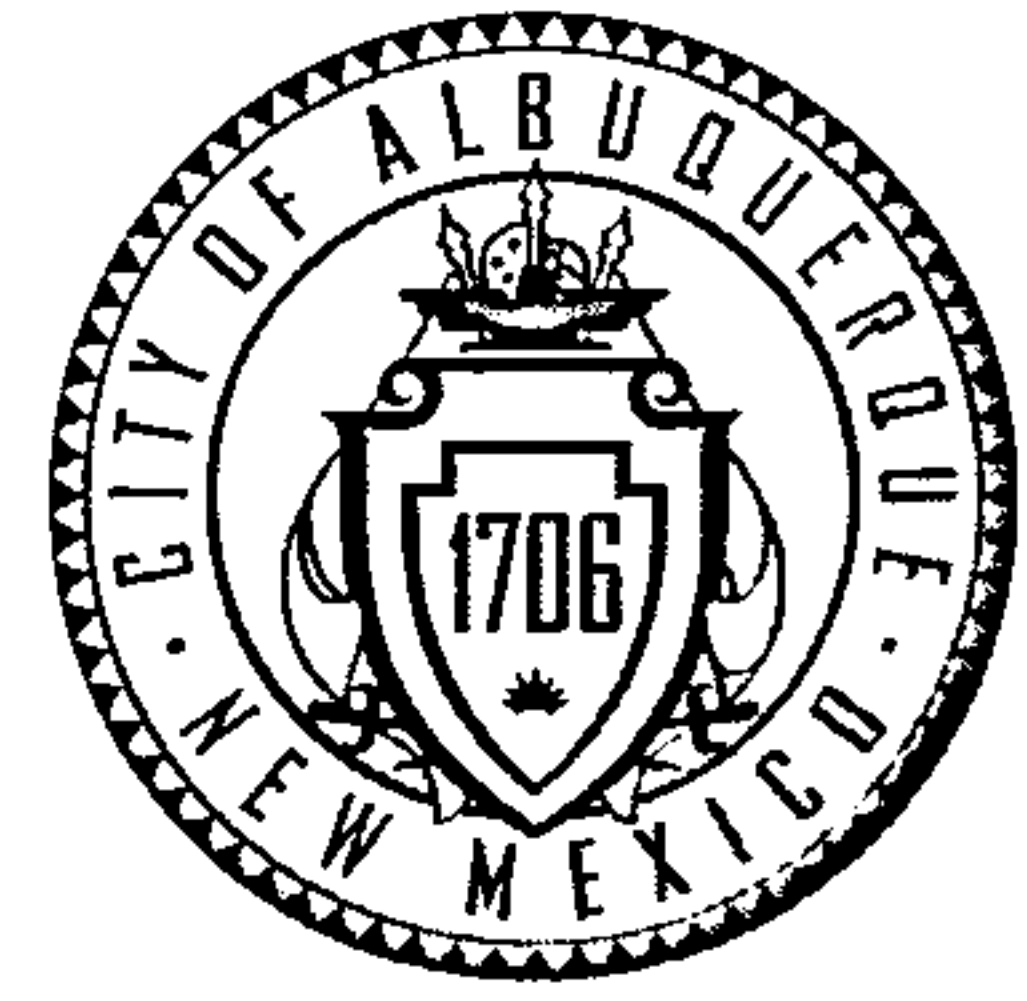
If you have any questions, please contact me at 924-3994 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
Principal Engineer, Planning Department
Development and Review Services

RR/SB
C: File

CITY OF ALBUQUERQUE



December 3, 2013

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Re: Noon Day 2500 2nd St NW
Grading and Drainage Plan
Engineer's Stamp Date 10/31/13 (H14/D067)

Dear Mr. Soule,

Based upon the information provided in your submittal received 10-31-13, the above referenced plan cannot be accepted for Grading Permit and Building Permit until the following comments are addressed.

- Extend the sidewalk culvert plates two (2) feet passed the property line.
- Provide calculations.
- Water blocks are needed at the driveways.
- Provide spot elevations along the property lines.

PO Box 1293

Albuquerque

New Mexico 87103

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more and an Erosion and Sediment Control plan.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

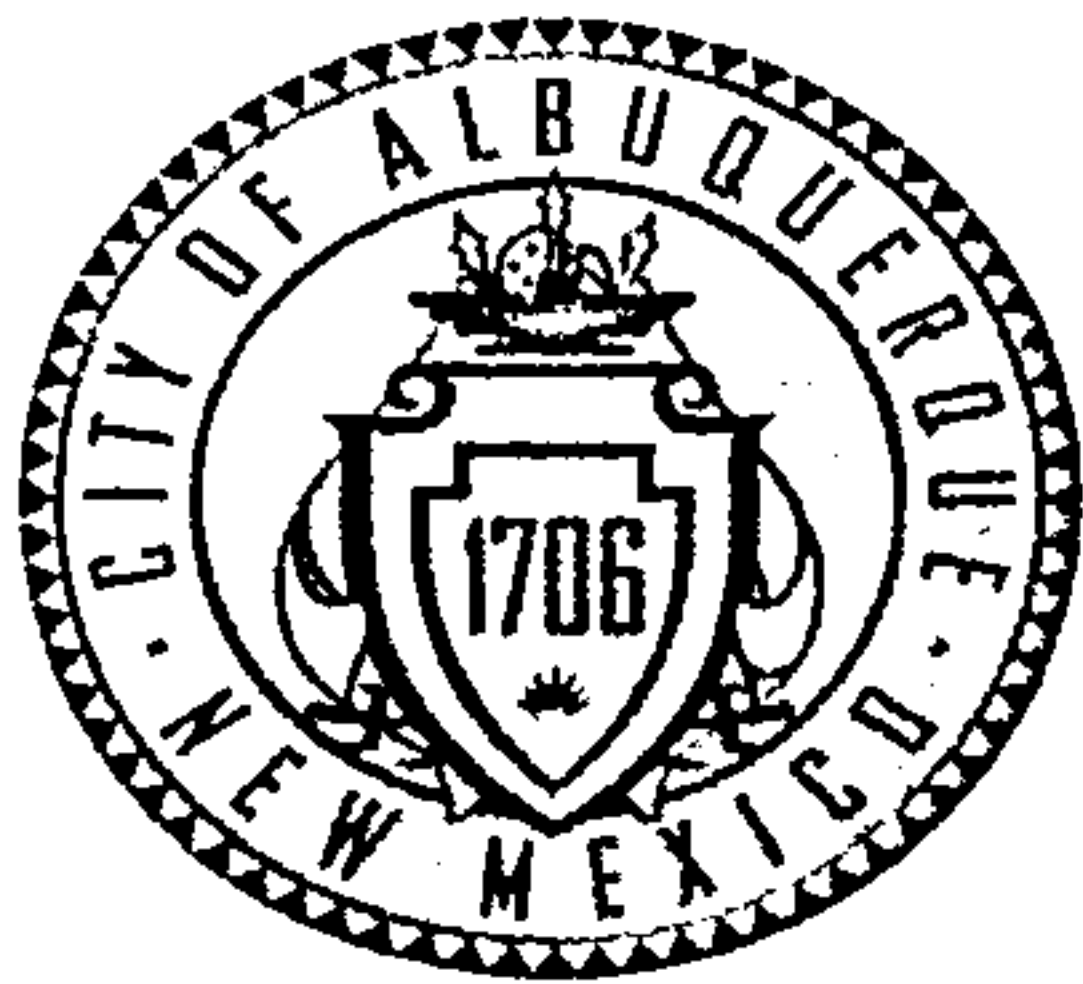
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www.cabq.gov

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: RR/SB
File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Noon Day Building Permit #: _____ City Drainage #: 1140067
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: 23A1 Franciscan Addition
City Address: 2500 second street

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Noon Day Contact: _____
Address: 2500 second street1
Phone#: _____ Fax#: _____ E-mail: _____

Architect: Joe Simons Contact: Joe Simons
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Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS
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DATE SUBMITTED: 10/31/13 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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DRAINAGE REPORT

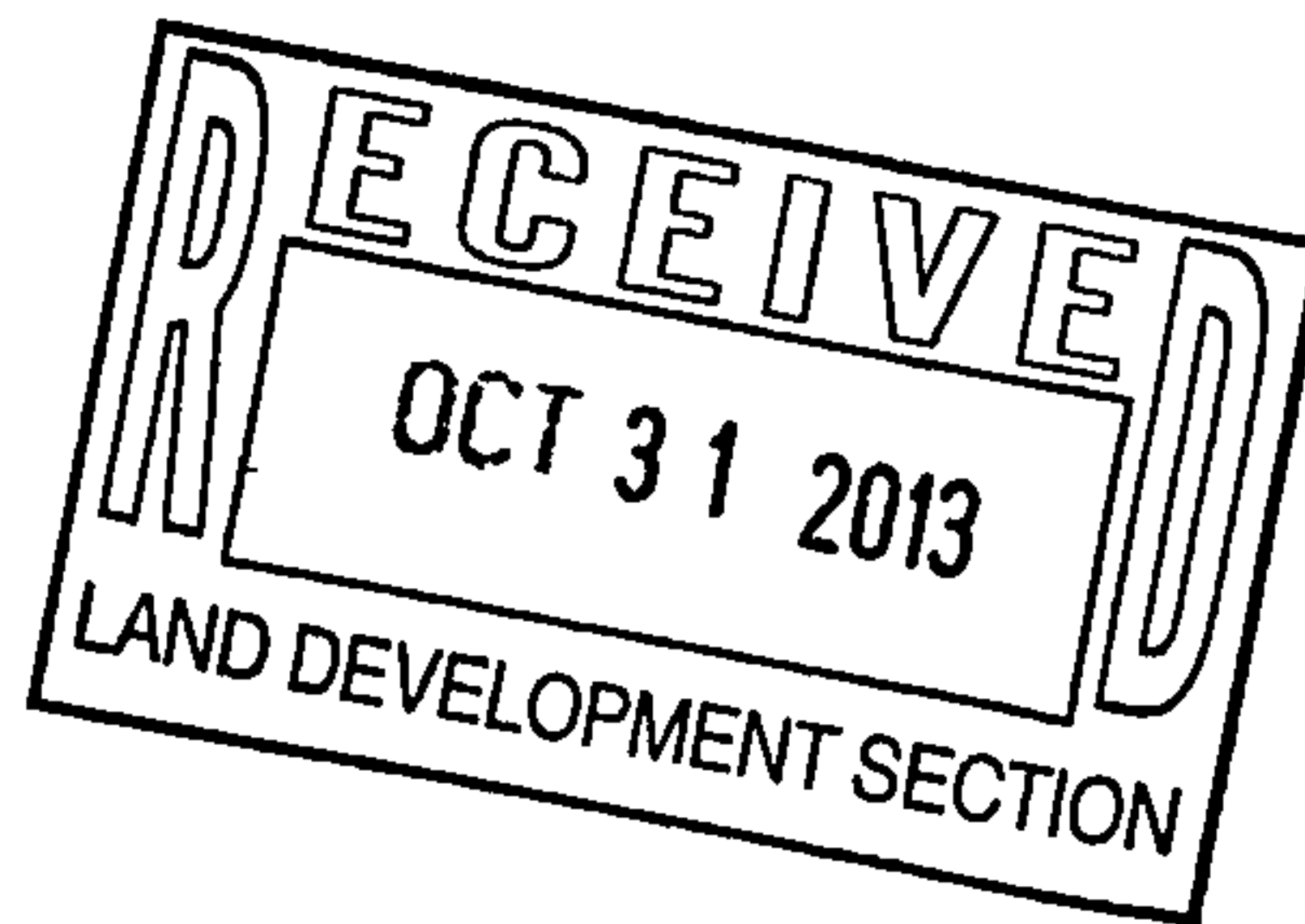
For

NOONDAY
Tract 23-A-1
Franciscan Additoin
2500 Second Street NW
Albuquerque, New Mexico

