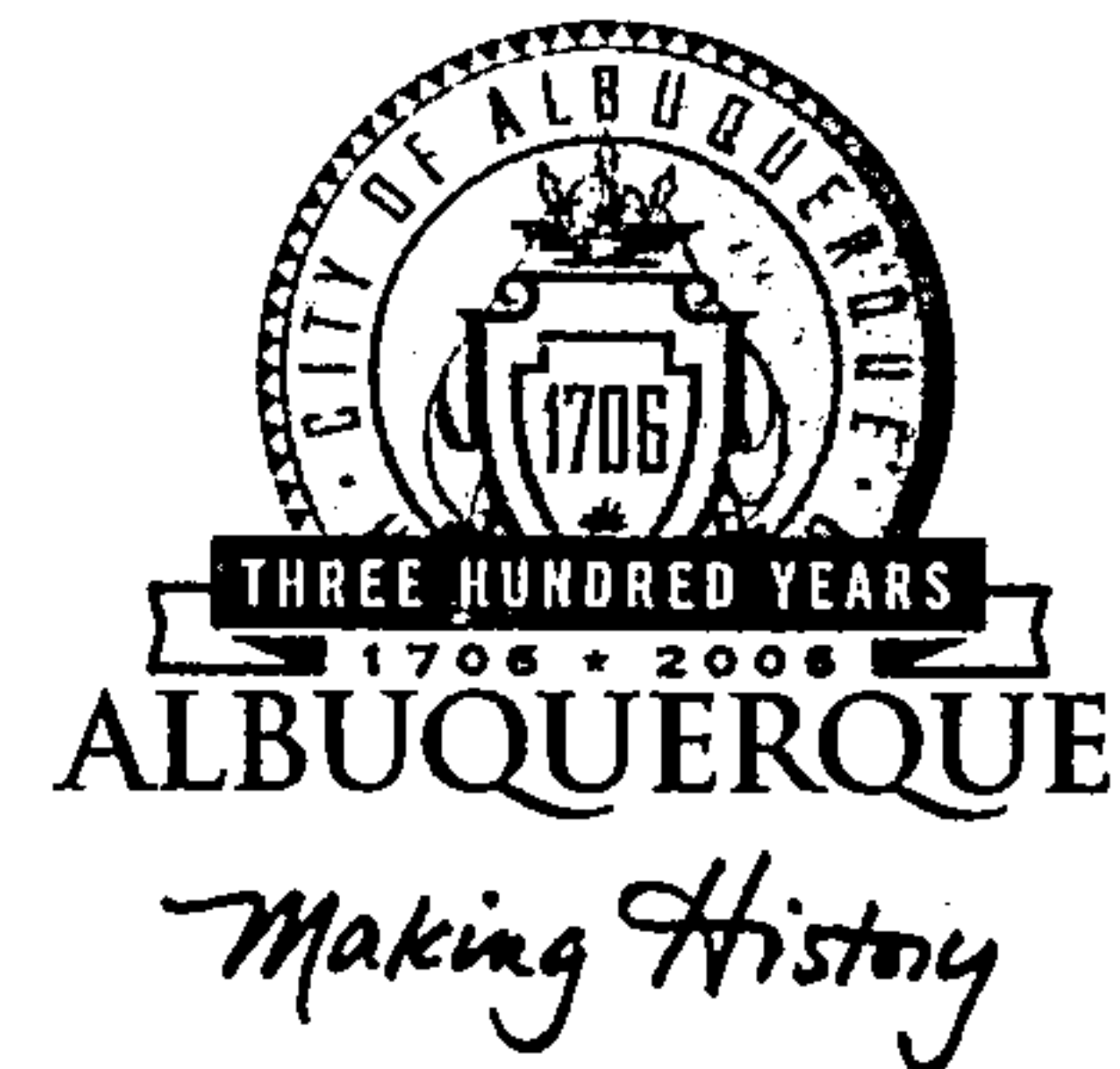


# CITY OF ALBUQUERQUE



March 2, 2006

Mr. David Soule, P.E.  
**RIO GRANDE ENGINEERING**  
1606 Central Avenue SE, Suite 201  
Albuquerque, NM 87106

**Re: 2001/2021 SECOND STREET NW**  
**2001 & 2001 Second Street NW**  
**Approval of Temporary Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 11/19/2004 (H-14/D70)**  
**Certification dated 03/01/2006**

Dear David,

P.O. Box 1293

Based upon the information provided in your submittal received 03/02/2006, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

Albuquerque

Upon acceptance of the required SO-19(s), please resubmit an updated certification for Permanent C.O.

New Mexico 87103

If you have any questions, you can contact me at 924-3982

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

C: C.O. Clerk  
File

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: 2001 & 2021 Second Street  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE #: H 14-D-70  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tracts A-1 & B-1 Two-Forty LLC Subdivision  
CITY ADDRESS: 2001 & 2021 Second Street

ENGINEERING FIRM: Rio Grande Engineering  
ADDRESS: 1606 Central ~~SW~~ Suite 201  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: David Soule, PE  
PHONE: (505)321-9099  
ZIP CODE: 87106

OWNER: D. Mc Call  
ADDRESS: 370 Osuna NE  
CITY, STATE: Albuquerque, NM

CONTACT: D. Mc Call  
PHONE: 345-4444  
ZIP CODE: 87107

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: Harris Surveyors  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

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## CHECK TYPE OF APPROVAL SOUGHT:

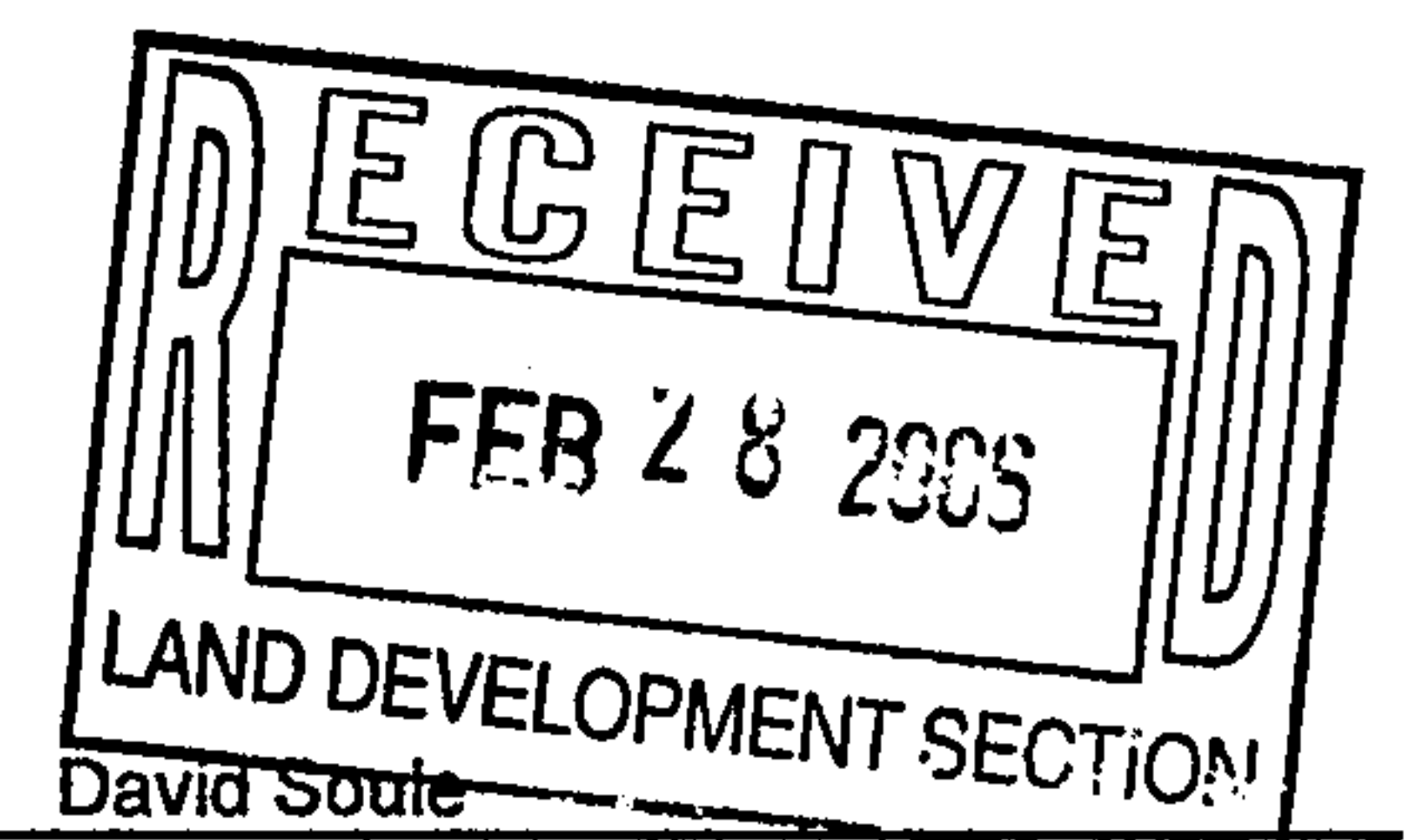
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) Concurrence for Bern. Co

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 2/28/2006 BY: \_\_\_\_\_



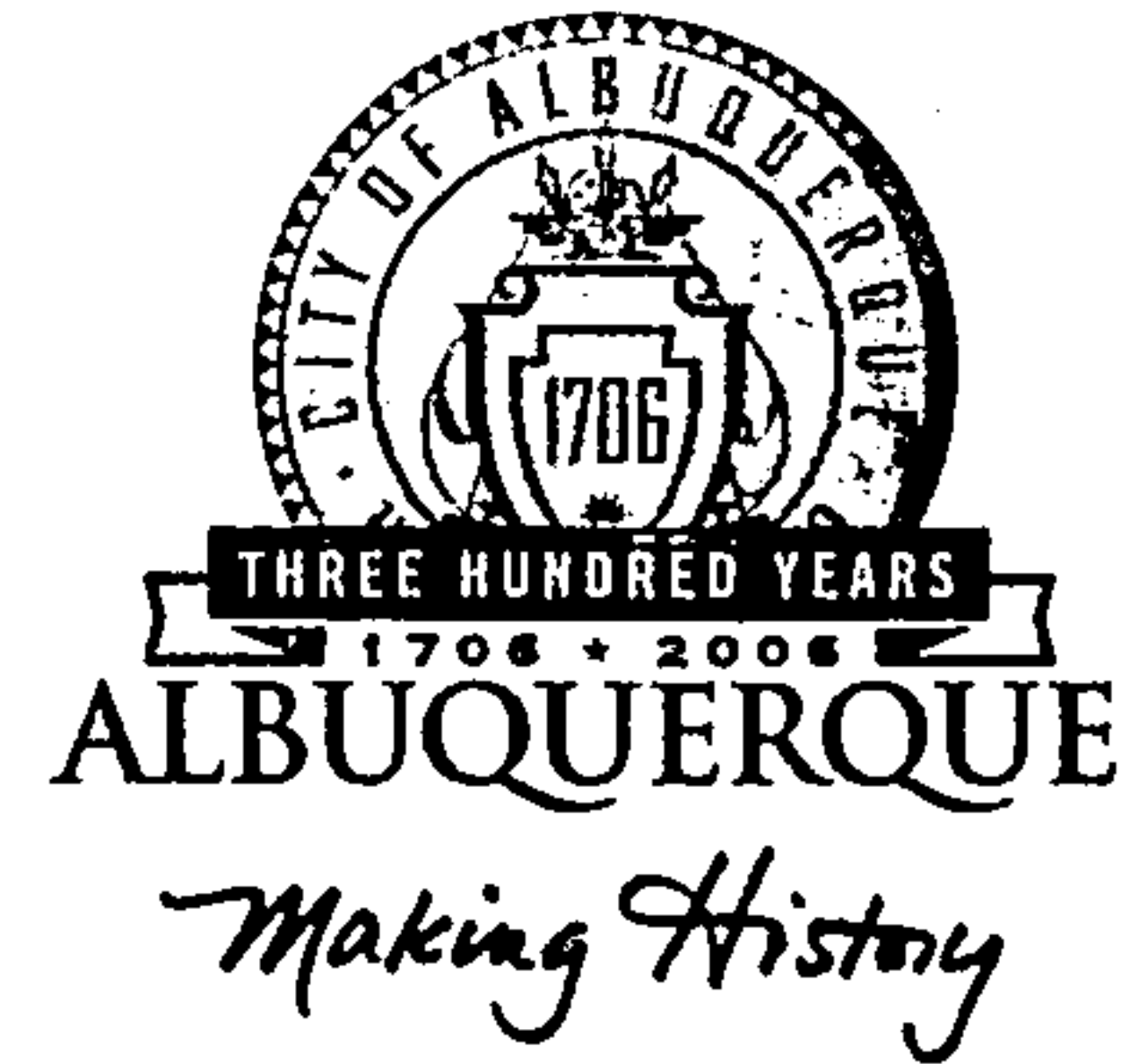
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

February 13, 2006

James B. Clark , Registered Architect  
4200 Wyoming NE, Ste. B-1  
Albuquerque, NM 87111

Re: Certification Submittal for Final Building Certificate of Occupancy for  
240 LLC Bldg, [H-14 / D70]  
2021 2nd St. NW  
Architect's Stamp Dated 02/06/06

Dear Mr. Clark:


P.O. Box 1293

The TCL / Letter of Certification submitted on February 10, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

c: Engineer  
Hydrology file  
CO Clerk



6 February 2006  
Project MW 0441

Development and Building Services  
Planning Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, New Mexico 87103

**Re: Letter of Certification**

**Project:** Shell Only Building for 240, LLC  
2021 2<sup>nd</sup> Street NW  
Albuquerque, New Mexico

On 1 February 2006, I conducted a Site Observation Visit of the completed facility to confirm the construction of the site improvements.

My observation revealed that the site improvements are in substantial compliance with the City of Albuquerque approved Traffic Circulation Plan.