Prepared by

Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

October 2013



David Soule P.E. No. 14522

TABLE OF CONTENTS

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Appendix

Site Hydrology A

Map Pocket

Site Grading and Drainage Plan

PURPOSE

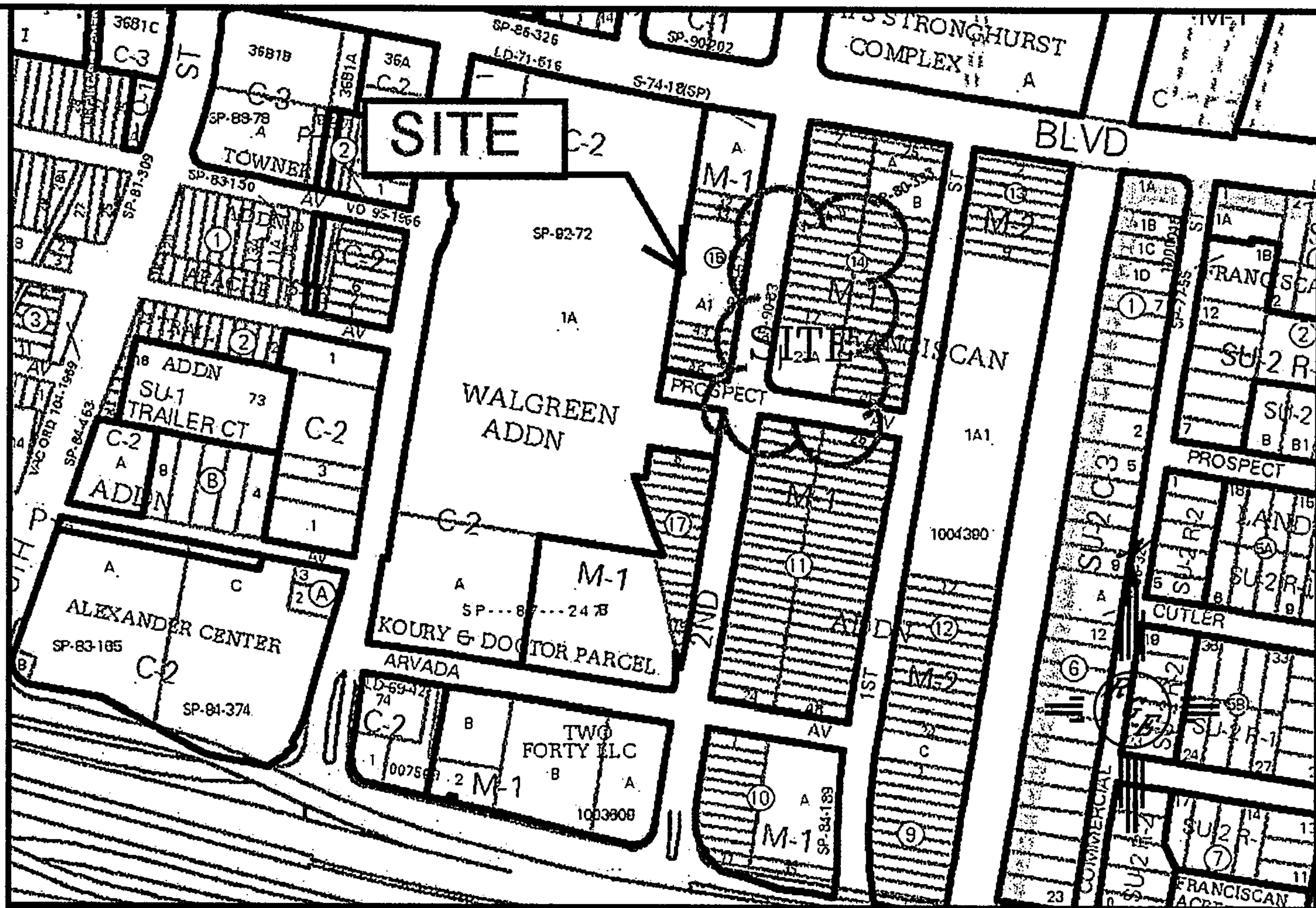
The purpose of this report is to provide the Drainage Management Plan for the redevelopment of a developed lot located at 2500 Second Street northwest. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

The subject of this report, as shown on the Exhibit A, is a 1.012-acre parcel of land located on the north east corner of Second Street and Prospect Ave NW. The legal description of this site is Tract 23-A-1, Franciscan Addition. As shown on FIRM map 35013C0332G, the entire site is located within Flood Zone X.

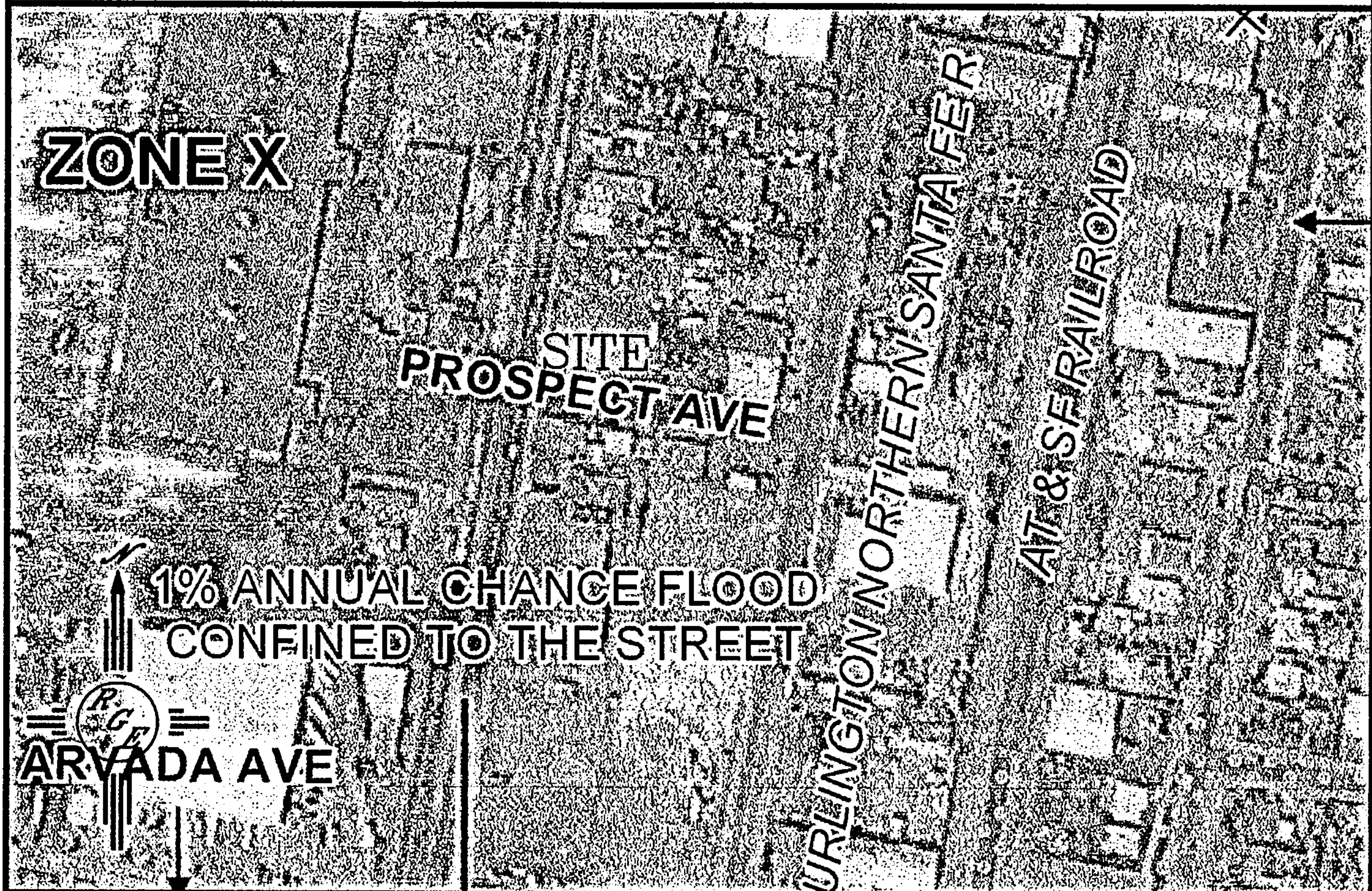
EXISTING CONDITIONS

The site is currently developed as a paved car lot. The site currently discharges 4.36 cfs directly to the adjacent right-of-way. This flow is captured by an inlet located at the intersection of Second and prospect.



VICINITY MAP:

H-14-Z



FIRM MAP:

EXHIBIT A

35001C0332G

PROPOSED CONDITIONS

The proposed improvements consist of approximately 14,500 square feet multi use facility and parking areas. As shown in appendix A, the site will consist of 5 drainage basins. Basins A contains the southeast portion of the roof and the majority of the south parking lot, it discharges 1.85 cfs via a sidewalk culver to Second street, This basin has a 482 cubic foot water shallow harvest pond that fills the landscape area and spills out the sidewalk culvert. Basin B contains the southwest portion of the roof and a portion of the parking lot. This basin fills a 122 cubic foot harvest pond and overflows to a sidewalk culvert to Second Street. Basin C contains the north half of the roof and the north parking area. This basin free discharges 1.48 cfs directly out the driveway to Second Street. Basin D contains a small portion of the south parking area which discharges .23 cfs to Prospect via the driveway. Basin E contains a small yard area; it is depressed to such that it will hold most of the water that falls upon it. This area will overflow to basin c via a two foot curb cut. A fence along the eastern boundary allows for some cross lot drainage, the flow path thru basin E and the landscape are behind the curb allows for some of the minor cross lot drainage to freely enter the site. The site is a redevelopment of an existing site and the surrounding infrastructure is functioning.

SUMMARY AND RECOMMENDATIONS

This project is a redevelopment of a currently developed site. The site is within a fully developed area. The site is not directly contributing to any adjacent flood plains. The site development will allow for a reduced discharge rate from existing and will harvest the first .44 inches of rain entering the site. The site discharge characteristics will be improved from the existing conditions. Since the effected area site encompasses an area greater than 1 acre, a NPDES permit should be required prior to any construction activity. An Erosion Control Plan will also be required.