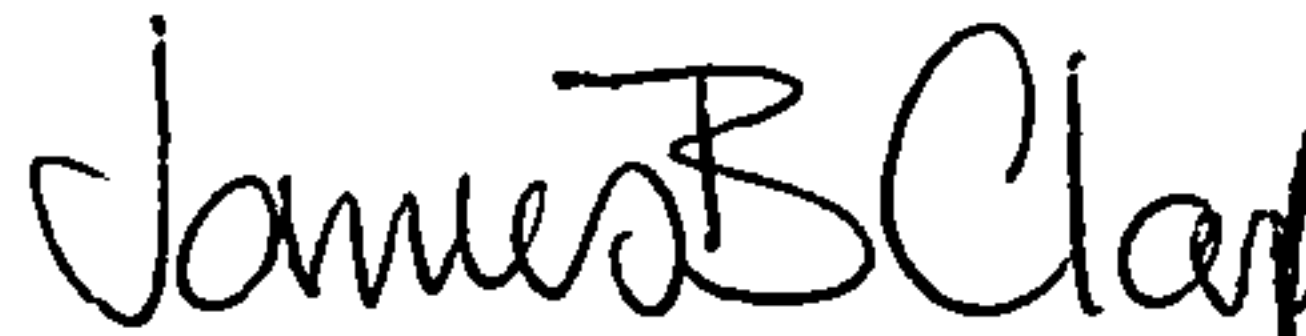
Three field changes were noted which do not alter the requirements of the approved TCL:

- a. The accessible parking spaces along the south face of the building were moved one space distance to the east;
- b. There are 22 parking spaces along the east edge of the property instead of the 21 shown on the approved Traffic Circulation plan;
- c. The Entry Drive in the NE corner of the property was constructed as a 32' wide drive pad per City of Albuquerque Standard Detail 2428. The header curb around the landscape area in this corner was relocated accordingly allowing for the additional parking mentioned in b. above.

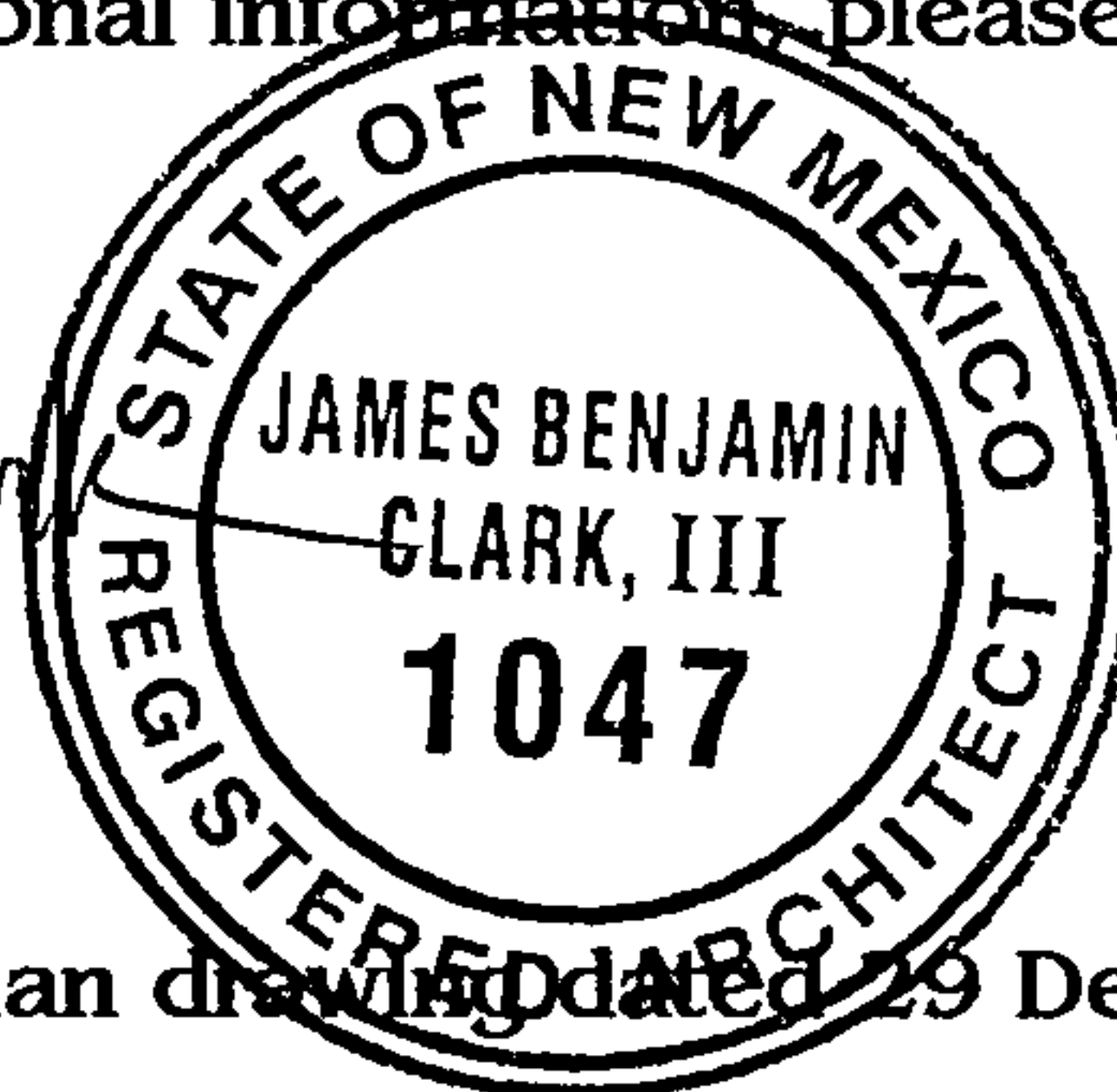
The TCL Plan drawing has been revised to reflect these changes.

If you need any additional information, please call.

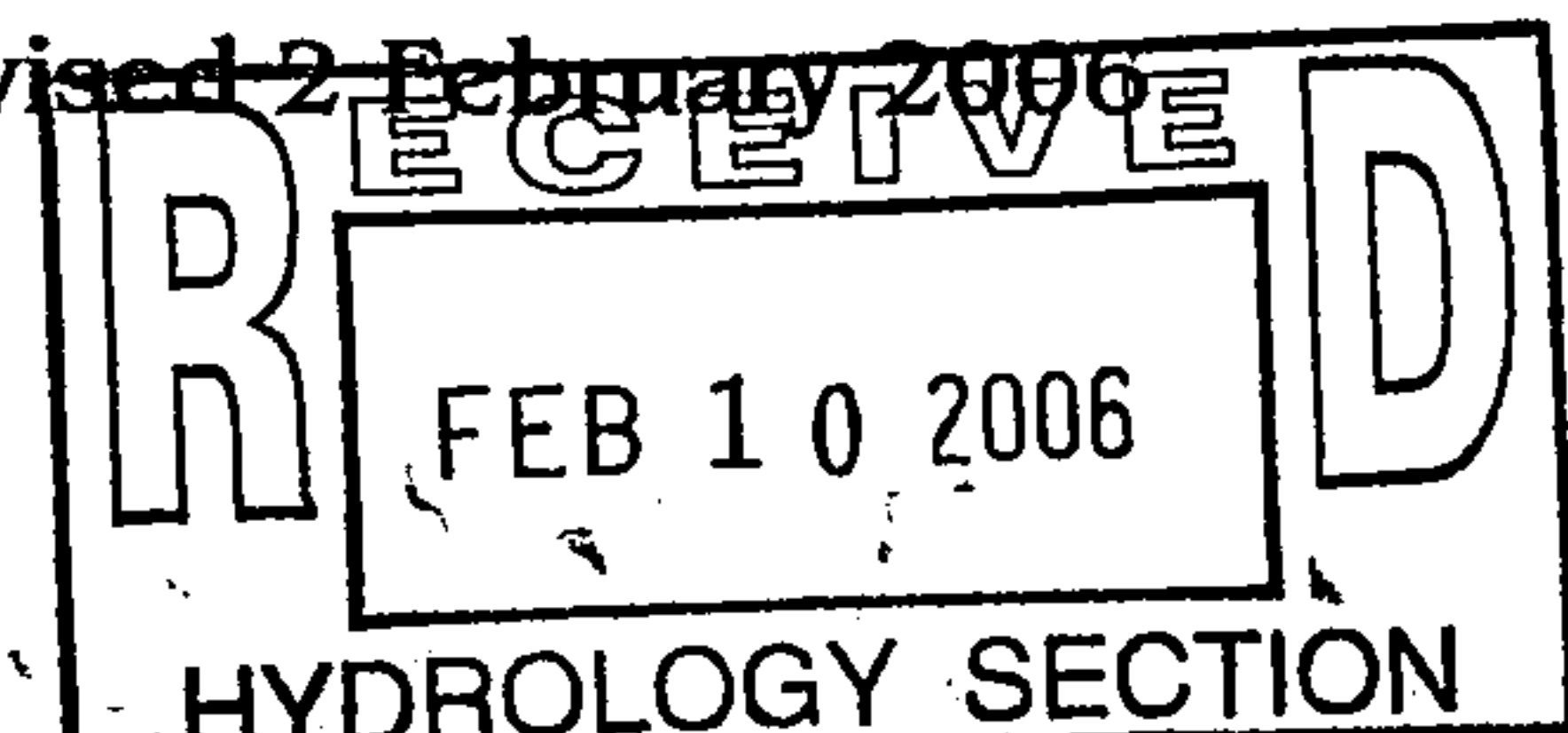
Sincerely,



James B. Clark, RA  
Vice President



Encl: 'As-Built' TCL Plan drawing dated 29 Dec 2004, Revised 2 February 2006



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Two Forty LLC ZONE MAP/DRG. FILE #: H14/D70  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACTS A AND B, 240 LLC Subdivision  
 CITY ADDRESS: 2010 2nd St. NW, ABQ

ENGINEERING FIRM: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

OWNER: 240 LLC  
 ADDRESS: 4200 Wyoming Blvd NE Ste 419  
 CITY, STATE: ABQ, NM

CONTACT: Roger Smith  
 PHONE: 294-1525  
 ZIP CODE: 87111

ARCHITECT: Masterworks Architects Inc  
 ADDRESS: 4200 Wyoming Blvd NE Ste B-1  
 CITY, STATE: ABQ, NM

CONTACT: Jini Clark  
 PHONE: 242-1866  
 ZIP CODE: 87111

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

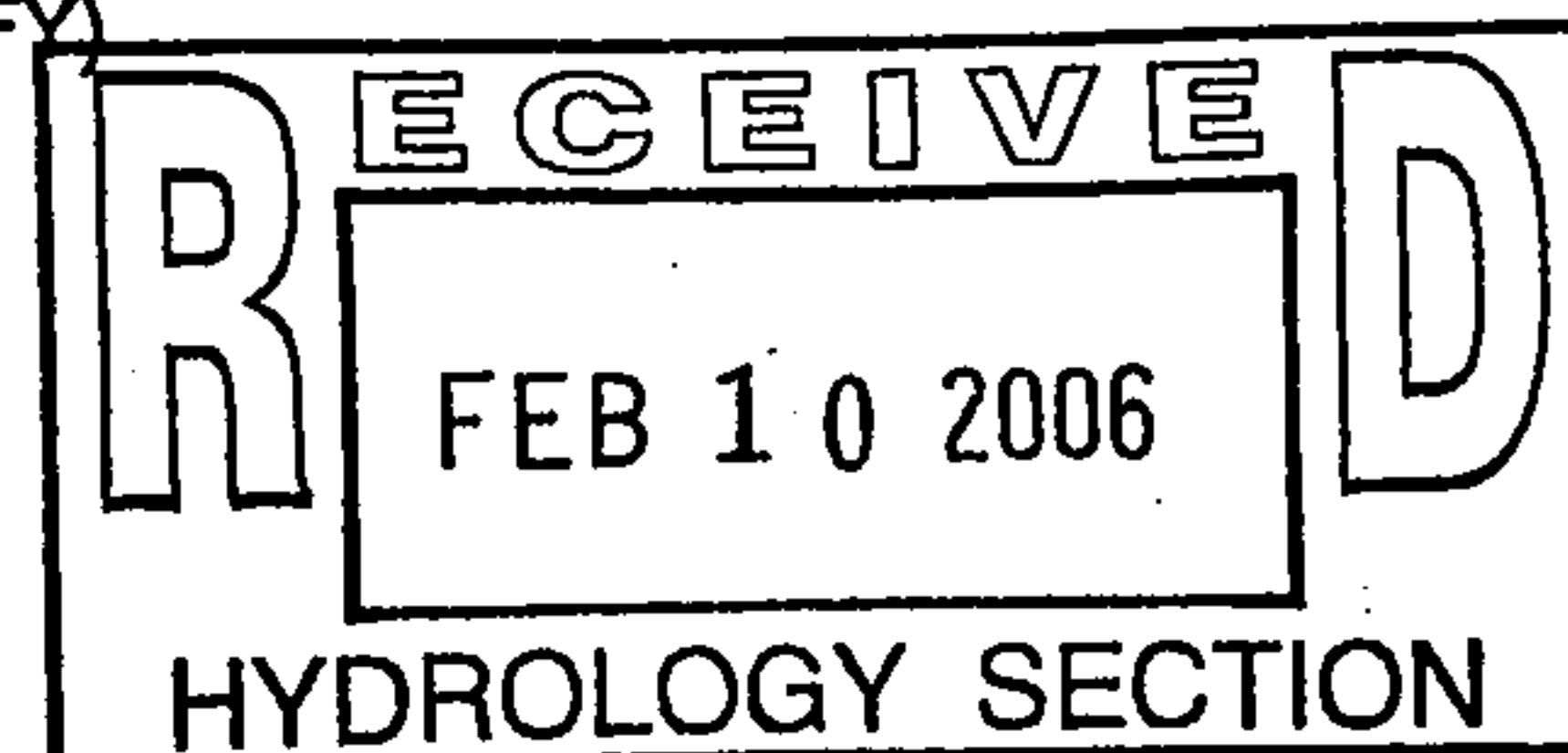
**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 10 February 2006 BY: James B Clark



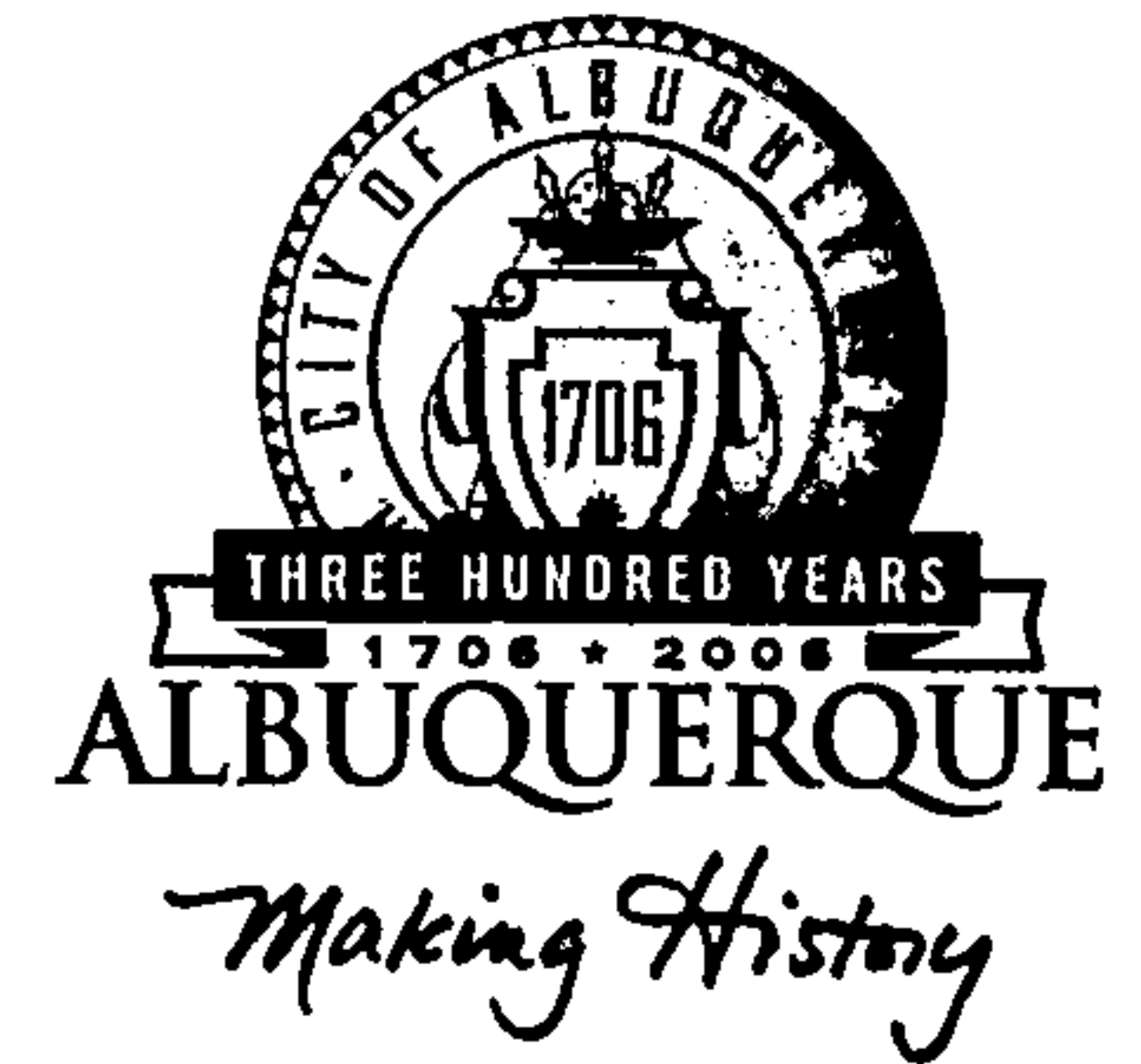
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# CITY OF ALBUQUERQUE

888-1386



December 17, 2004

David Soule, P.E.  
Rio Grande Engineering  
3500 Comanche Blvd. NE  
Albuquerque, NM 87107

**Re: 2001 and 2021 Second Street, Grading and Drainage Plan  
Engineer's Stamp dated 11-19-04 (H14-D70)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 11-01-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

New Mexico 87103

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Matt Cline, Arroyo Maintenance  
Pam Lujan, Excavation Permits  
Charles Caruso, DMD Storm Drainage Design  
File

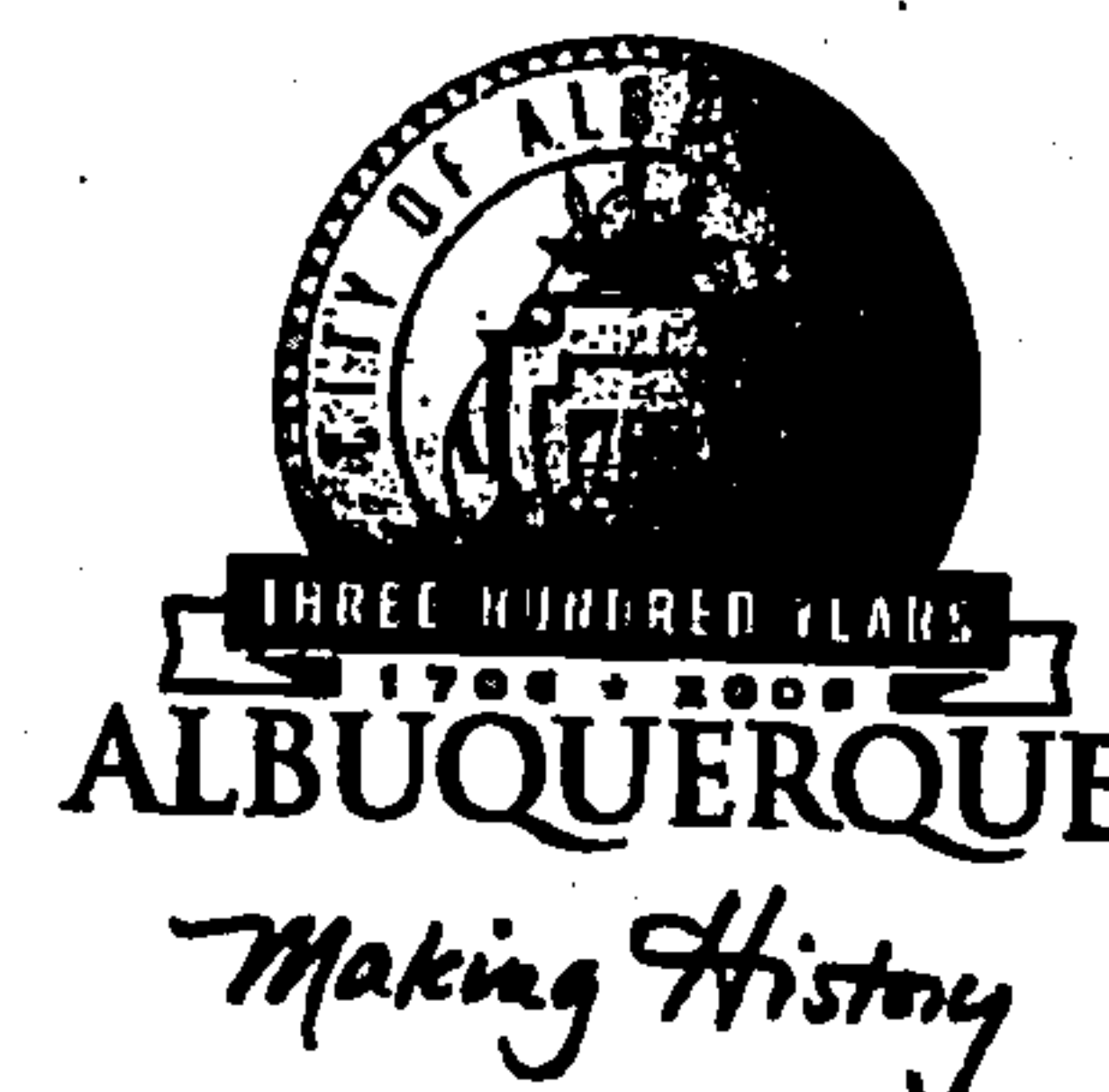
\*\*\*\*\*  
 \*\*\* TX REPORT \*\*\*  
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TRANSMISSION OK

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 SUBADDRESS  
 CONNECTION ID  
 ST. TIME 03/01 15:30  
 USAGE T 00'32  
 PGS. 1  
 RESULT OK

CITY OF ALBUQUERQUE

888-1386



December 17, 2004

David Soule, P.E.  
 Rio Grande Engineering  
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Albuquerque

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New Mexico 87103

www.cabq.gov

Sincerely,

Kristal D. Metro  
 Engineering Associate, Planning Dept

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 01/28/2003rd)

44-14/D070

PROJECT TITLE: 2001 & 2021 Second Street  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE #: H 14-Z  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tracts A-1 & B-1 Two-Forty LLC Subdivision  
CITY ADDRESS: 2001 & 2021 Second Street

ENGINEERING FIRM: Rio Grande Engineering  
ADDRESS: 1606 Central NW Suite 201  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: David Soule, PE  
PHONE: (505)321-9099  
ZIP CODE: 87106

OWNER: D. Mc Call  
ADDRESS: 370 Osuna NE  
CITY, STATE: Albuquerque, NM

CONTACT: D. Mc Call  
PHONE: 345-4444  
ZIP CODE: 87107

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: Harris Surveyors  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

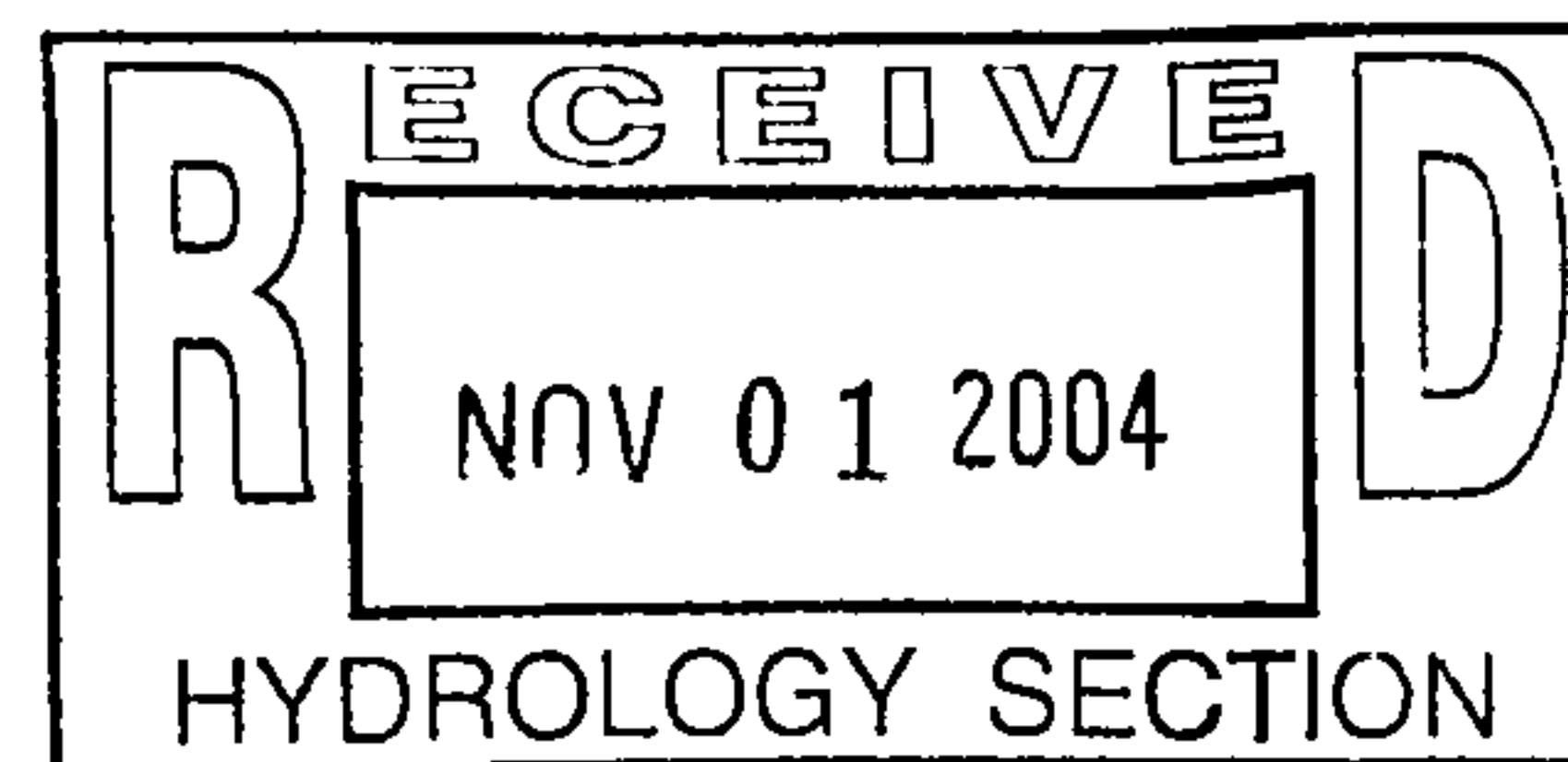
☒ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
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☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

☐ SIA / FINANACIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
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☐ FOUNDATION PERMIT APPROVAL  
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☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY) *Concurrence for Bern. Co*

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☐ NO  
☐ COPY PROVIDED

*BP fee paid ✓*



DATE SUBMITTED: 10/30/2004 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



DRAINAGE REPORT

for

**2001 & 2021 Second Street NW  
Albuquerque, New Mexico**

Prepared by  
Rio Grande Engineering  
3500 Comanche Blvd. NE, Suite E-5  
Albuquerque, New Mexico 87107

Prepared for  
D. Mc Call  
Midway Realty  
3700 Osuna NE  
Albuquerque, New Mexico 87109