APPENDIX A **SITE HYDROLOGY**

Weighted E Method

											100-Year, 6-hr.		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
EXISTING	44097.00	1.012	0%	0	0%	0.000	25%	0.25308	75%	0.759	1.873	0.158	4.36
PROPOSED A	17950.00	0.412	0%	0	0%	0.000	13%	0.05357	87%	0.359	1.991	0.068	1.85
PROPOSED B	6592.00	0.151	0%	0	8%	0.012	15%	0.0227	77%	0.117	1.864	0.024	0.65
PROPOSED C	14605.00	0.335	0%	0	4%	0.013	12%	0.04023	84%	0.282	1.948	0.054	1.48
PROPOSED D	2282.00	0.052	0%	0	10%	0.005	5%	0.00262	85%	0.045	1.937	0.008	0.23
PROPOSED E	2668.00	0.061	0%	0	80%	0.049	10%	0.00612	10%	0.006	0.949	0.005	0.16
TOTAL PROPOSED	44097.00	1.012				0.080		0.125		0.807			4.37

Roof drain basin	10248.00	0.235	0%	0	0%	0.000	0%	0	100%	0.235	2.120	0.042	1.11
------------------	----------	-------	----	---	----	-------	----	---	------	-------	-------	-------	------

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm

Ea= 0.53	Qa= 1.56
Eb= 0.78	Qb= 2.28
Ec= 1.13	Qc= 3.14
Ed= 2.12	Qd= 4.7

FLOW RATE LEAVING SITE		WATER HARVEST	
PROSPECT DRIVEWAY	0.23 CFS	1/4 INCH PER FOOT	919 cubic feet
SOUTH CULVERT	1.85 CFS	PROVIDED	964 cubic feet
MIDDLE CULVERT	0.65 CFS		
SECOND STREET DRIVEWAY	1.64 CFS		

Sidewalk culvert

Weir Equation:

$$Q = CLH^{3/2}$$

$$Q = 1.85 \text{ \& } 1.48$$

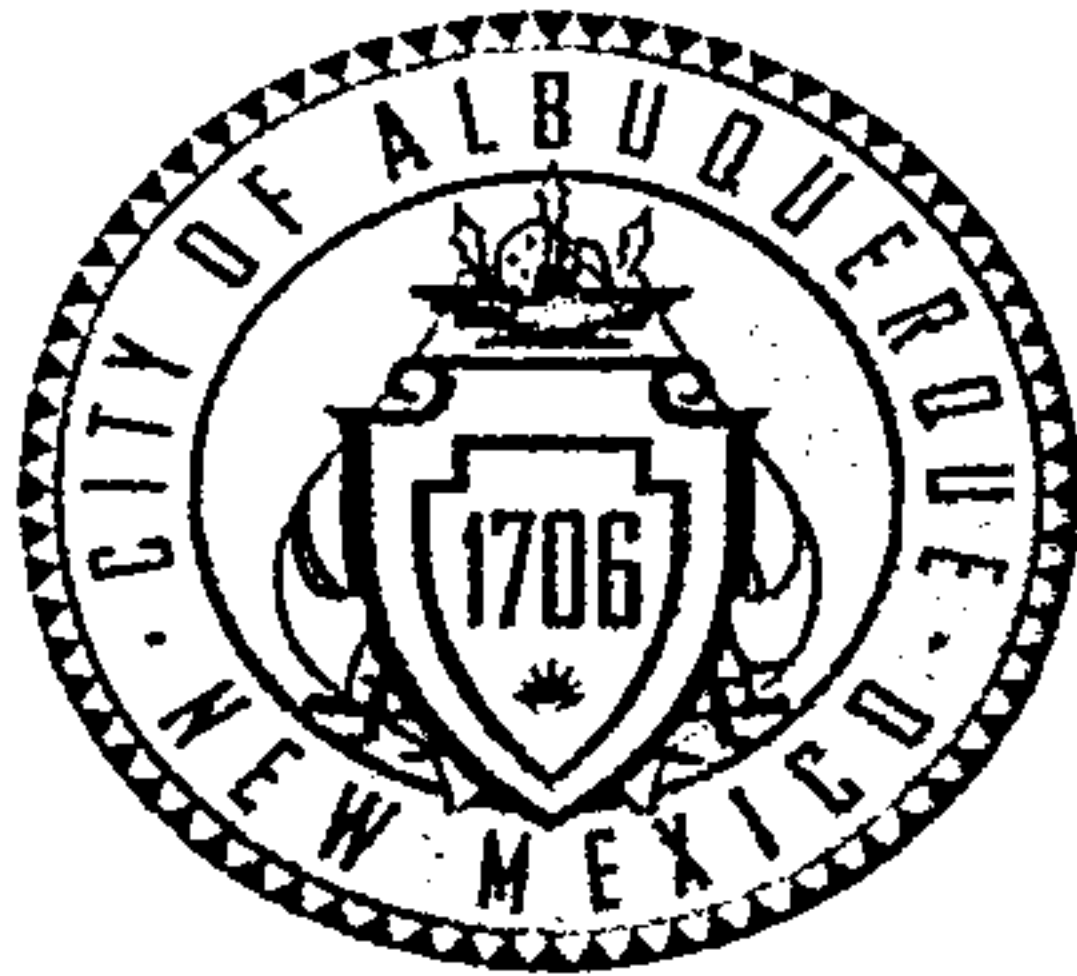
$$C = 2.95$$

$$H = 0.5 \text{ ft}$$

L = Length of weir

$$Q = 2.95 \times 2 \times 0.67^{1.5}$$

$$Q_{\text{allowable}} = 3.26 \text{ ft} > Q_{\text{required}} = 1.85$$



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Noon Day Building Permit #: _____ City Drainage #: H14D067

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: 23A1 Franciscan Addition

City Address: 2500 second street

Engineering Firm: RIO GRANDE ENGINEERING

Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099

Fax#: 505.872.0999

E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Noon Day

Contact: _____

Address: 2500 second street1

Phone#: _____

Fax#: _____

E-mail: _____

Architect: Joe Simons

Contact: Joe Simons

Address: _____

Phone#: _____

Fax#: _____

E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES

Contact: JOHN GALLEGOS

Address: _____

Phone#: 917.8921

Fax#: _____

E-mail: _____

Contractor: _____

Contact: _____

Address: _____

Phone#: _____

Fax#: _____

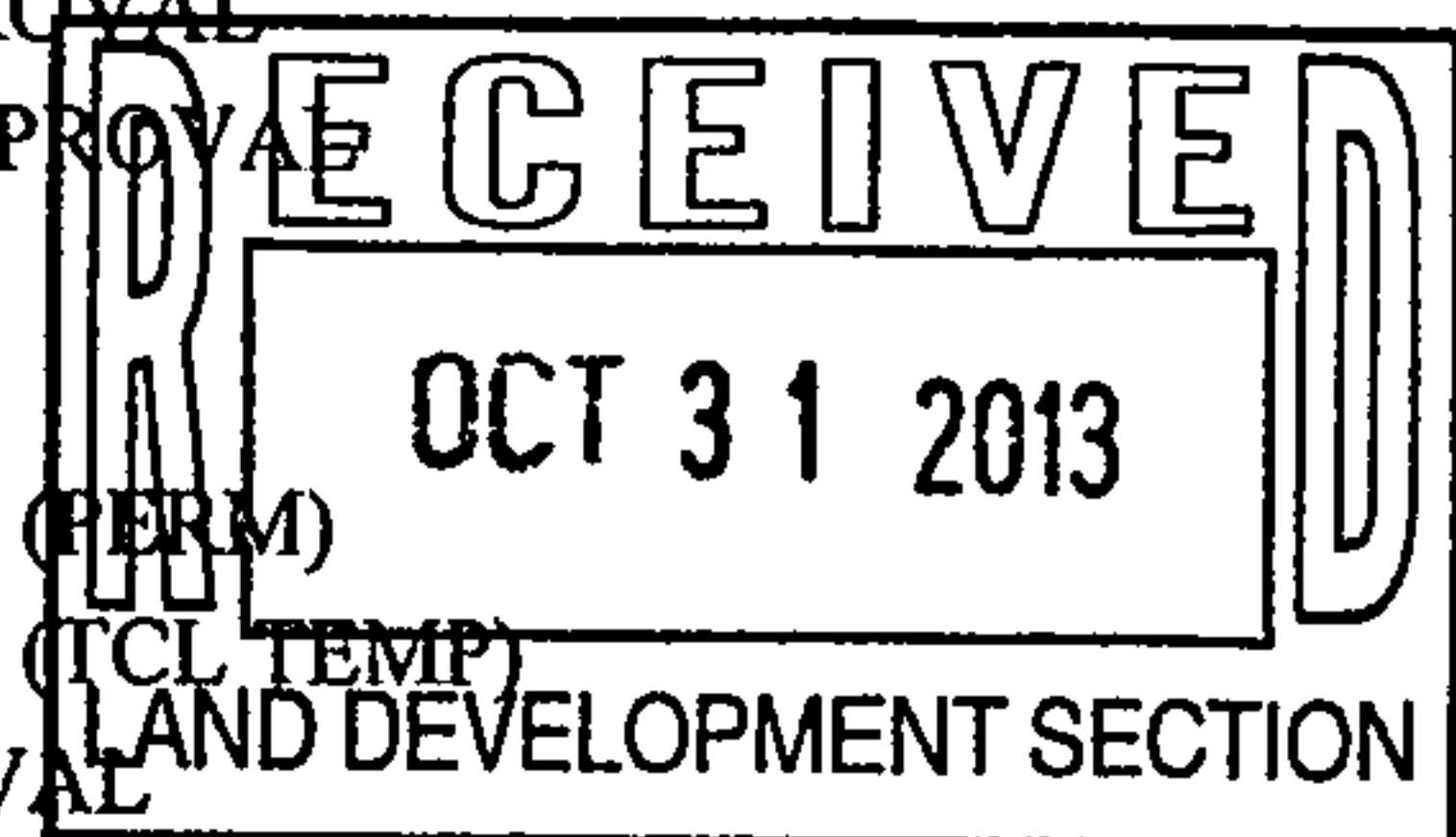
E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 10/31/13

By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Verbally Rejected
Met w/ David Soule 4^{PM} 11/1/13
He Took TCL Mark-ups. CKB

CITY OF ALBUQUERQUE



August 23, 2011

Genevieve L. Donart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Noon Day Ministries
Grading and Drainage Plan
Engineer's Stamp dated 8-11-11 (H14/D067)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 8-17-11, the above referenced plan is approved for Grading Permit, Building Permit and Work Order. This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Curtis Cherne, P.E., CFM.
Principal Engineer, Planning Dept.
Development and Building Services

RER/CAC
C: Kathy Verhage, DMD
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Noon Day Ministries ZONE MAP/DRG.FILE# H-14/D067
DRB#: _____ EPC#: _____ WORK ORDER#: 783982

LEGAL DESCRIPTION: _____
CITY ADDRESS: 2400 2nd St NW

ENGINEERING FIRM: ISAACSON AND ARFMAN CONTACT: Genny Donart
ADDRESS: 128 MONROE N.E. PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: Noon Day Ministries CONTACT: _____
ADDRESS: 101 Broadway NE PHONE: 246-8001
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

ARCHITECT: Dekker/Perich/Sabatini CONTACT: Tim Veltkamp
ADDRESS: 7601 Jefferson NE, Ste 100 PHONE: 761-9700
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYOR: Aldrich land Surveying CONTACT: Tim Aldrich
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

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☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☒ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

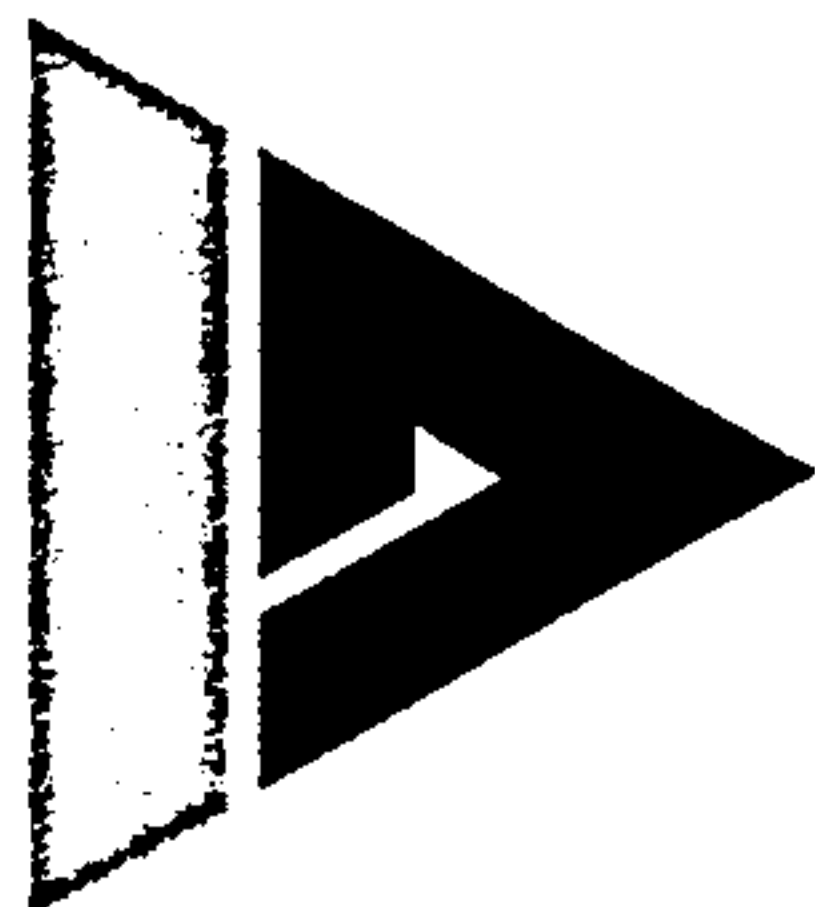
- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Genevieve Donart
Isaacson & Arfman, P.A.