October 2004



David Soule P.E. No. 14522

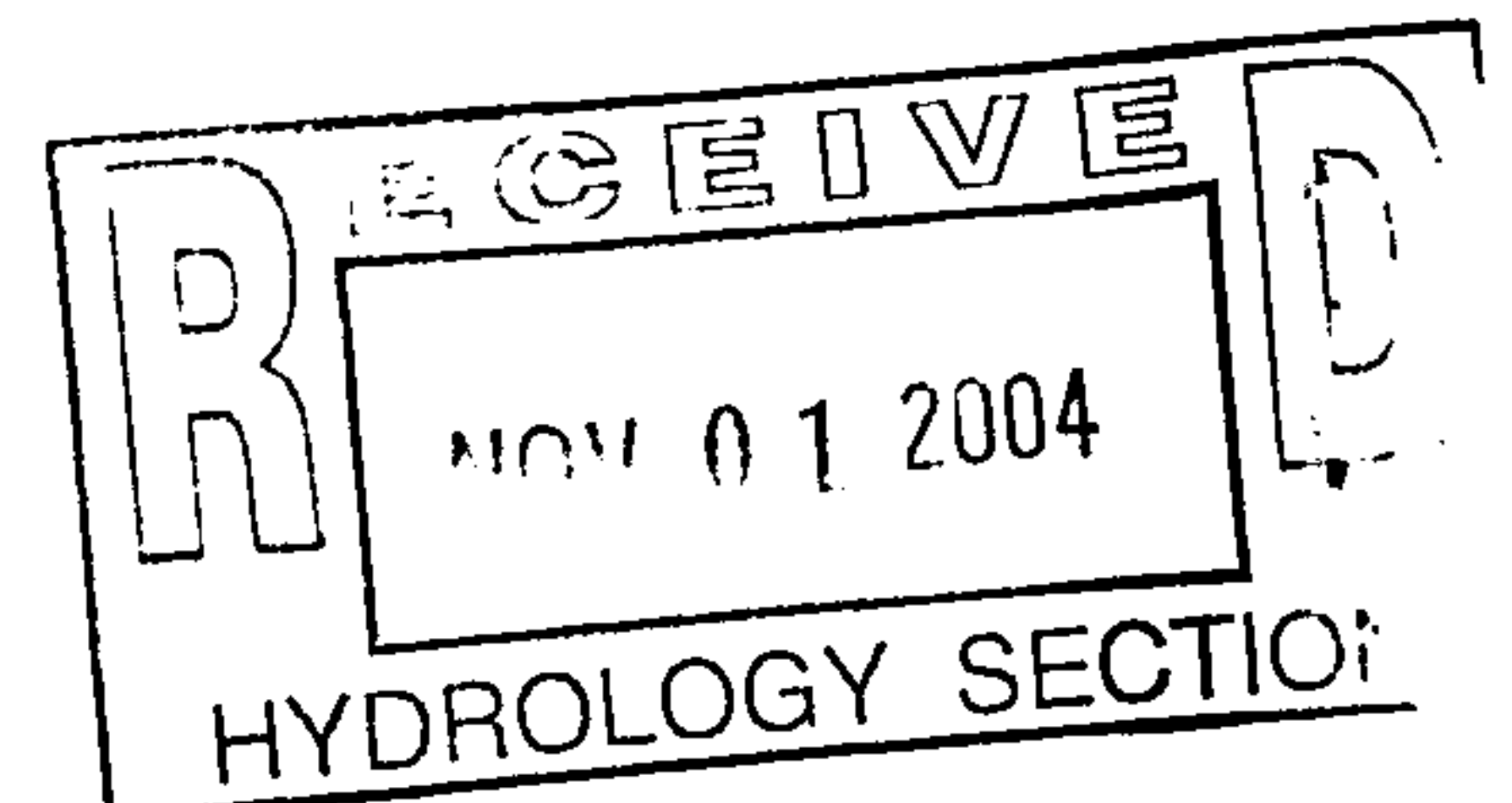


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Introduction .....3

Vicinity Map .....4

Existing Conditions .....5

Proposed Conditions .....5

Summary .....5

Appendix

Site Hydrology ..... A

Map Pockets

Site Grading and Drainage Plan

## PURPOSE

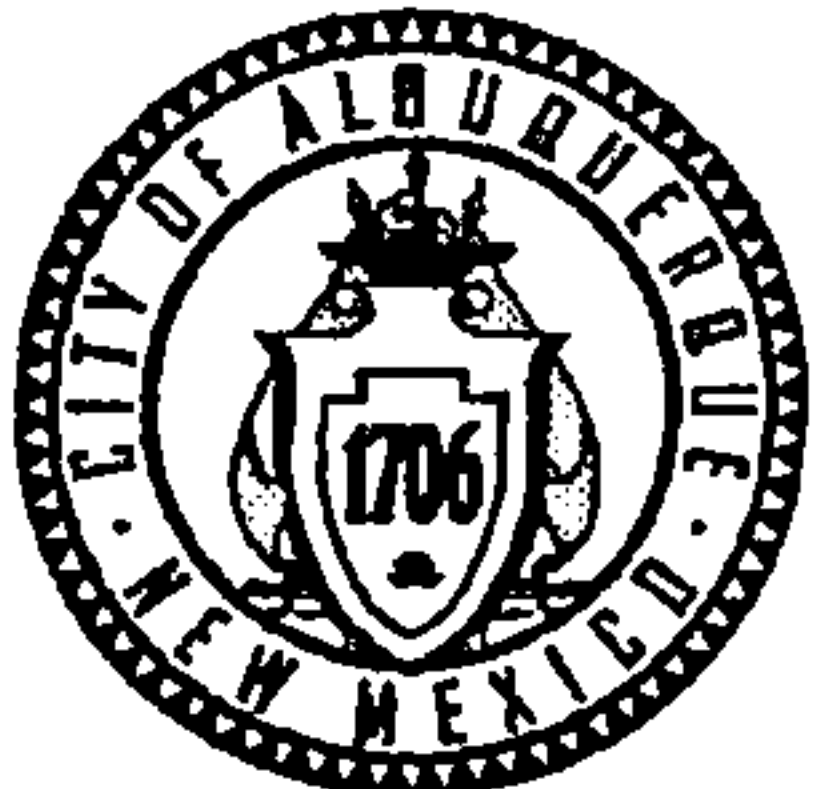
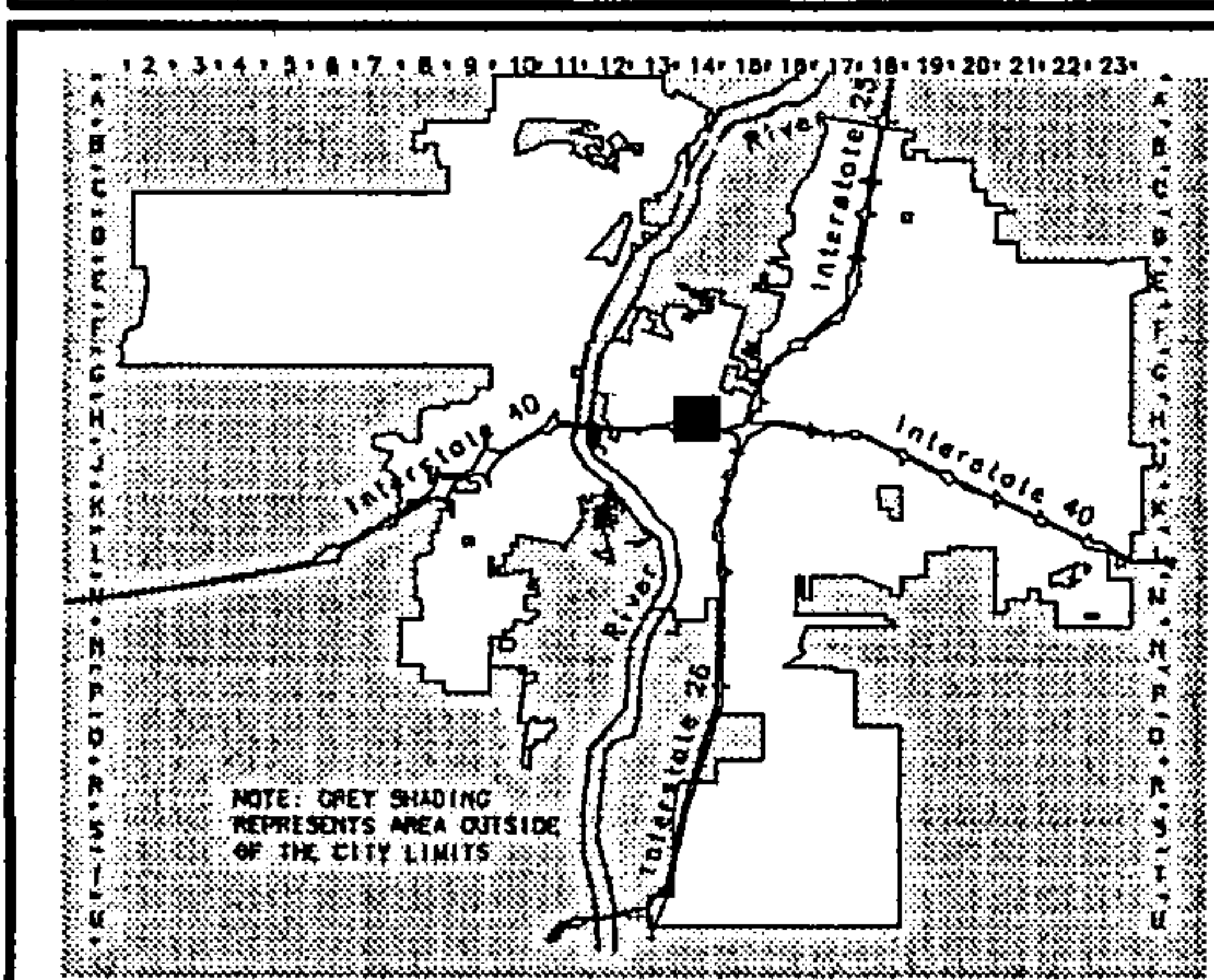
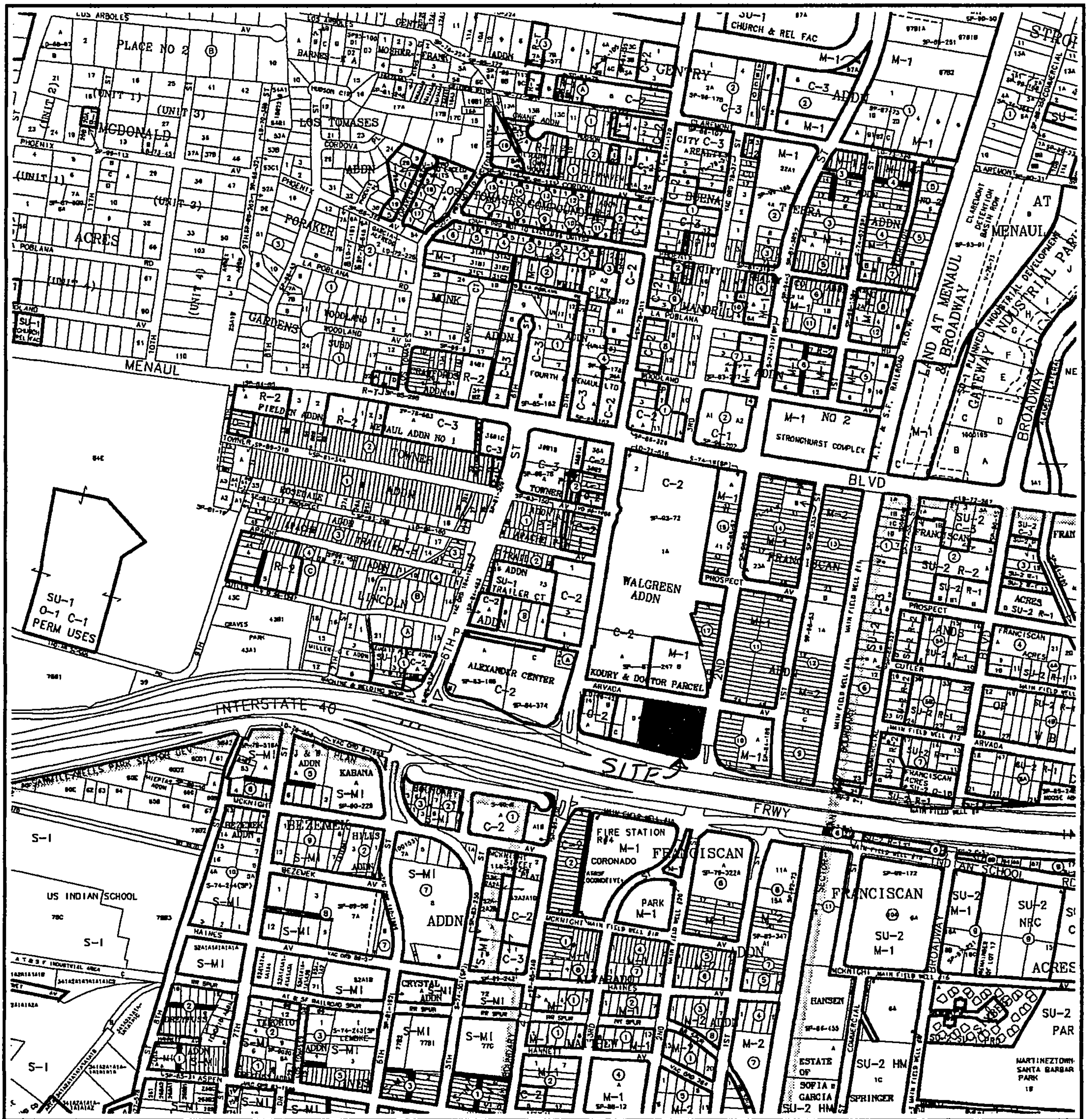
The purpose of this report is to provide the Drainage Management Plan for the development of 2001 and 2021 Second Street NW. The proposed development will consist of the remodel of an existing 10,700 square foot building and the construction of an additional 8,800 square foot building. The site contains 2.69 acres which consists of an existing Furr's restaurant. The remainder of the site is currently paved. This plan will identify the upstream and downstream hydraulic constraints affecting the subject property. This plan was prepared in accordance with the City of Albuquerque's Development Process Manual Drainage Criterion. This report will demonstrate that the proposed improvements do not adversely affect the surrounding properties, nor the upstream or downstream facilities.

## INTRODUCTION

The subject of this report, as shown on the Exhibit A - vicinity map, is a 2.69-acre parcel of land located on the west side of Second Street between Interstate 40 and Arvada Avenue NW. ~~The site is currently fully developed, and almost entirely impervious. The legal description of the parcel is Tracts A-1& B-1 of Two-Forty LLC Subdivision. The site is located in an older part of town and is surrounded by fully developed streets. The surrounding streets are designated as flood zone AO-1 foot as described by FIRM map 35001C0332E. No flows enter the site. The site~~ ~~currently discharges directly to the surrounding streets as well as to an onsite storm drain inlet~~ ~~that drains to the adjacent public storm drain system, the existing inlet and conduit appear to~~ function properly.