DATE: 8/11/11

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



August 11, 2011

Mr. Curtis Cherne, P.E., CFM.
Principal Engineer, Planning Dept.
City of Albuquerque
600 2nd St NE
Albuquerque, NM 87102

**RE: Noon Day Ministries (H14/D067)
Response to Comments on Grading & Drainage Plan**

Dear Mr. Cherne;

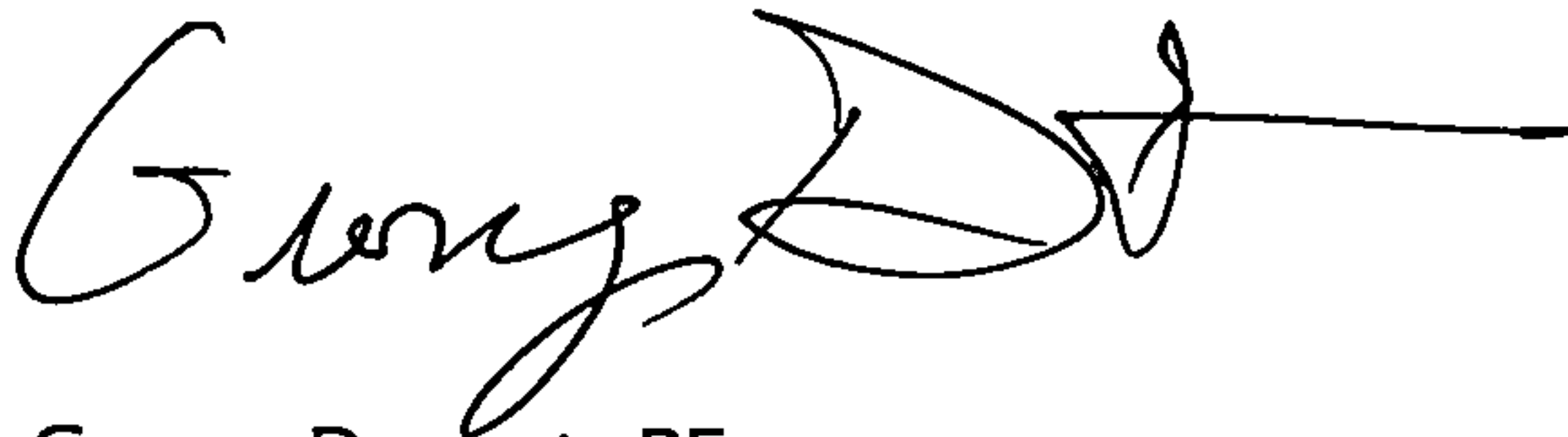
Per the attached revised plan, I have responded to your comments dated July 15, 2011 for the Noon Day Ministries Grading & Drainage Plan in the following manner:

1. A plat is being prepared by the owner's surveyor that will remove the internal lot lines and dedicate right-of-way to 2nd St. A cross-lot easement will not be needed.
2. The protruding area on the NE side of the property has been purchased, and will be included in the new lot per the final plat.
3. The site should now be below historic flows. To achieve this I:
 - a. Increased the amount of required pervious pavement to include the area on the east side of the south parking lot
 - b. Accounted for flow reduction through the small ponding areas in my calculations. In the previous calculations I hadn't accounted for reduced flows from detention ponding, except for the enclosed play area to the NE.
 - c. Allowed for the pervious paving to be considered as type B land treatment instead of type C.All of these changes working together reduced the flows to just below the historic rate of 3.9 cfs.
4. The areas defined in Note 18 are an Additive Alternate in case the owner chooses to pursue a LEED point for reduced stormwater flows. They were already designated as type D in the previous calculations I provided to the City. I did change one of the areas from an additive alternate to a required improvement in order to get the site discharge below historic rates.

5. I added the requested note regarding maintenance of the pervious pavement.

If you have any additional comments or questions, please feel free to contact me at gennyd@iacivil.com or 268-8828. Thank you.

Sincerely Yours,
Isaacson & Arfman, P.A.

A handwritten signature in black ink, appearing to read "Genny Donart", followed by a horizontal line.

Genny Donart, PE

Attachments

CITY OF ALBUQUERQUE



July 15, 2011

Genevieve L. Donart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

Re: Noon Day Ministries
Grading and Drainage Plan
Engineer's Stamp dated 7-12-11 (H14/D067)

Dear Ms. Donart,

Based upon the information provided in your submittal received 7-13-11, the above referenced plan can not be approved for Grading Permit, Building Permit and Work Order until the following comments are addressed:

- A cross lot drainage agreement needs to in place or the lot lines removed.
- How is the small piece of property in the N.E. side being used by the Noon Day campus? Was this property purchased? Is there an agreement between owners for this use?
- We would like for the flows leaving the site to be at or below historic values.
- We need a more definite application of use to note 18. Otherwise we will declare this area to be land treatment D, which would increase the exiting flows?
- When using the Porous Pavement, the following note must be placed in the G & D plan: "The pervious pavement built with this plan must be maintained and function as designed to be in compliance with the Grading Plan and the Drainage Ordinance"

Hydrology is requesting that all proposed landscape areas are depressed to retain/infiltrate the moisture that falls on them.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Curtis Cherne, P.E., CFM.
Principal Engineer, Planning Dept.
Development and Building Services

RER/CAC
C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Noon Day Ministries ZONE MAP/DRG.FILE# H-14 H-14/D067
DRB#: _____ EPC#: _____ WORK ORDER#: 783982

LEGAL DESCRIPTION: _____
CITY ADDRESS: 2400 2nd St NW

ENGINEERING FIRM: ISAACSON AND ARFMAN CONTACT: Genny Donart
ADDRESS: 128 MONROE N.E. PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: Noon Day Ministries CONTACT: _____
ADDRESS: 101 Broadway NE PHONE: 246-8001
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ADDRESS: 7601 Jefferson NE, Ste 100 PHONE: 761-9700
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYOR: Aldrich land Surveying CONTACT: Tim Aldrich
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

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☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

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☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
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☐ PAVING PERMIT APPROVAL
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☐ OTHER (SPECIFY) _____

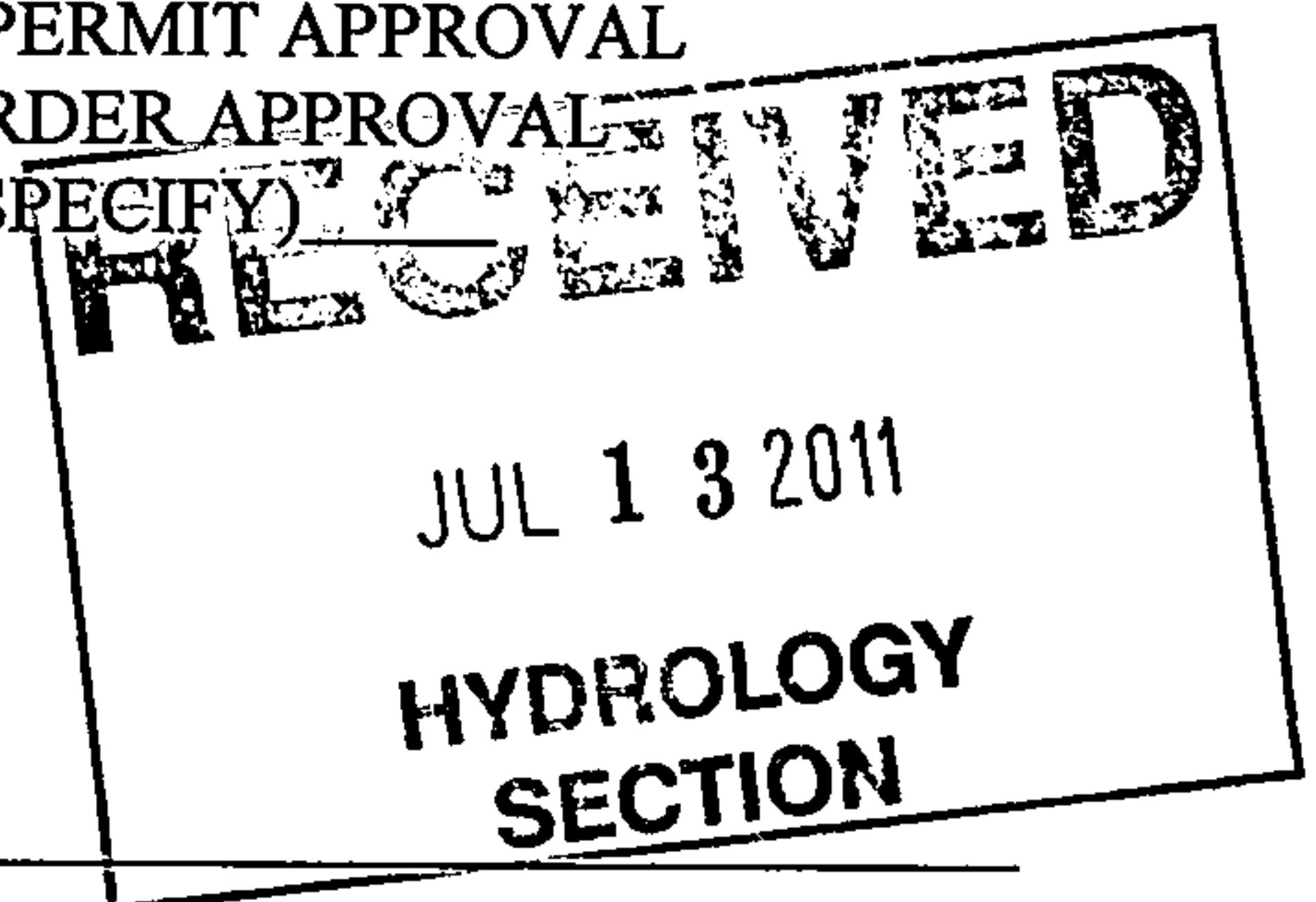
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

\$ 50⁰⁰

SUBMITTED BY: Genevieve Donart
Isaacson & Arfman, P.A.

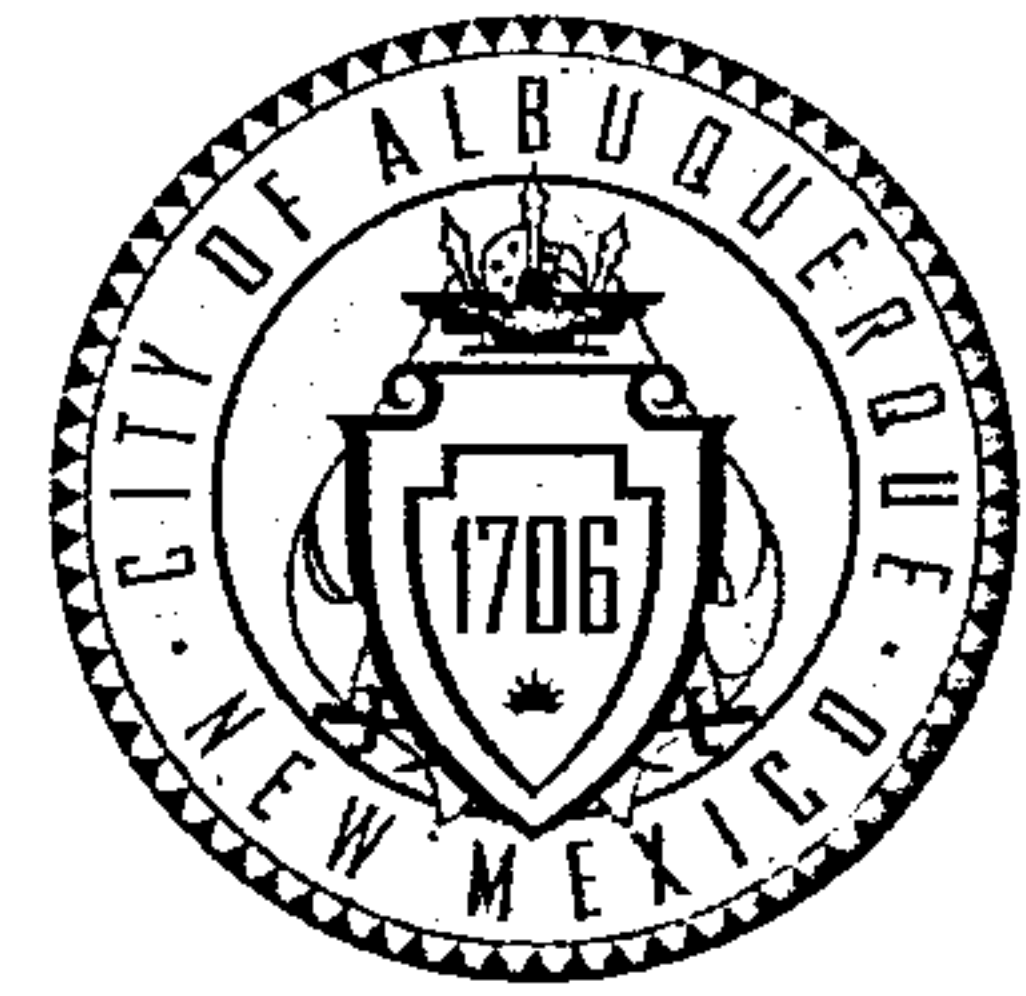
DATE: 7/12/11



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



November 15, 2013

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

Re: Noon Day, Traffic Circulation Layout
Engineer's Stamp dated 11-14-13 (H14-D067)

Dear Mr. Soule,

The TCL submittal received 11-14-13 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Cynthia K. Beck
Associate Engineer, Planning Dept.
Development & Review Services

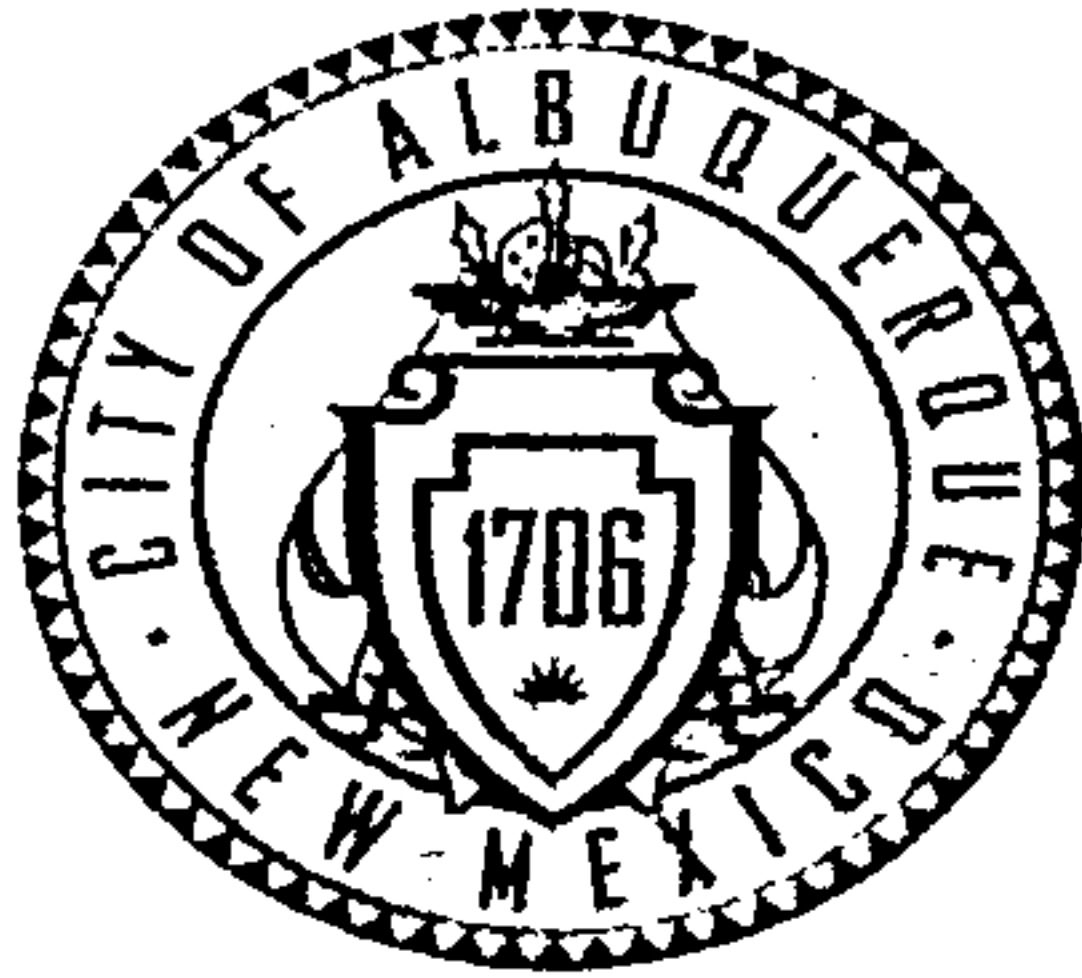
C: File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Noon Day Building Permit #: _____ City Drainage #: H14/D067
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: 23A1 Franciscan Addition
City Address: 2500 second street

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Noon Day Contact: _____
Address: 2500 second street1
Phone#: _____ Fax#: _____ E-mail: _____

Architect: Joe Simons Contact: Joe Simons
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS
Address: _____
Phone#: 917.8921 Fax#: _____ E-mail: _____

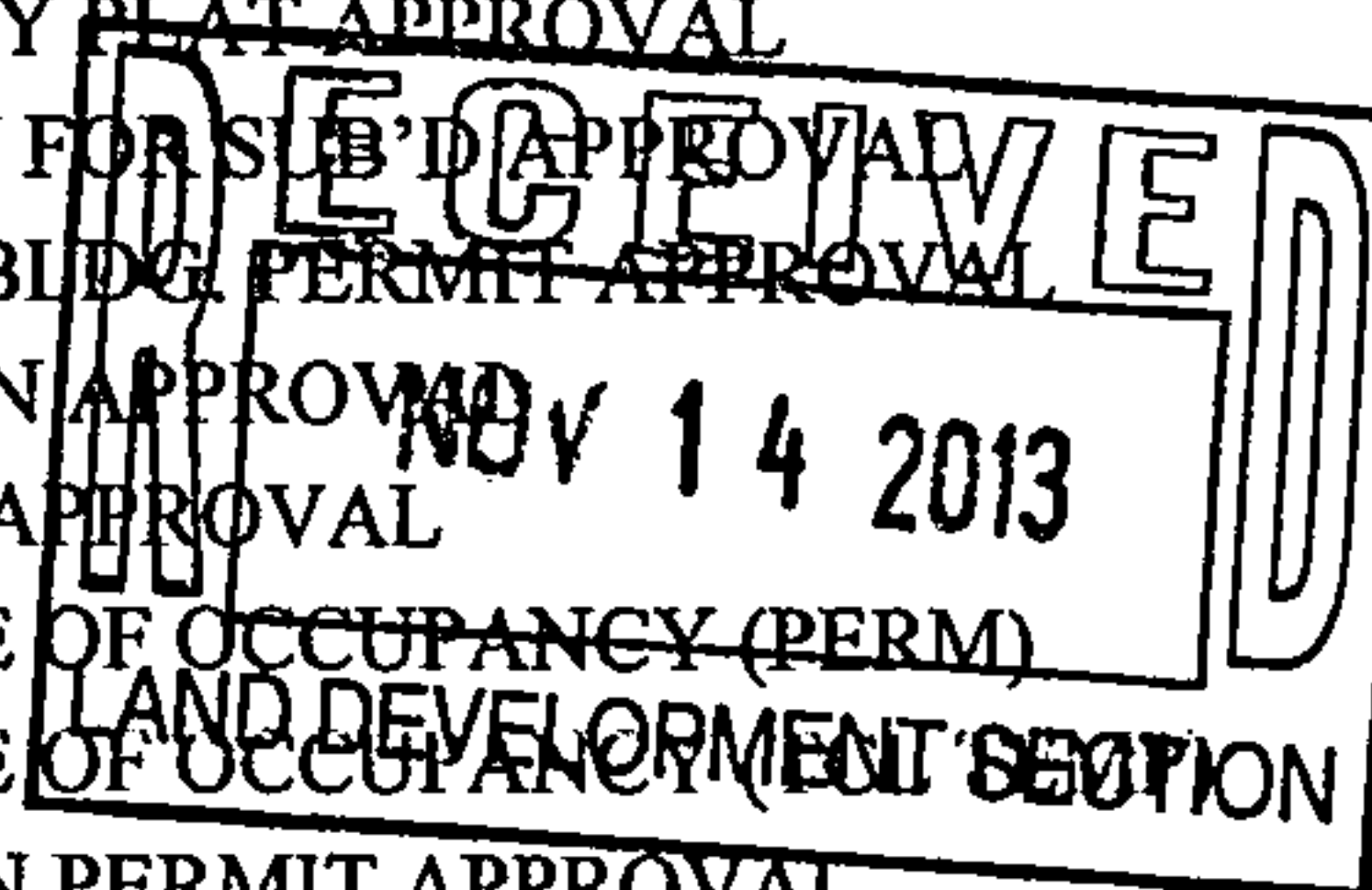
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

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- ☐ DRAINAGE PLAN 1st SUBMITTAL
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- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
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- ☐ S. DEV. FOR BLDG PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (MENT SECTION)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
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- ☐ ESC PERMIT APPROVAL
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- ☐ OTHER (SPECIFY) _____