Due to the existing drainage facilities and the fact the site is fully developed, the redevelopment of the site shall maintain the existing drainage patterns and discharge less than the historical rate at the existing discharge points. Minor grading will be required to adjust the parking lot to the proposed building, and the existing parking lot will be overlaid.





Albuquerque Geographic Information System  
 PLANNING DEPARTMENT  
 © Copyright 2004



Zone Atlas Page

**H-14-Z**

Map Amended through February 03, 2004

EXHIBIT A



## EXISTING CONDITIONS

The site contains two drainage basins. As shown in Appendix A, Basin A contains 1.21 acres which discharge 5.59 cfs to the existing inlet located in the parking lot. Basin B contains 1.47 acres which discharge 6.77 cfs directly to Second Street through the existing driveway. The onsite grades vary between 0.3% – 3.0%. There no visual evidence that the existing drainage patterns have any negative impacts onsite or offsite. The surrounding streets contain a 1' AO flood zone. The existing finished floor is 2.01' above the highest adjacent street flow line grade. The site is currently fully developed. The site currently contains a 10,700 square foot building and its associated parking field, the site is almost entirely impervious.

## PROPOSED CONDITIONS

The proposed improvements consist of the remodel of the existing building and the addition of 8,800 square feet of new construction. The site will be divided into 2 drainage basins, which match the existing basins. Due to the addition of required landscaping, the developed flows are reduced from the existing rates. As shown in Appendix A, Basin A will discharge 5.41 cfs to the existing inlet, and basin B will discharge 6.57cfs at the existing driveway. In the proposed developed condition, the site is predicted to discharge a peak rate of 11.98 cfs to the surrounding public drainage facilities, which is less that the existing discharge rate of 12.36 cfs

## SUMMARY AND RECOMMENDATIONS

This project consists of the redevelopment of an existing fully developed site. The site is surrounded by streets that are fully developed. The surrounding streets contain flood zone AO-1'. the finished floor of both the existing and the proposed buildings are 2' above the highest adjacent flow line. The site is located within flood zone X<sub>3</sub> and is not impacted by any offsite flows. The site currently discharges 12.36 cfs to the surrounding public storm drainage systems during

a 100-year, 6-hour storm event. This flow is captured and conveyed downstream via City of Albuquerque Maintained facilities. The proposed development will discharge a peak rate of 11.98 cfs, while maintaining the existing drainage patterns. The grading plan and drainage report was prepared in conformance with the City of Albuquerque Development Process Manual's drainage criteria. The existing and proposed storm discharge rates have been calculated using the City of Albuquerque's Weighted E method as prescribed in the DPM. Since the proposed redevelopment of an existing site as shown within this plan do not adversely affects the upstream or downstream facilities, we recommend approval of the site-grading plan. Since this site encompasses more than 1 acre, a NPDES permit will be required prior to any construction activity.



# **APPENDIX A**

## **SITE HYDROLOGY**



This map is for use in establishing the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly in rural drainage basins or small cities. The community map repeatably should be corrected for possible updates or additional land use information.

To obtain more detailed information to assist when these Fixed Investments are sold, the following information has been determined, being so encouraged by the fact that the above information is not available to the general public. The above information is not to be used for any purpose other than that intended for the FPI's investment record. These FPI's are not intended for fixed investments with purposes other and should not be used as the sole source of fixed investment information. Accordingly, detailed information has been provided in the FPI report shall be added in conjunction with the FPI for purposes of investment rather than through management.

[illegible]

The preparation used in the preparation of the map was Unimark Transverse Mercator (UTM) zone 33. The horizontal datum was NAD 83, GRS80 spheroid. Coordinates in x, y, z, spherical, projection or UTM are used in the production of prints for regional laboratories may result in slight numerical differences in map features versus published literature. These differences do not affect the accuracy of the print.

Pinel elevations on this map are referenced to the North American Vertical Datum of 1988. There may be elevations that are reported to different datum and figured elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1988 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at [nads.noaa.gov](http://nads.noaa.gov) or email the National Geodetic Survey at [NGS@noaa.gov](mailto:NGS@noaa.gov).

**Special Reference System Division**  
National Graduate Survey, NOAA  
Baker Spring Lakes Center  
1316 East-West Highway  
Baker Spring, Maryland 20819  
0001715-2101

To obtain current identities, descriptions, and/or location information about the boards within effect on this date, please contact the Information Services Section of the National Geographic Society at (202) 715-2622, or visit the website at [www.nationalgeographic.org](http://www.nationalgeographic.org).

The two studies were divided up by stream channel characteristics and then shown to occur on the mountain peak for 500 kilometers. The researchers also discovered that some treatments that the mountain peak may have been exposed to were associated with the mountain peak may have been exposed to. As a result, the researchers found that the mountain peak may have been exposed to. As a result, the researchers found that the mountain peak may have been exposed to.

Corporate liability claims in this map are based on the last date available at the time of publication. Insurance changes due to reinsurance or other circumstances may have occurred after this map was published. Map labels are based on the information currently available to the publisher. The publisher does not warrant the accuracy of the information.

Please order to the separately priced map below. For an overview map of the country showing the layout of the parks, consult any map regularly addressed to the National Geographic Society, Washington, D.C. 20037. The National Geographic Society and a Listing of Characteristics Maps, including National Forest Program maps, are available for each country as well as a listing of the parks on which each country is based.

Contact the PIMA Map Service Center at 1-800-365-3747 for information on available products associated with the PIMA. Available products may include products, Internet Library of Map Catalog, a Post Services Data Report, and/or digital versions of the map. The PIMA Map Service Center may also be reached by Fax at 1-800-365-0259 and their website at <http://www.pima.gov/arcgis>.

If you have questions about this map or questions regarding the Midwestern Road Insurance Program, please call 1-877-FRMA-ROAD (1-877-366-3267) or visit the FRMA website at [www.firma.com](http://www.firma.com).

The 1% annual chance flood, also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard areas in Special Flood Hazard Insurance Policy are based on the 1% annual chance flood. Areas of Special Flood Hazard include Zone A (1%, 10%, 25%, 50%, 100%, 200%, 500, 1000, 2000, 5000, 10000, 20000, 50000, 100000, 200000, 500000, 1000000, 2000000, 5000000, 10000000, 20000000, 50000000, 100000000, 200000000, 500000000, 1000000000, 2000000000, 5000000000, 10000000000, 20000000000, 50000000000, 100000000000, 200000000000, 500000000000, 1000000000000, 2000000000000, 5000000000000, 10000000000000, 20000000000000, 50000000000000, 100000000000000, 200000000000000, 500000000000000, 1000000000000000, 2000000000000000, 5000000000000000, 10000000000000000, 20000000000000000, 50000000000000000, 100000000000000000, 200000000000000000, 500000000000000000, 1000000000000000000, 2000000000000000000, 5000000000000000000, 10000000000000000000, 20000000000000000000, 50000000000000000000, 100000000000000000000, 200000000000000000000, 500000000000000000000, 1000000000000000000000, 2000000000000000000000, 5000000000000000000000, 10000000000000000000000, 20000000000000000000000, 50000000000000000000000, 100000000000000000000000, 200000000000000000000000, 500000000000000000000000, 1000000000000000000000000, 2000000000000000000000000, 5000000000000000000000000, 10000000000000000000000000, 20000000000000000000000000, 50000000000000000000000000, 100000000000000000000000000, 200000000000000000000000000, 500000000000000000000000000, 1000000000000000000000000000, 2000000000000000000000000000, 5000000000000000000000000000, 10000000000000000000000000000, 20000000000000000000000000000, 50000000000000000000000000000, 100000000000000000000000000000, 200000000000000000000000000000, 500000000000000000000000000000, 1000000000000000000000000000000, 2000000000000000000000000000000, 5000000000000000000000000000000, 10000000000000000000000000000000, 20000000000000000000000000000000, 50000000000000000000000000000000, 100000000000000000000000000000000, 200000000000000000000000000000000, 500000000000000000000000000000000, 1000000000000000000000000000000000, 2000000000000000000000000000000000, 5000000000000000000000000000000000, 10000000000000000000000000000000000, 20000000000000000000000000000000000, 50000000000000000000000000000000000, 100000000000000000000000000000000000, 200000000000000000000000000000000000, 500000000000000000000000000000000000, 1000000000000000000000000000000000000, 2000000000000000000000000000000000000, 5000000000000000000000000000000000000, 10000000000000000000000000000000000000, 20000000000000000000000000000000000000, 50000000000000000000000000000000000000, 100000000000000000000000000000000000000, 200000000000000000000000000000000000000, 500000000000000000000000000000000000000, 1000000000000000000000000000000000000000, 2000000000000000000000000000000000000000, 5000000000000000000000000000000000000000, 100, 200, 500, 1000, 2000, 5000, 100, 200, 500, 1000, 2000, 5000, 100, 200, 500, 1000, 2000, 5000, 100, 200, 500, 1000, 2000, 5000, 100, 200, 500, 1000, 2000000000000




[illegible]

**2008 V**  
**2008 Y**  
**2008 V**  
**2008 Y**

**FLORIAN/ALICE IN 2008 AT**

The company is now offering a 30-day free trial option. Customers must be ready to buy the software by the end of the trial period. Customers must be ready to buy the software by the end of the trial period. Customers must be ready to buy the software by the end of the trial period.

**OTHER FLOOD AREAS**  
 Areas of L275 gravel stream flood zone of 1% gravel stream bed with average depths of less than 1 foot or with bridge spans less than 100 feet and more protected by levees than 7% gravel stream flood zone.

	<b>CONCRETE, BARRELS, INSURANCES, ETC.</b> (CONG. AKAAS)
	<b>CONCRETE, BARRELS, INSURANCES, ETC.</b> (CONG. AKAAS)
	<b>CONCRETE, BARRELS, INSURANCES, ETC.</b> (CONG. AKAAS)

[illegible][illegible][illegible]

**USE INFORMATION**  
This is listing of key requirements on being issued  
**CRITICAL DATA OF COLLECTIVE**

**FLOOD BELIEVED POKE UP**  
September 26, 1999

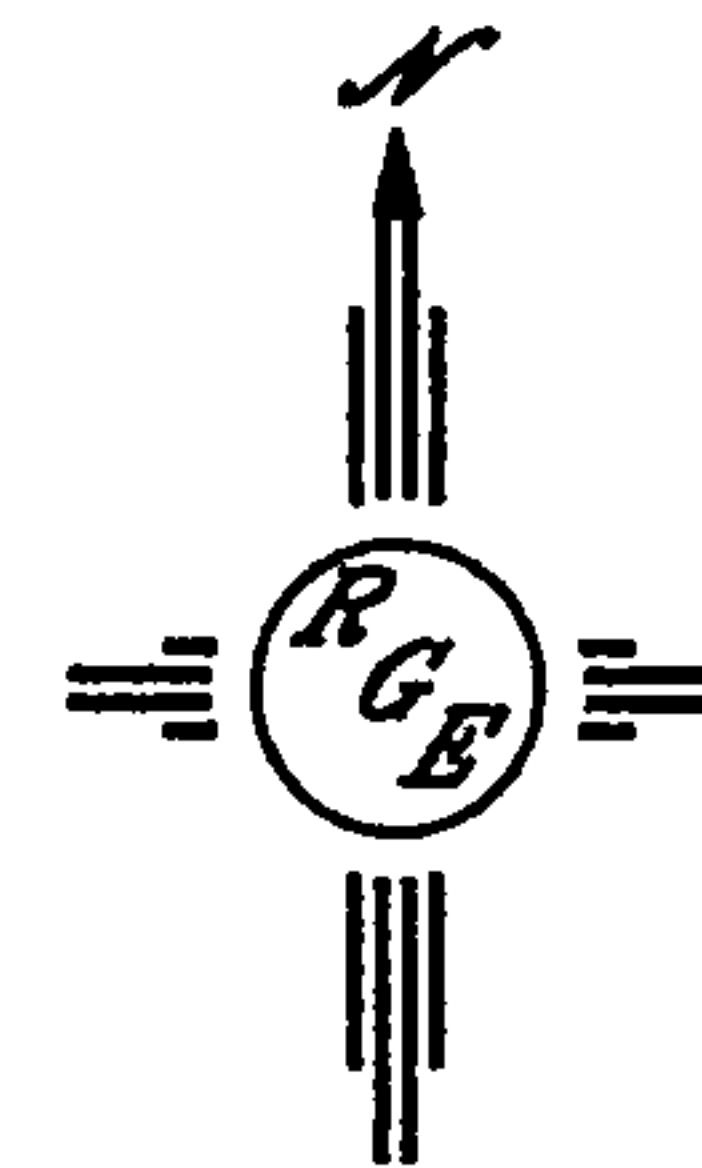
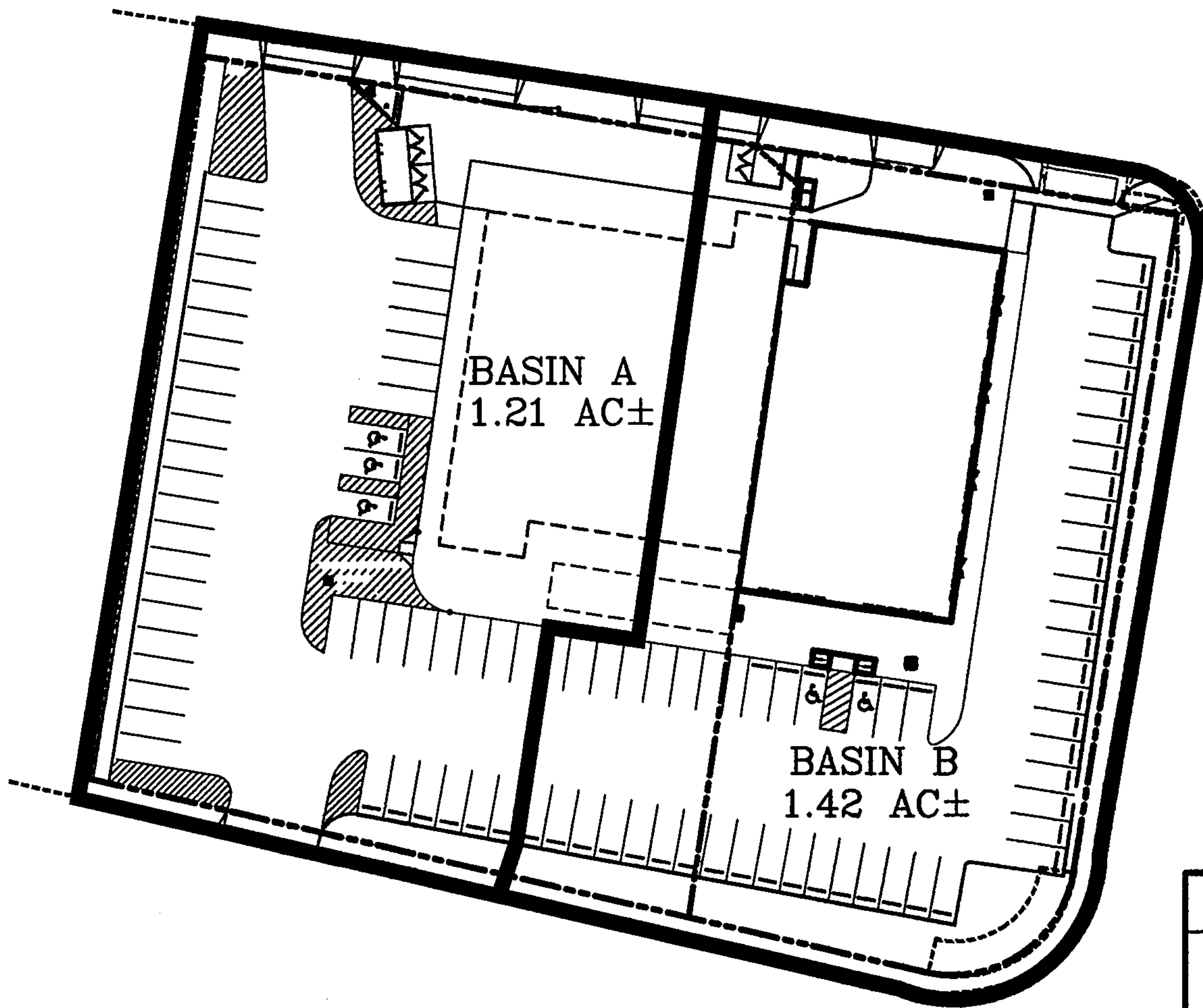
For constantly high market liquidity rates to be sustainable, there has to be some way to ensure that the market is not flooded with new issues. The market is not flooded with new issues because of the high cost of issuing new issues. The market is not flooded with new issues because of the high cost of issuing new issues.