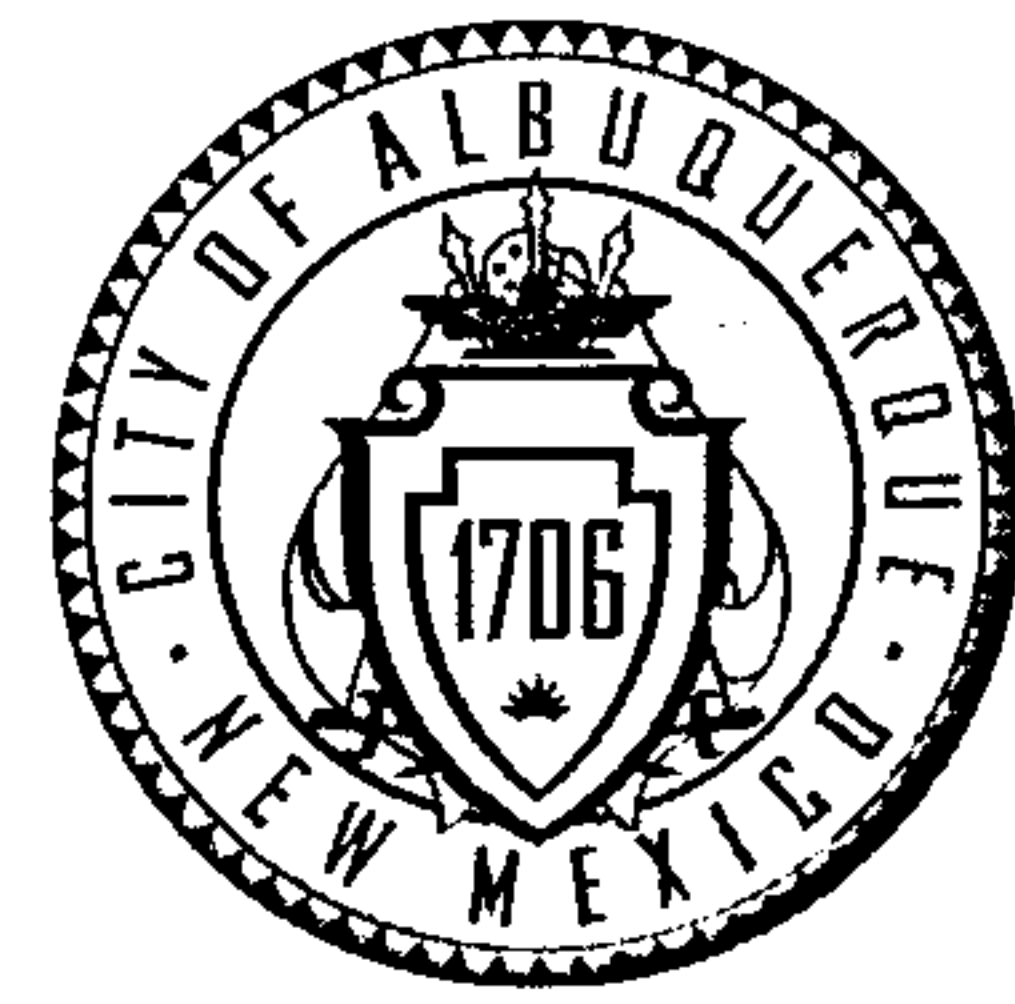
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 10/31/13 By: _____

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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



January 10, 2014

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Noon Day, 2500 2nd St**
Grading and Drainage Plan
Engineers Stamp Date 12/05/13 (H14-D067)

Dear Mr. Soule,

Based upon the information provided in your submittal received 12/05/13, the above referenced Grading and Drainage Plan is approved for Grading Permit, Paving Permits and Building Permit. The grading and drainage plan submitted with the redlined sidewalk culvert will be the plan used for Co and building permit approval.

Please attach a copy of this approved plan to each of the Building Permit sets, prior to seeking approval by Hydrology section. An Erosion and Sediment Control Plan must be submitted and approved before approval by the hydrology department.

Prior to Certificate of Occupancy release, an Engineer Certification of the as-constructed, Grading and Drainage Plan will be required, per the DPM checklist.

If you have any questions, please contact me at 924-3994 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
Principal Engineer, Planning Department
Development and Review Services

RR/SB
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Noon Day Building Permit #: _____ City Drainage #: H14/D067
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: 23A1 Franciscan Addition
City Address: 2500 second street

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Noon Day Contact: _____
Address: 2500 second street1
Phone#: _____ Fax#: _____ E-mail: _____

Architect: Joe Simons Contact: Joe Simons
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS
Address: _____
Phone#: 917.8921 Fax#: _____ E-mail: _____

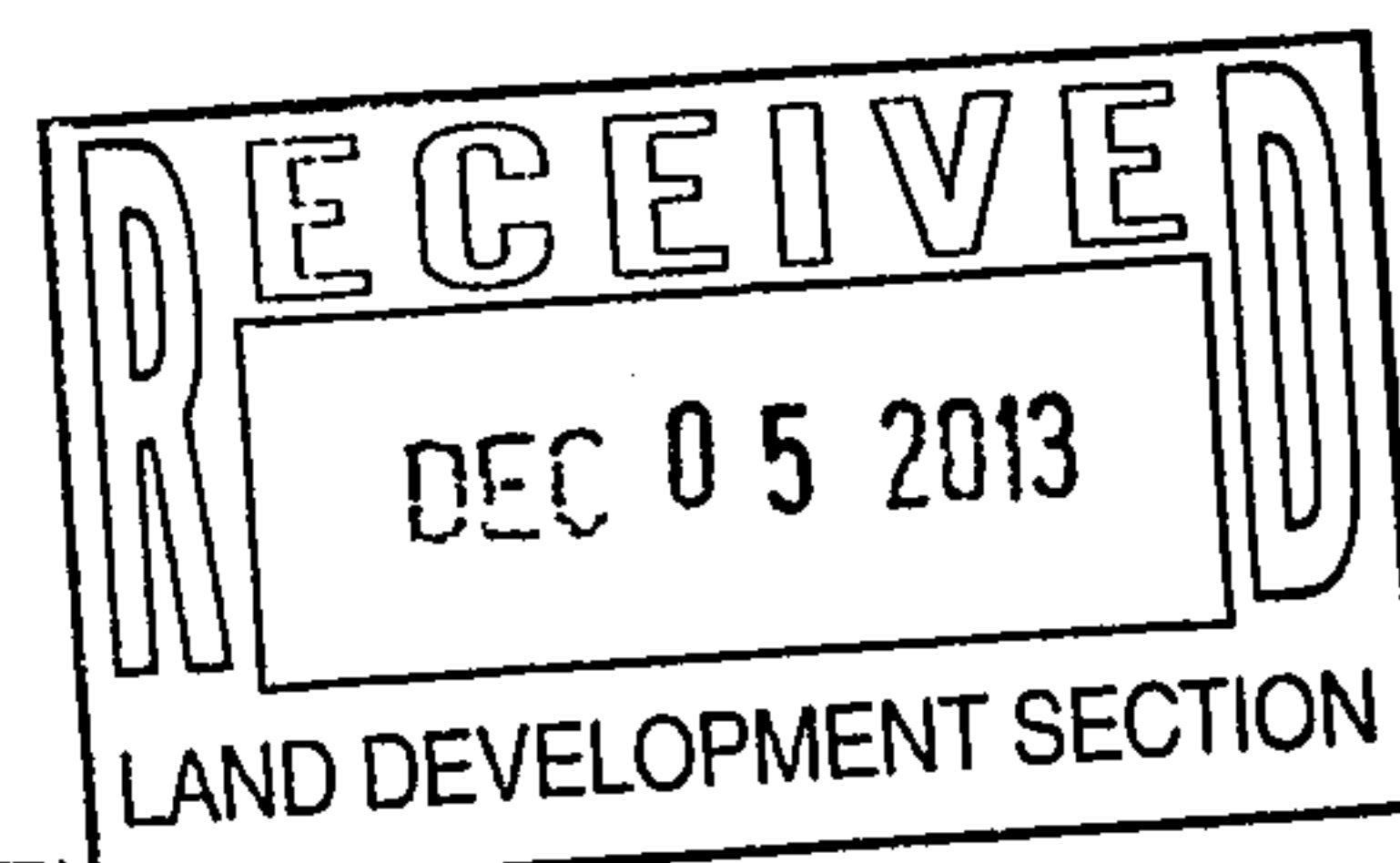
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 12/05/13 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

December 5, 2013

Mr. Shahab Biazar, PE
Senior Engineer
Hydrology
City of Albuquerque

**RE: Grading and Drainage Plan
Noon Day (H14-D067D)**

Dear Mr. Olson:

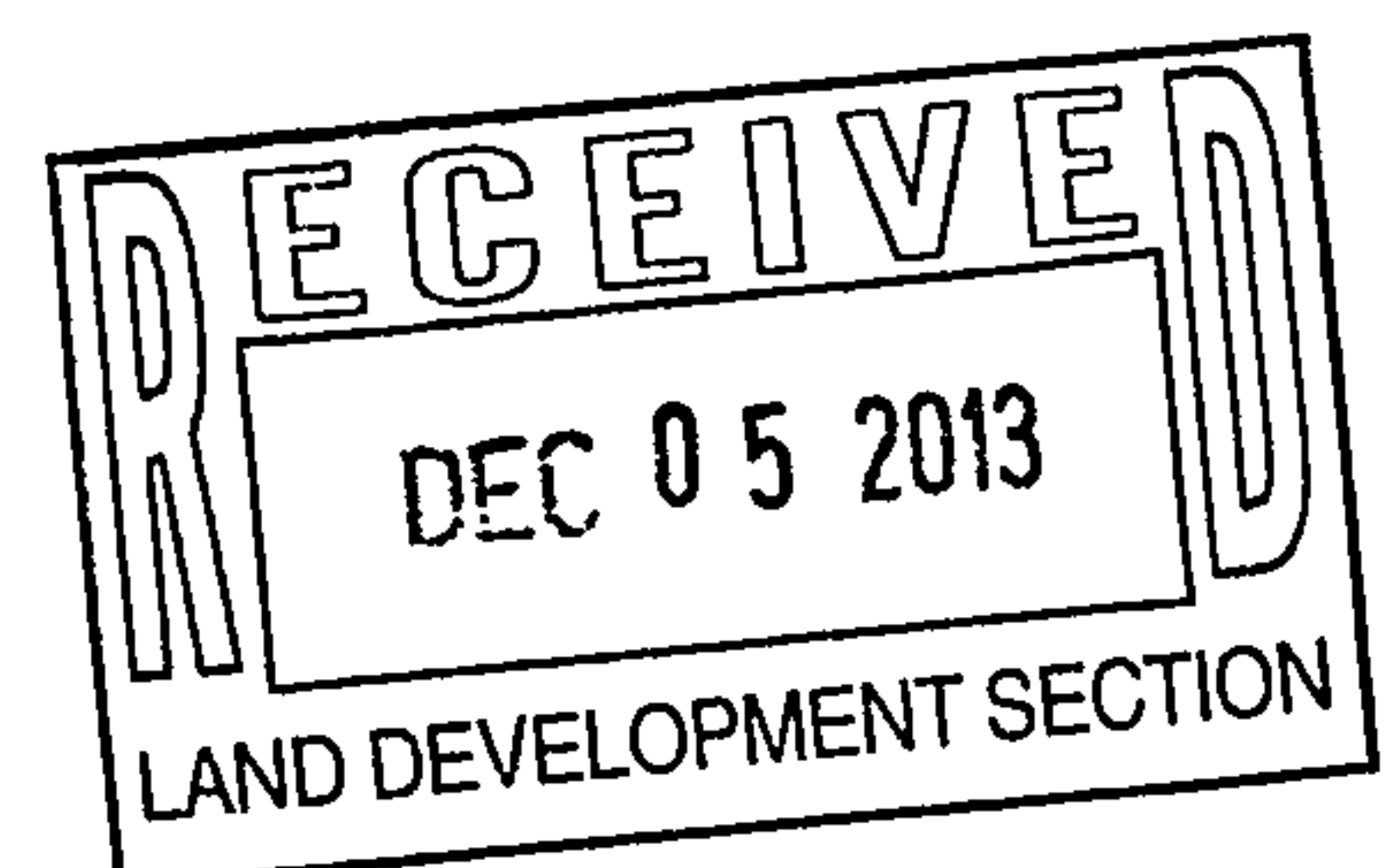
The purpose of this letter is to accompany the enclosed grading plan for the referenced project. This plan has been modified to address your comments dated December 3, 2013. The following is a summary of your comments with the annotation as to how the plans were modified to address the comments.

1. Extend Sidewalk culvert plants 2' past property line
We have extended the plates two feet past the property line on second and two feet past the sidewalk on the corner of Second and Prospect
2. Provide Calculations
The calculations were erroneously not omitted. The calculation section has been enclosed.
3. Provide water blocks.
We have water blocks for both driveway, but due to the site grades we are not able to put at the right-of-way. To add a water block at Second Street would prevent the eastern portion of our site to drain out. The entire area draining out the driveways are higher than the flow line. To add the water block at the property line would cause more problems than it would solve. We request the parking lots be allowed to drain as proposed.
4. Provide spot elevations along property lines.

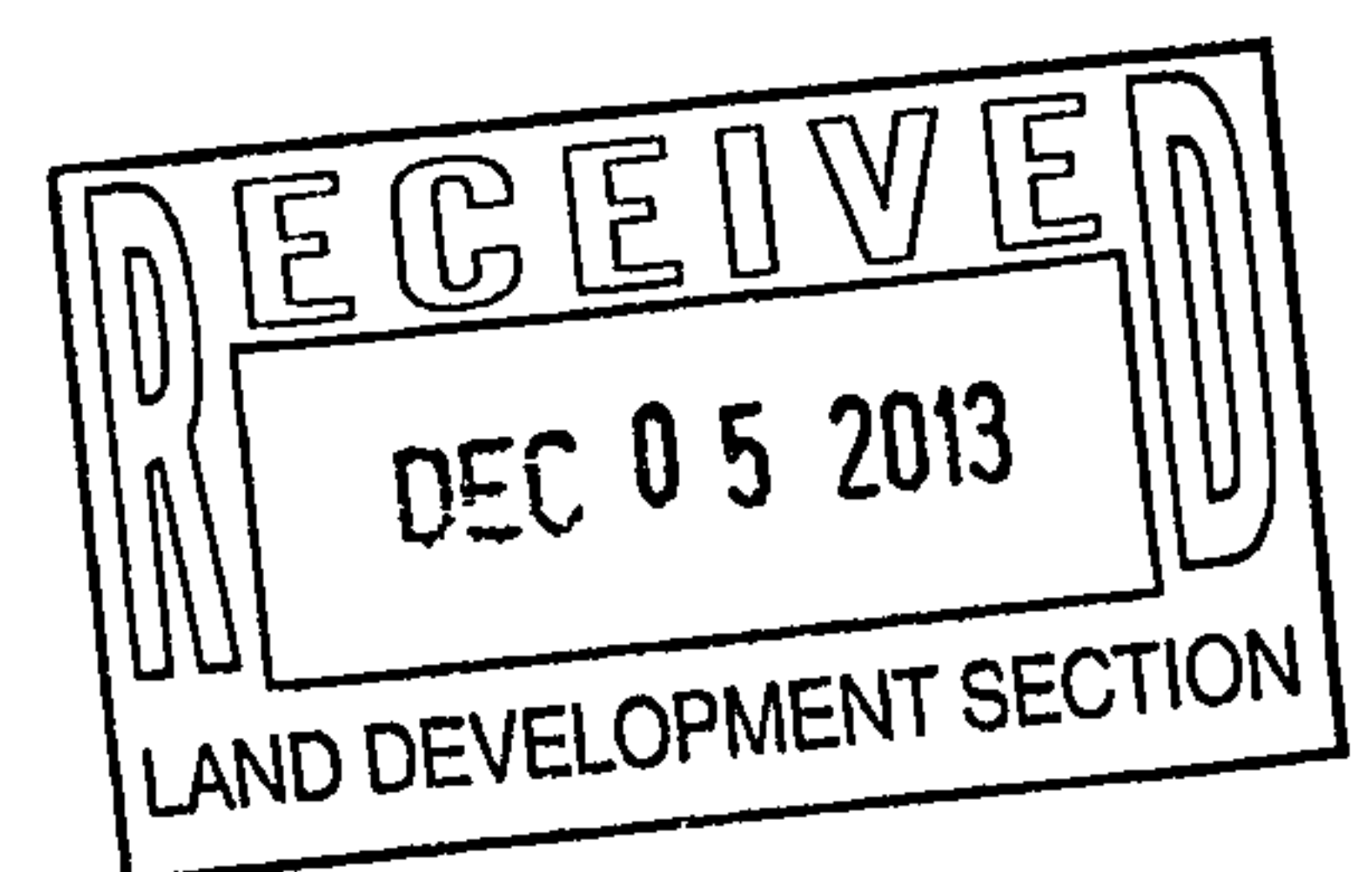
Due to size of lot, a SWPPP has been prepared and to the best of my knowledge and understanding submitted under separate cover. Should you have any questions regarding this re-submittal, please do not hesitate to call me.

Sincerely,


David Soule, PE
Rio Grande Engineering
505.321.9099



APPENDIX A
SITE HYDROLOGY



Weighted E Method

											100-Year, 6-hr.		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
EXISTING	44097.00	1.012	0%	0	0%	0.000	25%	0.25308	75%	0.759	1.873	0.158	4.36
PROPOSED A	17950.00	0.412	0%	0	0%	0.000	13%	0.05357	87%	0.359	1.991	0.068	1.85
PROPOSED B	6592.00	0.151	0%	0	8%	0.012	15%	0.0227	77%	0.117	1.864	0.024	0.65
PROPOSED C	14605.00	0.335	0%	0	4%	0.013	12%	0.04023	84%	0.282	1.948	0.054	1.48
PROPOSED D	2282.00	0.052	0%	0	10%	0.005	5%	0.00262	85%	0.045	1.937	0.008	0.23
PROPOSED E	2668.00	0.061	0%	0	80%	0.049	10%	0.00612	10%	0.006	0.949	0.005	0.16
TOTAL PROPOSED	44097.00	1.012				0.080		0.125		0.807			4.37

Roof drain basin	10248.00	0.235	0%	0	0%	0.000	0%	0	100%	0.235	2.120	0.042	1.11
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Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm

$E_a = 0.53$
 $E_b = 0.78$
 $E_c = 1.13$
 $E_d = 2.12$

$Q_a = 1.56$
 $Q_b = 2.28$
 $Q_c = 3.14$
 $Q_d = 4.7$

FLOW RATE LEAVING SITE

PROSPECT DRIVEWAY	0.23 CFS
SOUTH CULVERT	1.85 CFS
MIDDLE CULVERT	0.65 CFS
SECOND STREET DRIVEWAY	1.64 CFS

WATER HARVEST

1/4 INCH PER FOOT	919	cubic feet
PROVIDED	964	cubic feet

Sidewalk culvert

Weir Equation:

$$Q = CLH^{3/2}$$

$$Q = 1.85 \text{ \& } 1.48$$

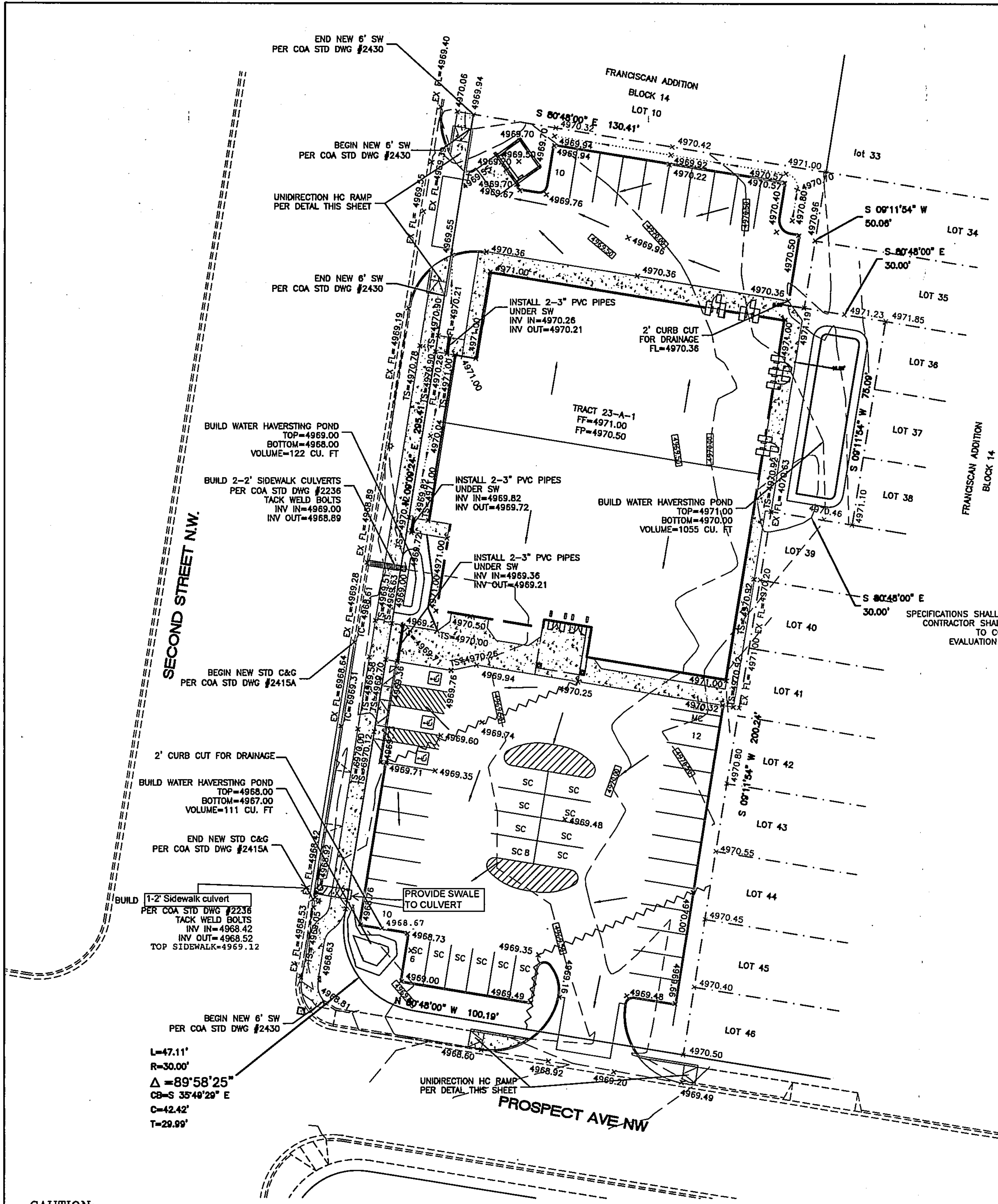
$$C = 2.95$$

$$H = 0.5 \text{ ft}$$

$$L = \text{Length of weir}$$

$$Q = 2.95 \times 2 \times 0.67^{1.5}$$

$$Q_{\text{allowable}} = 3.26 \text{ ft} > Q_{\text{required}} = 1.85$$



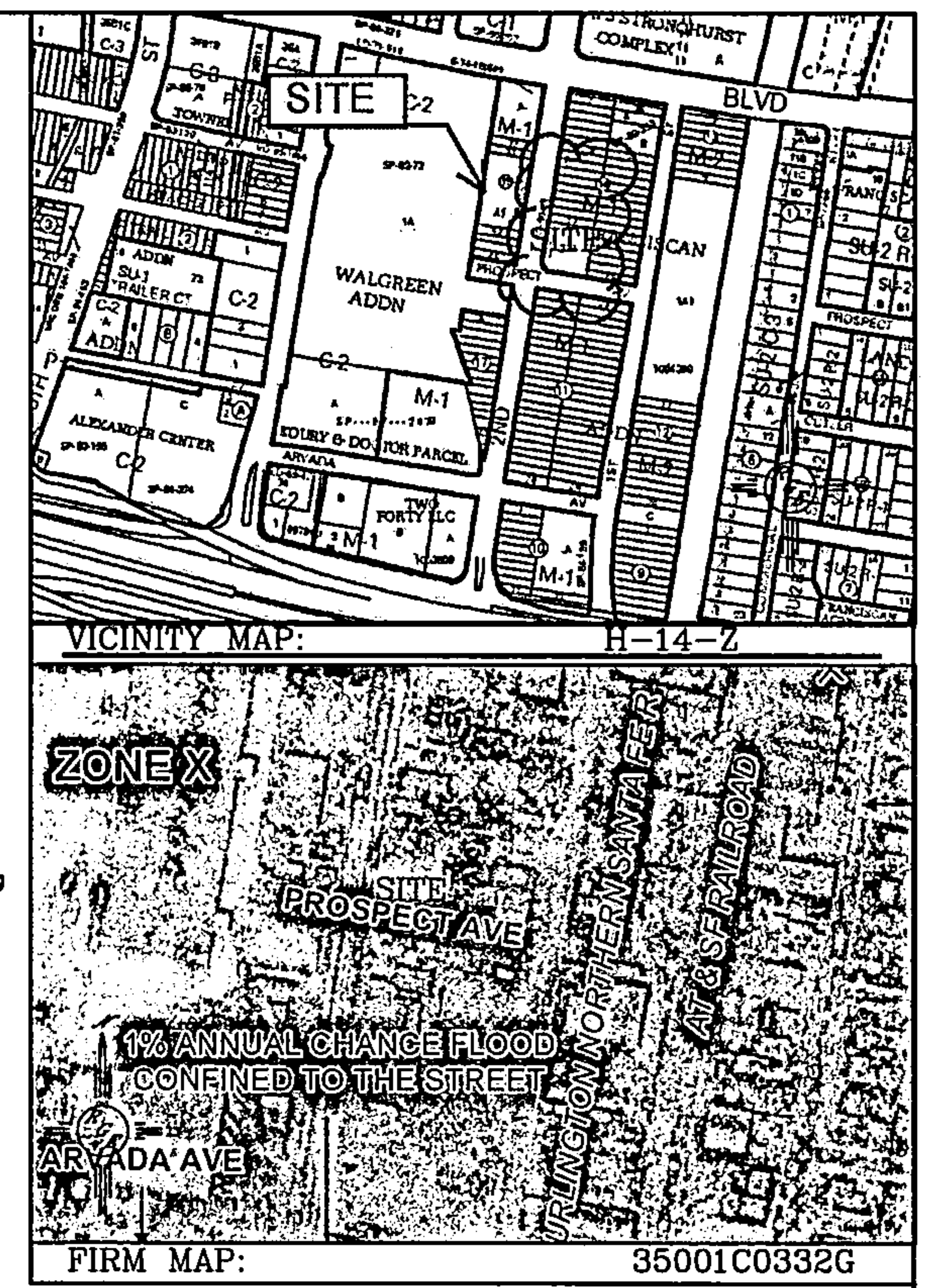
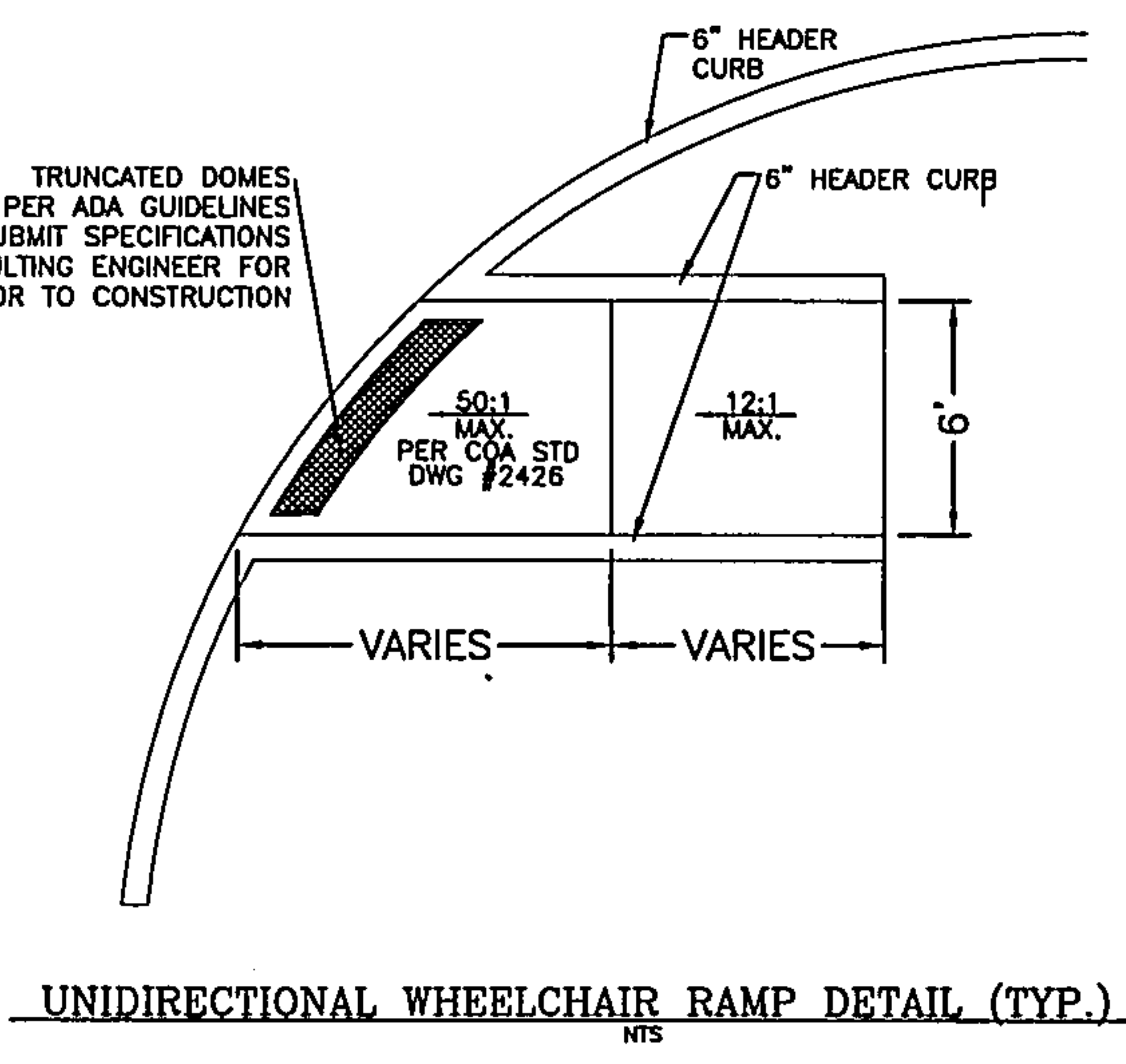
- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

PRIVATE DRAINAGE IMPROVEMENT IN PUBLIC ROW
NOTICE TO CONTRACTORS

Notice to Contractor
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Prior to pouring concrete, contractor shall notify the storm drain inspector, 857-8074, to inspect reinforcement.

APPROVAL	NAME	DATE
INSPECTOR		



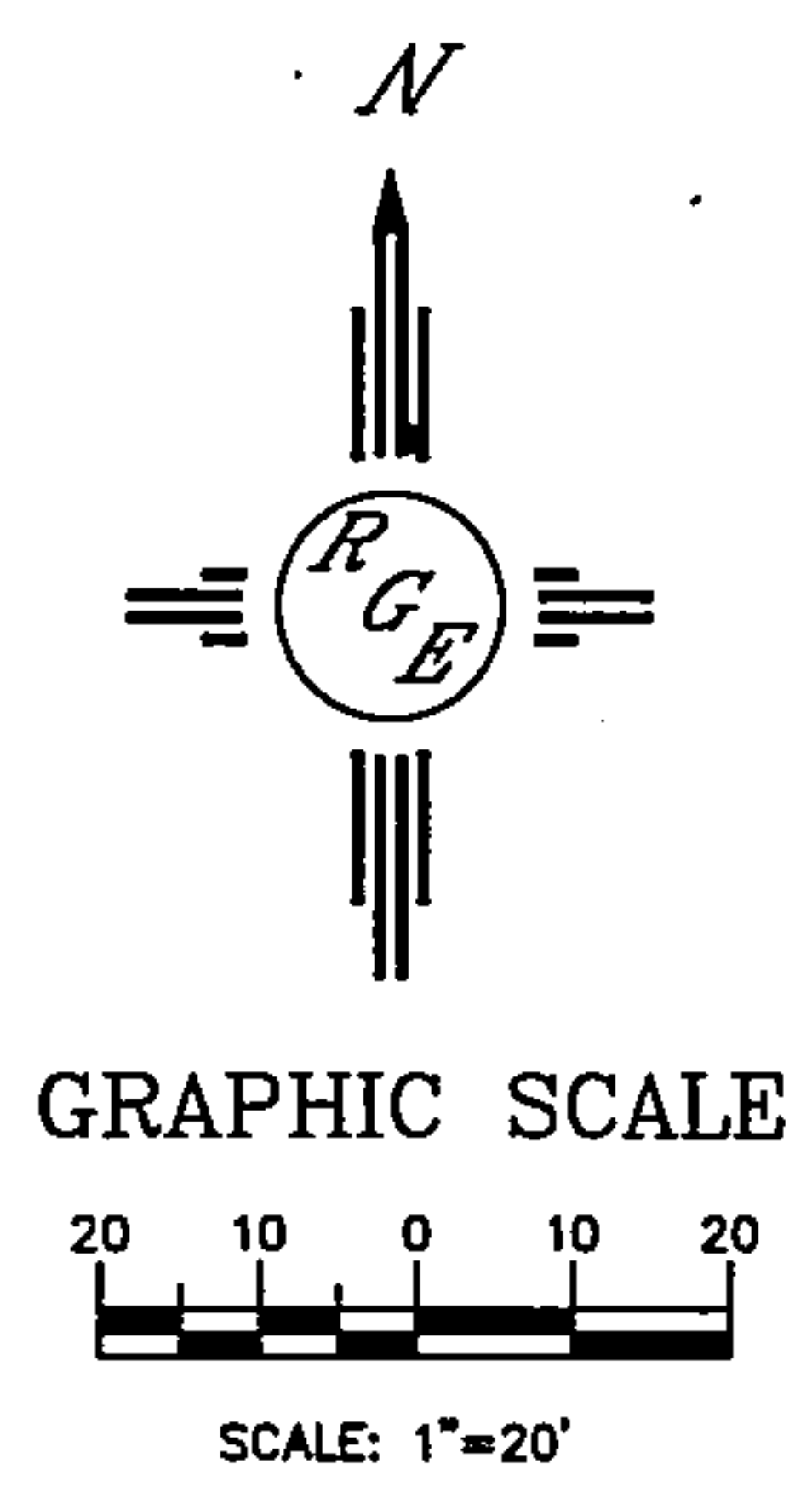
LEGAL DESCRIPTION:
TRACT 23-A-1, FRANCISCAN ADDITION

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.

- LEGEND**
- 5414 --- EXISTING CONTOUR
 - 5415 --- EXISTING INDEX CONTOUR
 - 5414 --- PROPOSED CONTOUR
 - 5415 --- PROPOSED INDEX CONTOUR
 - 5415 --- PROPOSED INDEX CONTOUR FLOW
 - 5415 --- 3:1 SLOPE THE MAX.
 - 5415 --- FLOWLINE
 - 5415 --- EXISTING SPOT ELEVATION
 - 5415 --- PROPOSED SPOT ELEVATION
 - 5415 --- PROPOSED CURB
 - 5415 --- BOUNDARY
 - 5415 --- EXISTING CURB AND GUTTER
 - 5415 --- PROPOSED CONCRETE SIDEWALK
 - 5415 --- BREAK LINE

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	NOONDAY	DRAWN BY WCHWJ
	GRADING AND DRAINAGE PLAN	DATE 12-05-13
		21344-LAYOUT-10-10-13
12-05-13	1806 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET #
DAVID SOULE P.E. #14522		JOB # 21344