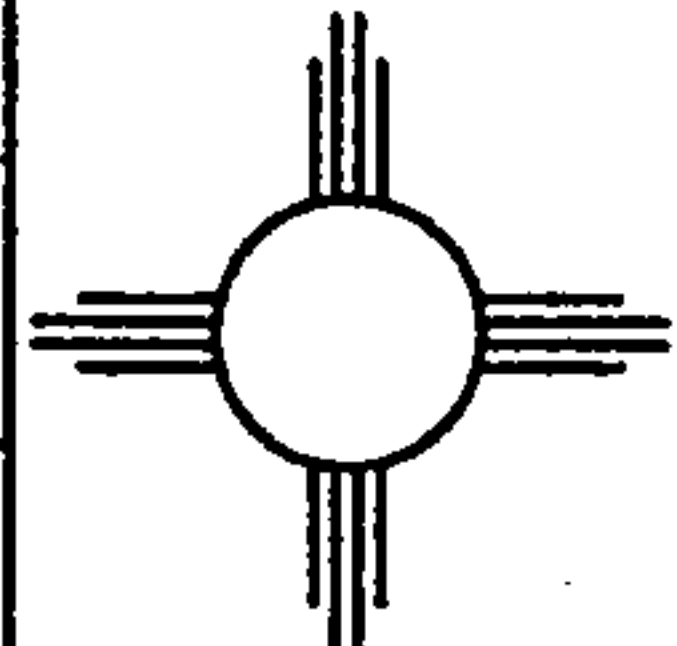
11

[illegible]

**MAP NUMBER**  
3006103322  
**MAP REFERENCE**  
NOVEMBER 13, 2003





ENGINEER'S SEAL	2021 SECOND STREET & 2001 SECOND STREET	DRAWN BY WCHJ
	BASIN EXHIBIT	DATE 11-01-04
		2461-BASIN-10-22-04X
	 <b>Rio Grande Engineering</b> 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0888	SHEET # —
DAVID SOULE P.E. #14522		JOB # 2461



## Weighted E Method

### Existing Basins

											100-Year		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
A	52707.60	1.210	0%	0	0%	0.000	5%	0.0605	95%	1.150	2.071	0.209	5.59
B	64033.20	1.470	0%	0	0%	0.000	6%	0.0882	94%	1.382	2.061	0.252	6.77
Total	116740.80	2.680		0		0.000		0.1487		2.531		0.461	12.36

### Proposed Developed Basins

											100-Year, 6-hr.			10-day
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
			%	(acres)	%	(acres)	%	(acres)	%	(acres)				
A	52707.60	1.210	0%	0	5%	0.061	7%	0.0847	88%	1.065	1.984	0.200	5.41	0.342
B	64033.20	1.470	0%	0	5%	0.074	7%	0.1029	88%	1.294	1.984	0.243	6.57	0.415
Total	116740.80	2.680		0		0.134		0.1876		2.358		0.443	11.98	0.76

### Equations:

Weighted E =  $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$  / (Total Area)

Volume = Weighted E \* Total Area

Flow =  $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm

$E_a = 0.53$

$E_b = 0.78$

$E_c = 1.13$

$E_d = 2.12$

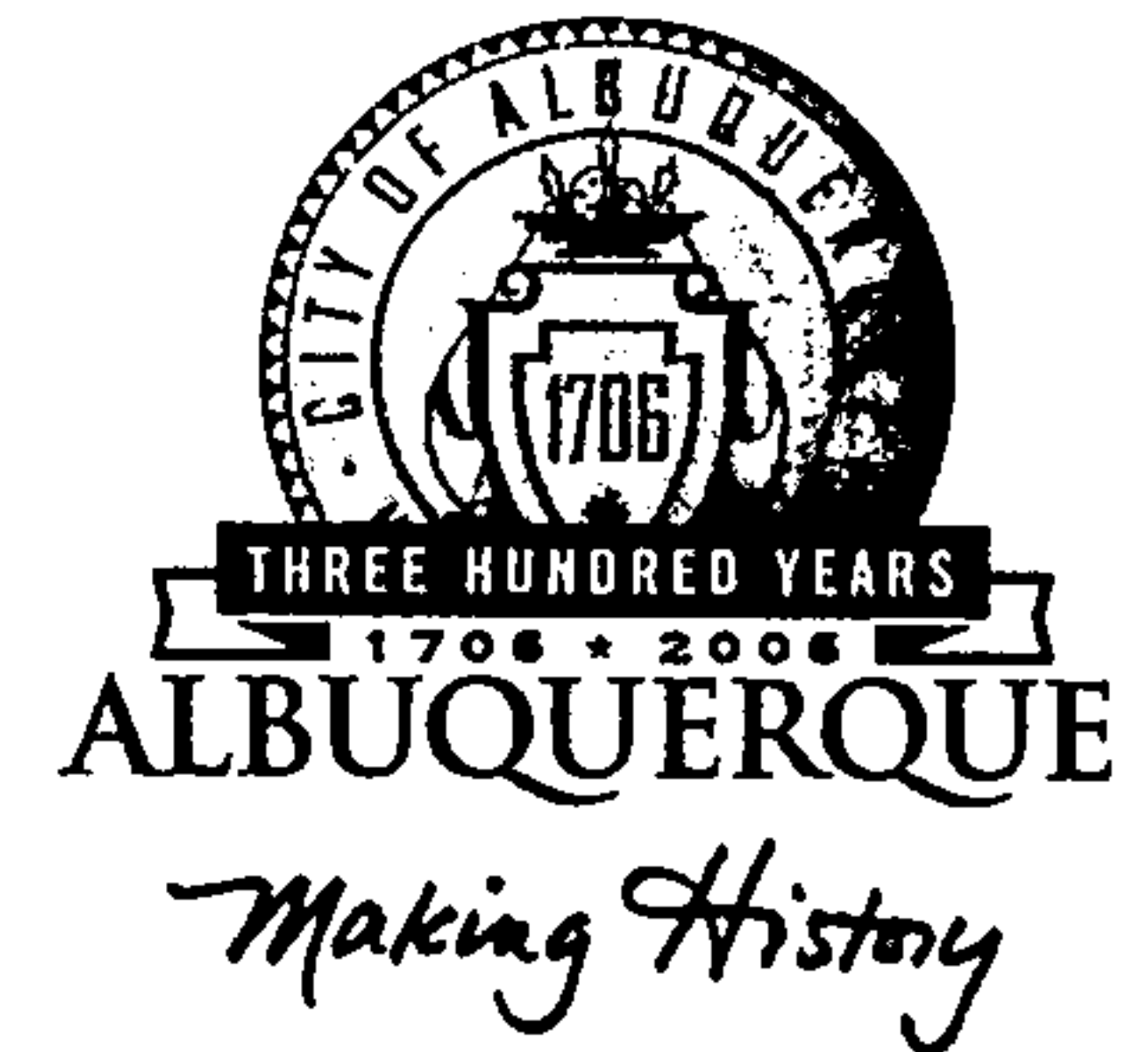
$Q_a = 1.56$

$Q_b = 2.28$

$Q_c = 3.14$

$Q_d = 4.7$

# CITY OF ALBUQUERQUE



January 4, 2005

James Clark III, R.A.  
Masterworks Architects, Inc.  
4200 Wyoming Blvd. NE  
Albuquerque, NM 87111

Re: 240 LLC, 2001/2010 2nd Street NW, Traffic Circulation Layout  
Architect's Stamp dated 12-29-04 (H14-D70)

Dear Mr. Clark,

The TCL submittal received 12-29-04 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

P.O. Box 1293

Albuquerque

New Mexico 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

cc: file



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Two Forty LLC ZONE MAP/DRG. FILE #: H 14 / D70  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACTS A and B, 240 LLC Subdivision  
 CITY ADDRESS: 2001 / 2010 2nd Street NW, ABQ

ENGINEERING FIRM: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

OWNER: 240, LLC  
 ADDRESS: 4200 Wyoming Blvd NE Ste A-19  
 CITY, STATE: ABQ, NM

CONTACT: Roger Smith  
 PHONE: 294-1525  
 ZIP CODE: 87111

ARCHITECT: Masterworks Architects, Inc  
 ADDRESS: 4200 Wyoming Blvd NE Ste B-1  
 CITY, STATE: ABQ, NM

CONTACT: Jimi Clark  
 PHONE: 242-1866  
 ZIP CODE: 87111

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ **TRAFFIC CIRCULATION LAYOUT (TCL)**
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

Resubmittal #2

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ **BUILDING PERMIT APPROVAL**
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

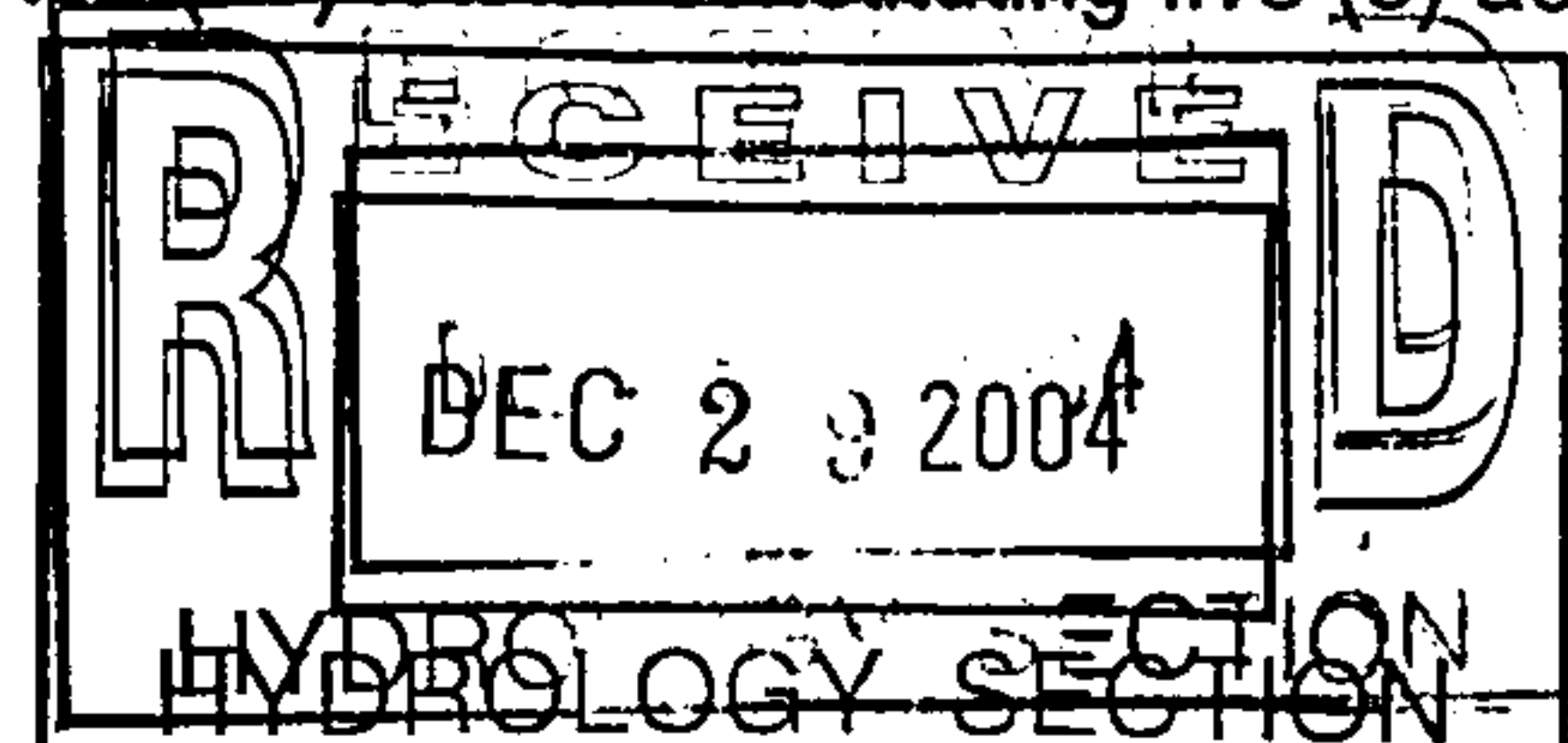
## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 29 Dec 04 BY: James B Clark, Masterworks Architects Inc

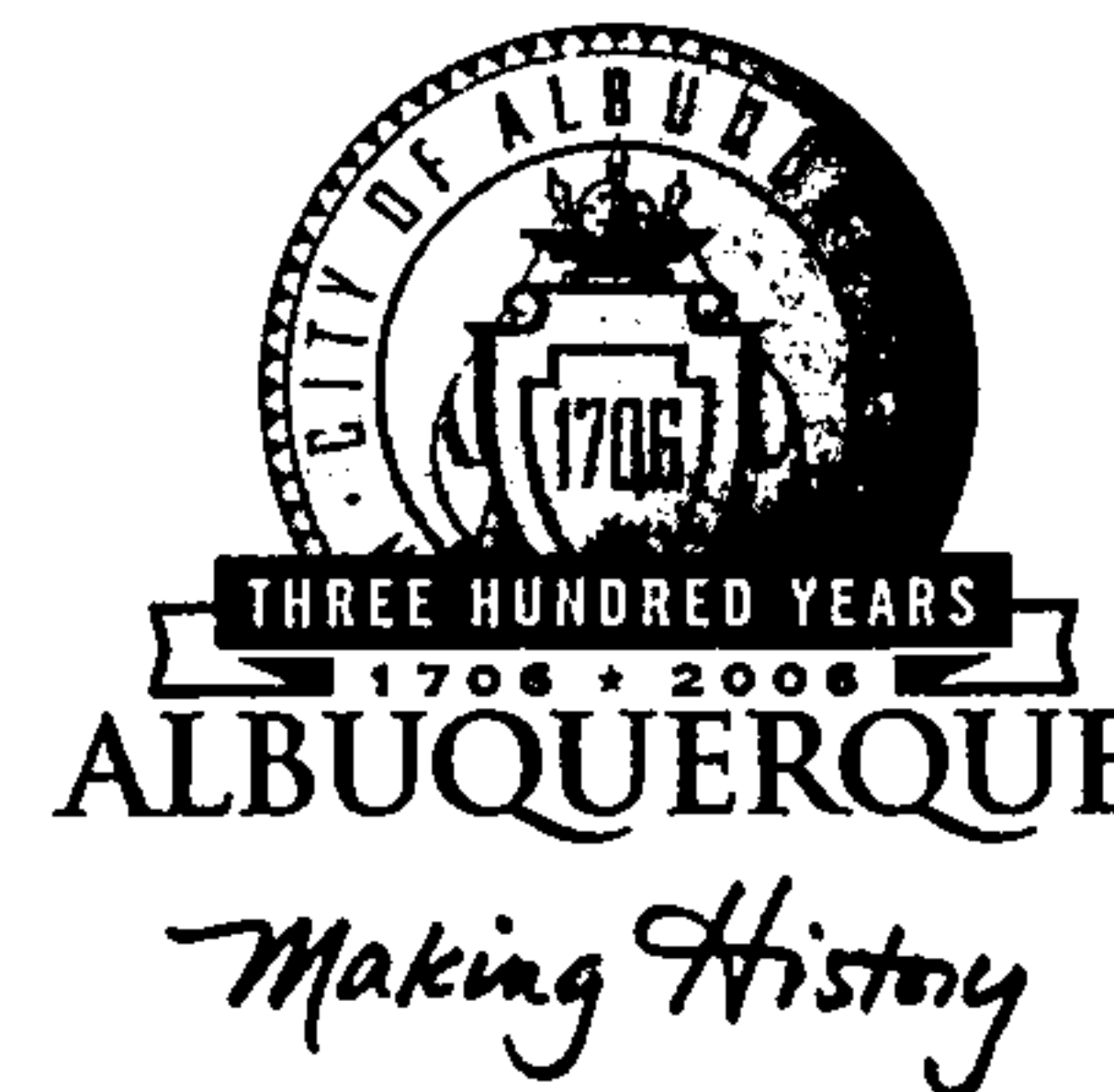
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





# CITY OF ALBUQUERQUE



December 14, 2004

James Clark III, R.A.  
Masterworks Architects, Inc.  
4200 Wyoming Blvd. NE  
Albuquerque, NM 87111

**Re: 240 LLC, 2001/2010 2<sup>nd</sup> Street NW, Traffic Circulation Layout  
Architect's Stamp dated 12-09-04 (H14-D70)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 12-09-04, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

1. As separate parcels of land, Tracts A and B must have separate parking requirements. Although the two sites meet the required number of total parking spaces, Tract A individually does not meet the parking requirements. To have the required parking spaces located on a separate lot, you will need approval from the Zoning Department.
2. Please close the drive located on Second Street.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: 2001/2025 Second Two Forty LLC ZONE MAP/DRG. FILE #: H14 / D70  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACTS A and B, 240 LLC Subdivision  
 CITY ADDRESS: 2001 / 2010 2nd Street NW, ABQ

ENGINEERING FIRM: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

OWNER: 240, LLC  
 ADDRESS: 4200 WYOMING BLVD NE Ste A-19  
 CITY, STATE: ABQ, NM

CONTACT: ROGER SMITH  
 PHONE: 294-1525  
 ZIP CODE: 87111

ARCHITECT: MASTERWORKS ARCHITECTS INC.  
 ADDRESS: 4200 WYOMING BLVD NE Ste B-1  
 CITY, STATE: ABQ, NM

CONTACT: JIM CLARK  
 PHONE: 242-1866  
 ZIP CODE: 87111

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

Resubmittal

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

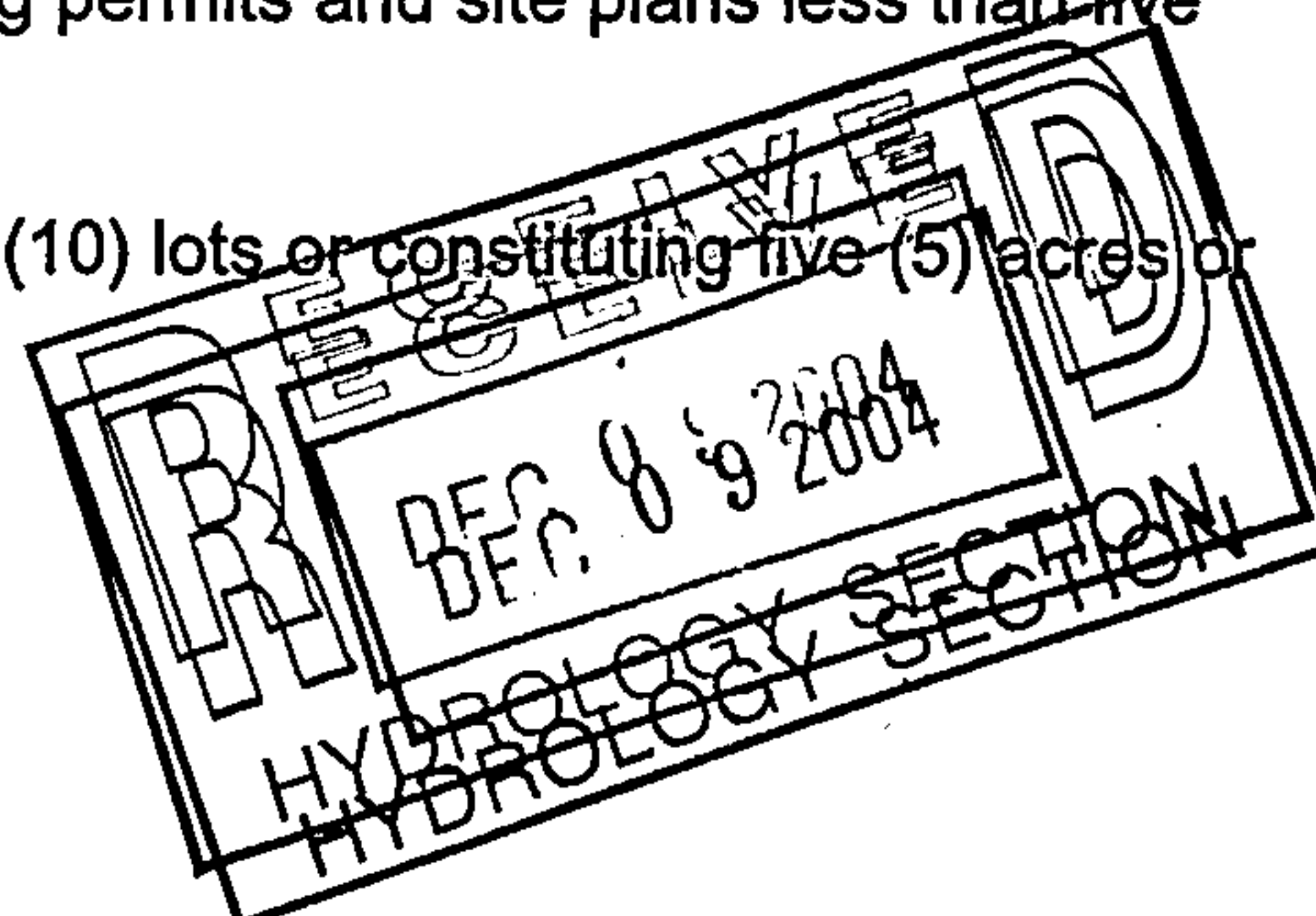
## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

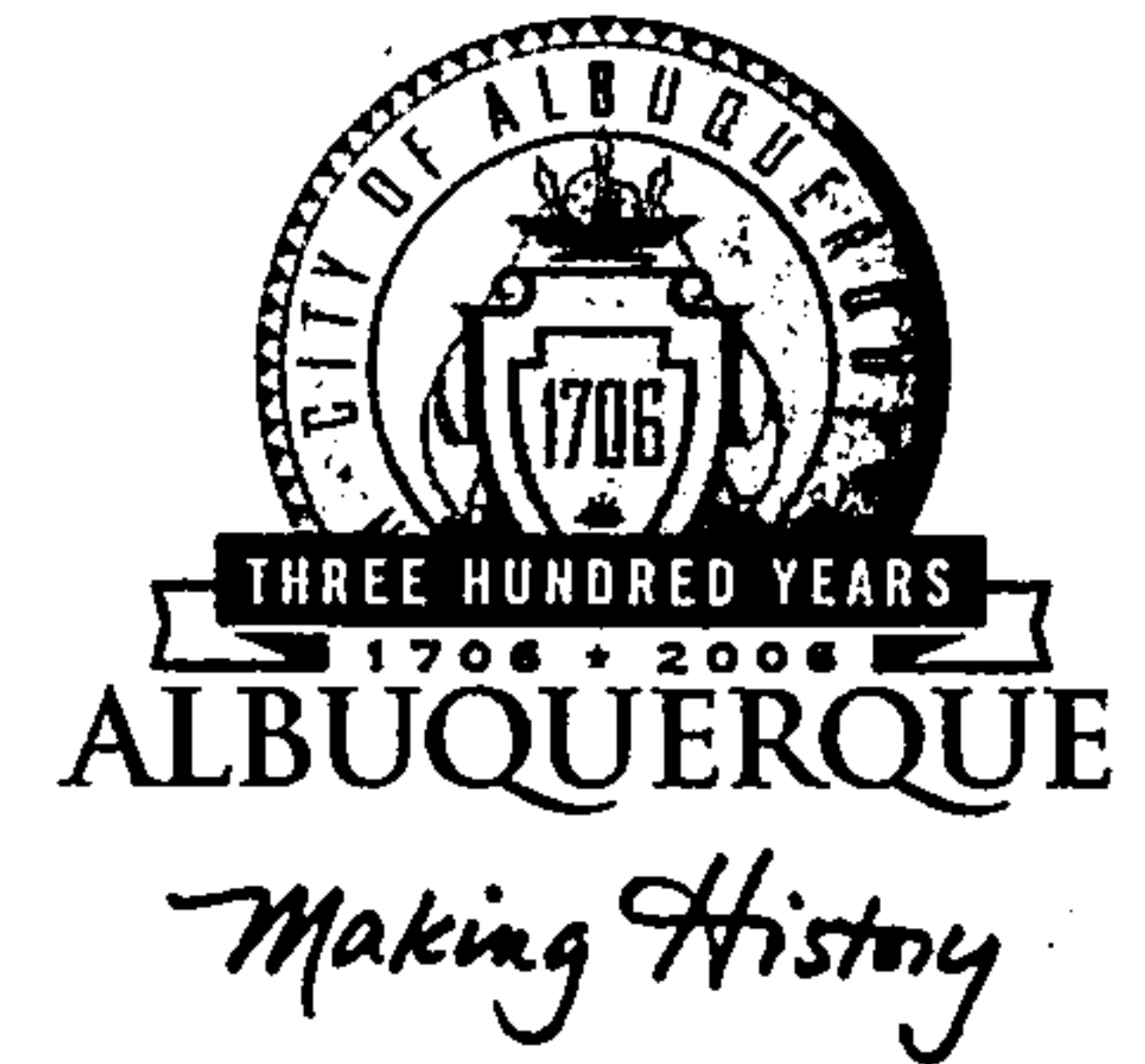
DATE SUBMITTED: 9 Dec 2004 BY: James B Clark Masterworks Architects Inc

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



October 14, 2004

James Clark III, R.A.  
Masterworks Architects, Inc.  
4200 Wyoming Blvd. NE  
Albuquerque, NM 87111

**Re: 240 LLC, 2001/2010 2<sup>nd</sup> Street NW, Traffic Circulation Layout**  
**Architect's Stamp dated 10-08-04 (H14-D70)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 10-08-04, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

1. As separate parcels of land, Tracts A and B must have separate parking calculations.
- ✓ 2. When the premises contain more than 20 spaces, up to 25% of those spaces can be compact car spaces. Therefore, Tract A has more compact parking spaces than permitted.
- ✓ 3. Provide a cross lot access easement.
- ✓ 4. Parking spaces cannot cross over the lot lines.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: file



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: 240, LLC ZONE MAP/DRG. FILE #: H-14/D070  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACTS A & B, Two Forty LLC Subdivision  
CITY ADDRESS: 2001 / 2010 2nd St. NW, ABQ

ENGINEERING FIRM: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: 240, LLC  
ADDRESS: 4200 WYOMING NE Ste A-19  
CITY, STATE: ABQ, NM

CONTACT: Roger Smith  
PHONE: \_\_\_\_\_  
ZIP CODE: 87111

ARCHITECT: MASTERWORKS ARCHITECTS INC.  
ADDRESS: 4200 WYOMING NE Ste B-1  
CITY, STATE: ABQ NM

CONTACT: Jim Clark jim@masterworksarchitects.com  
PHONE: 242-1866  
ZIP CODE: 87111

SURVEYOR: HARRIS SURVEYING INC.  
ADDRESS: 2412-D Monroe NE  
CITY, STATE: ABQ, NM

CONTACT: Anthony Harris  
PHONE: 87111  
ZIP CODE: 881-8056

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

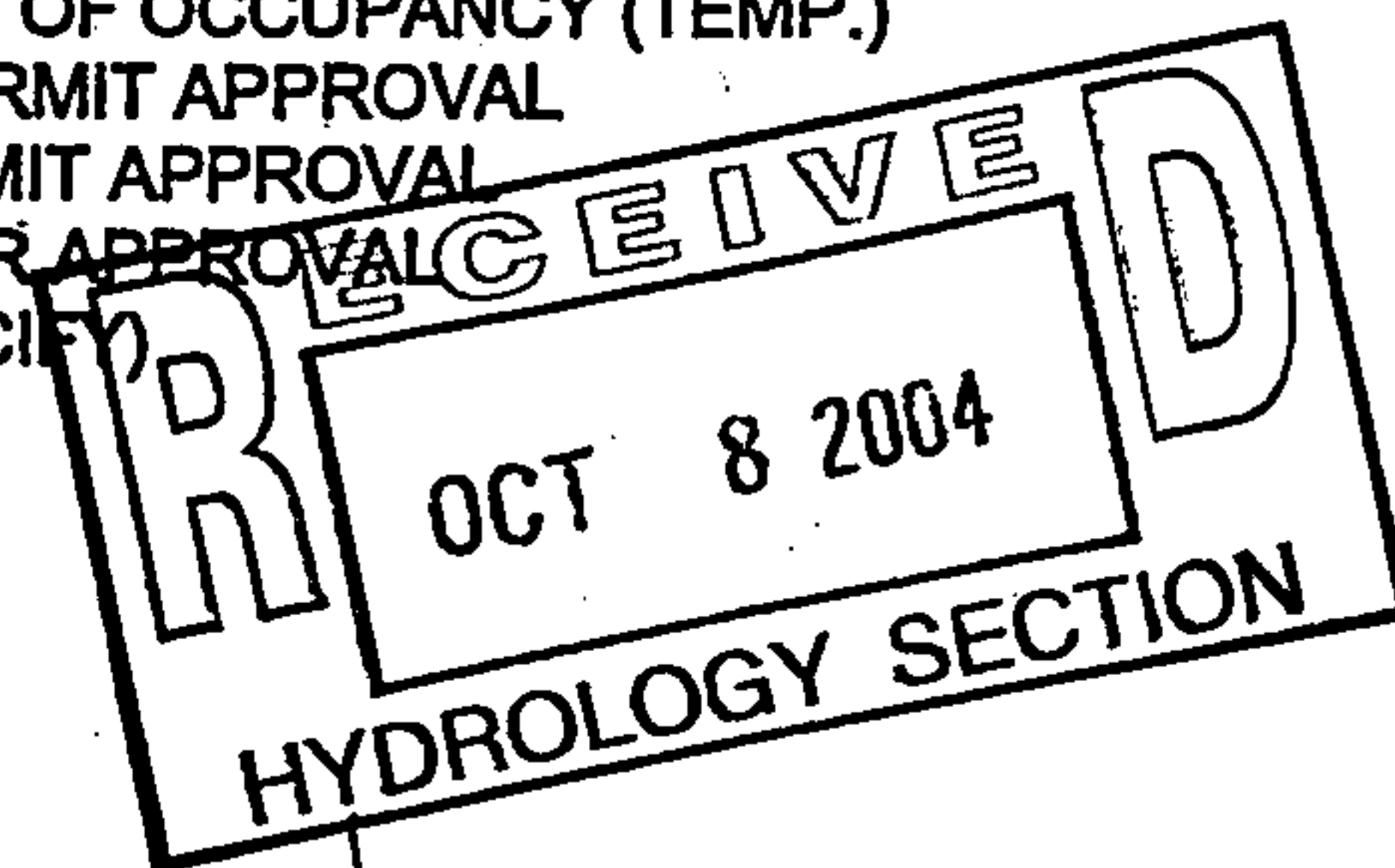
## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☒ COPY PROVIDED

DATE SUBMITTED: 8 Oct 04 BY: James B. Clark, Agent

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



Separate Tract A's parking  
& Tract B's parking  
also separately

Need cross lot access easement

Parking spaces can't cross over lot line.

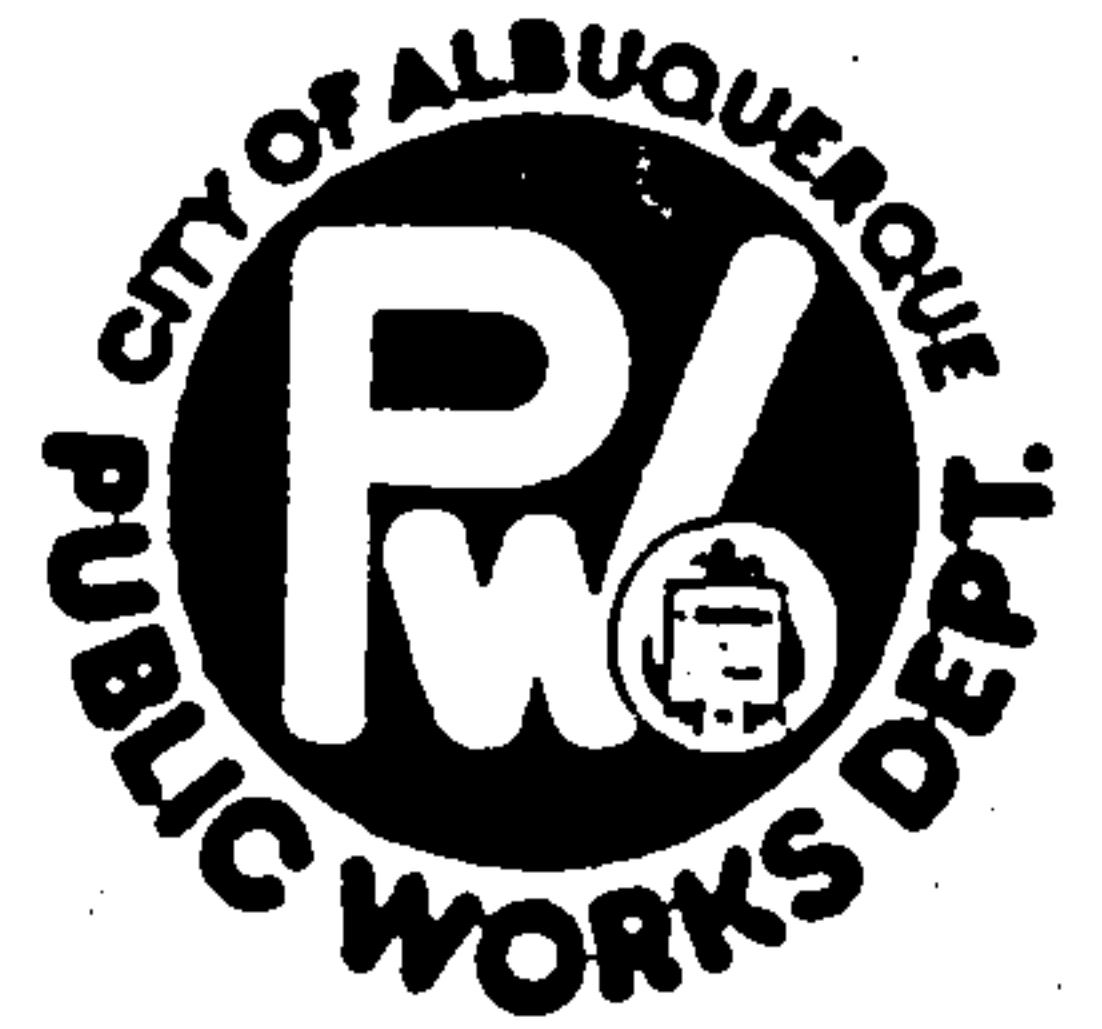
— 1/6 compact parking allowed

~~Refer~~



FILE COPY

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT



INTER-OFFICE CORRESPONDENCE

January 16, 1991

ENGINEERING GROUP

TO: Desiderio Salas; Street Maintenance Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Group/PWD

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT  
FURR'S CAFETERIA NUMBER 164 (H-14/D70)

---

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the S.O. #19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off S.O. #19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Attachment

900962

DRAINAGE INFORMATION SHEET

PROJECT TITLE: FURR'S CAFETERIA  
No. 164 ZONE ATLAS/DRNG. FILE #: H14/D70  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
LEGAL DESCRIPTION: PORTIONS OF TRACTS 7A1B, 7A1C, 7B, MERGED MAP  
CITY ADDRESS: 2001 2ND ST. NW No 36  
ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: JEFF MORTENSEN  
ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250  
OWNER: FURR'S CAFETERIA CONTACT: ARCHITECT  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
ARCHITECT: MARK HARBERTS - ARCHITECT CONTACT: MARK HARBERTS  
ADDRESS: 2001 CARLISLE NE PHONE: 268-1234  
SURVEYOR: JEFF MORTENSEN & ASSOC CONTACT: JEFF MORTENSEN  
ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250  
CONTRACTOR: NOT SELECTED CONTACT: N/A  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

TYPE OF SUBMITTAL:

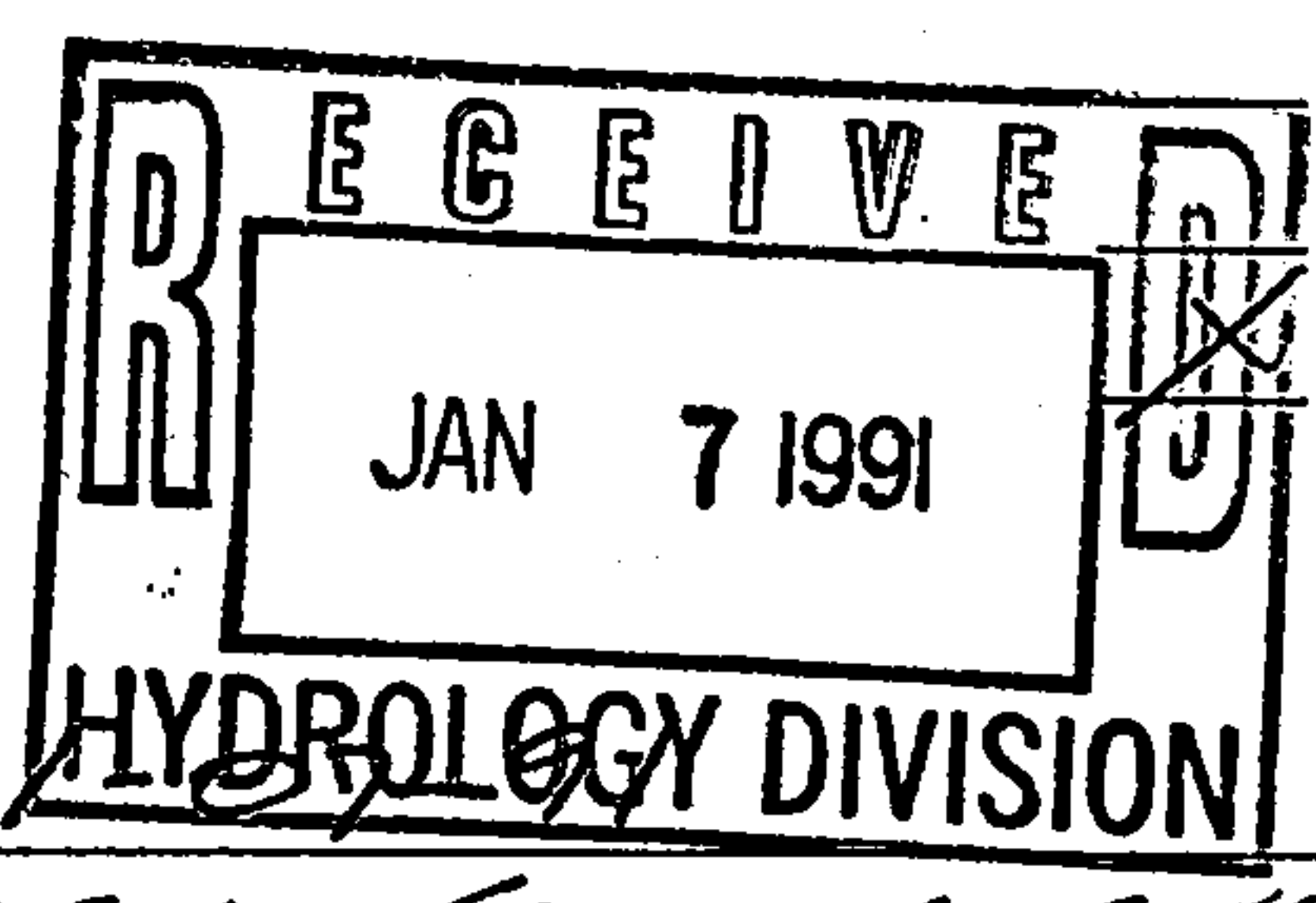
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER SO #19 (SPECIFY)



DATE SUBMITTED: 01/07/91  
BY: JEFFREY G. MORTENSEN



FILE COPY



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 10, 1991

Jeff Mortensen, P.E.  
Jeff Mortensen & Associates, Inc.  
6010-B Midway Park Boulevard, NE  
Albuquerque, New Mexico 87109

RE: DRAINAGE PLAN FOR FURR'S CAFETERIA NO. 164  
(H-14/D70) ENGINEER'S STAMP DATED JANUARY 4, 1991

Dear Mr. Mortensen:

Based on the information provided on your submittal of January 7, 1991, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

Also, a separate permit is required for construction within City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

*for Bernie J. Montoya*  
Fred J. Aguirre, P.E.  
Hydrologist

xc: Darlene Saavedra

BJM:FJA/bsj  
(WP+2422)xc:Dar

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.  
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER