

# LEGEND

- EXISTING FENCE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED PERIMETER WALL
- PROPOSED RETAINING WALL
- EXISTING PERIMETER WALL
- EXISTING RAILROAD RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CENTERLINE

DRAINAGE CERTIFICATION WITH SURVEY WORK BY OTHER  
12/12/01  
PARTIAL  
DRAINAGE CERTIFICATION  
FOR TEMPORARY CERTIFICATE OF OCCUPANCY

I, DAVID SOULE, NMPE 14522, OF THE FIRM RIO GRANDE ENGINEERING, HERBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11-19-04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY PRESTON HALL, NMPS 10042, OF THE FIRM HALL SURVEYING COMPANY. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2/25/06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF TEMPORARY CERTIFICATE OF OCCUPANCY.

THE PROPOSED SIDEWALK CULVERTS HAVE NOT BEEN CONSTRUCTED. PRIOR TO FINAL CERTIFICATION, SIDEWALK CULVERTS MUST BE CONSTRUCTED AND ALL ON-SITE WATER SHALL BE DIRECTED TO THIS OUTFALL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY PARTIAL/TEMPORARY LEVEL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. IT IS RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF THE ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

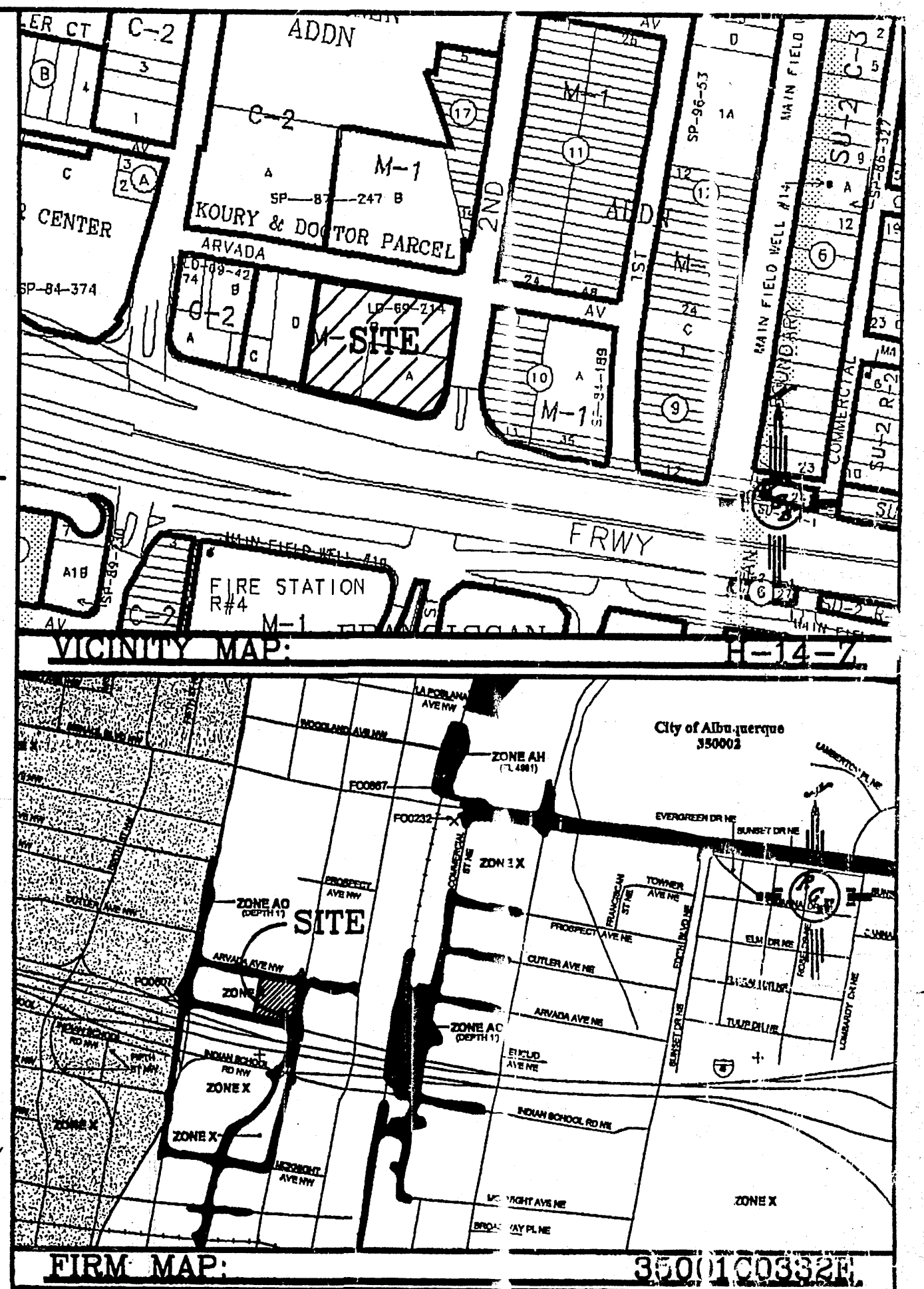
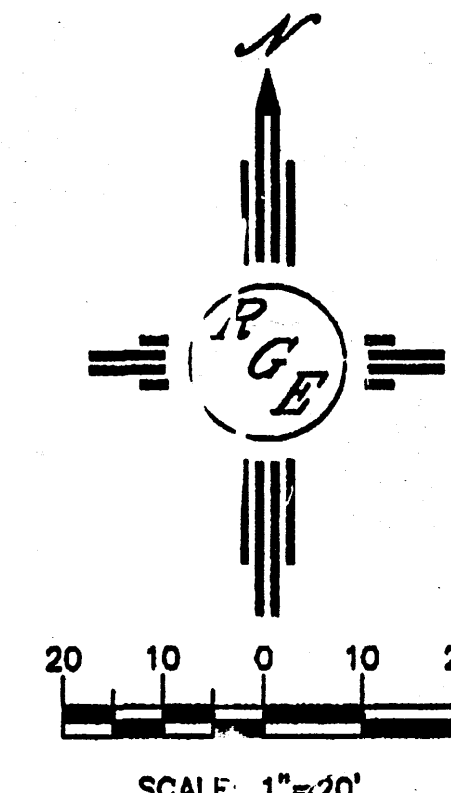
DAVID SOULE  
NMPE 14522  
RIO GRANDE ENGINEERING  
11/19/04

Existing onsite storm drain system?

BUILD 3'-2" SIDEWALK CULVERTS  
PER COA STD DWG #2235  
INV IN=4962.53  
INV OUT=4961.98  
TO BE CONSTRUCTED UNDER  
THE COA SO-19 PROCESS  
Developer must complete SO19 and direct all Developer's discussion to current location.

## EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



## LEGAL DESCRIPTION:

TRACTS A-1, B-1, TWO-FORTY LLC SUBDIVISION

## NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER TO BE HEADER PER COA STD DWG #2145A UNLESS OTHERWISE NOTED.
- EX. BUILDING TO REMAIN.
- REMOVE ALL EX. CURB AND ASPHALT AS NEEDED.
- EX. PERIMETER AND RAILROAD TIE WALLS TO REMAIN.
- SEE SITE PLAN FOR ALL SITE GEOMETRY.

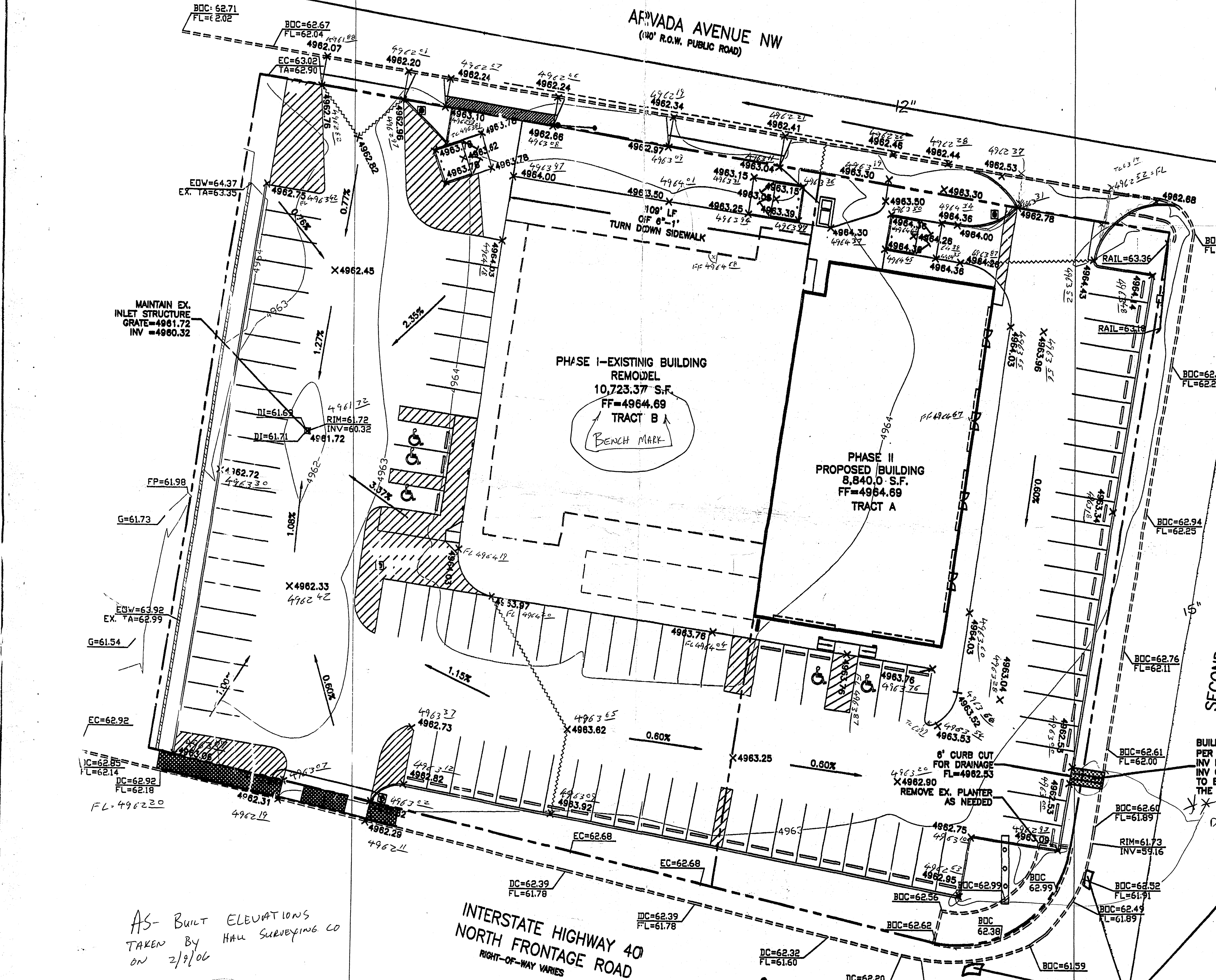
## NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1995.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

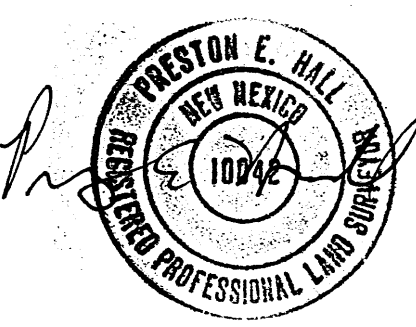
## ROUGH GRADING APPROVAL

<p>ENGINEER'S SEAL</p> <p>DAVID SOULE P.E. #14522</p>	<p>2021 SECOND STREET &amp; 2001 SECOND STREET</p> <p>GRADING AND DRAINAGE PLAN</p> <p><i>Rio Grande Engineering</i> 1008 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0909</p>	<p>DATE</p> <p>DRAWN BY</p> <p>11</p> <p>2401-G</p> <p>SI</p>



AS-BUILT ELEVATIONS  
TAKEN BY HALL SURVEYING CO  
ON 2/2/06

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.





## TRAFFIC CIRCULATION PLAN

As required by Transportation Development Section, a copy of the approved TCL AS-BUILT will be submitted by the designer or acceptable representative party which includes a letter of certification stating the site has been constructed in accordance with the approved TCL. Verification of TCL acceptability, to include random field checks, will be made before a Final Certificate of Occupancy (C.O.) is issued. Please call this office to obtain temporary CO. Confirmation from Hydrology, supporting this requirement, will be needed prior to approval of TCL by Transportation.

## CONSTRUCTION NOTES:

- 1 REMOVE EXISTING DRIVE PAD. INSTALL NEW CURB GUTTER & SIDEWALK (CITY OF ABQ DETAIL 2415A & 2430)
- 2 REMOVE EXISTING DRIVE PAD AND SIDEWALK, INSTALL NEW DRIVE ENTRANCE (CITY OF ABQ DETAIL 2425)
- 3 REMOVE EXISTING ASPHALT PAVING. INSTALL 6" CONCRETE HEADER.
- 4 ASPHALT OVERLAY ON EXISTING PAVEMENT  
NEW PAINT STRIPPING & 6' CONCRETE WHEEL STOPS.
- 5 REMOVE DAMAGED CONCRETE AND REPLACE (CITY OF ABQ DETAIL 2415A SIDEWALKS & 2428 DRIVEPADS)
- 6 CHECK SUPPLY AND CONTROLS OF LIGHT POLE & SIGN FIXTURES, RELAMP ALL FIXTURES.
- 7 REMOVE EXISTING ASPHALT & INSTALL NEW 6" CONCRETE PAVING

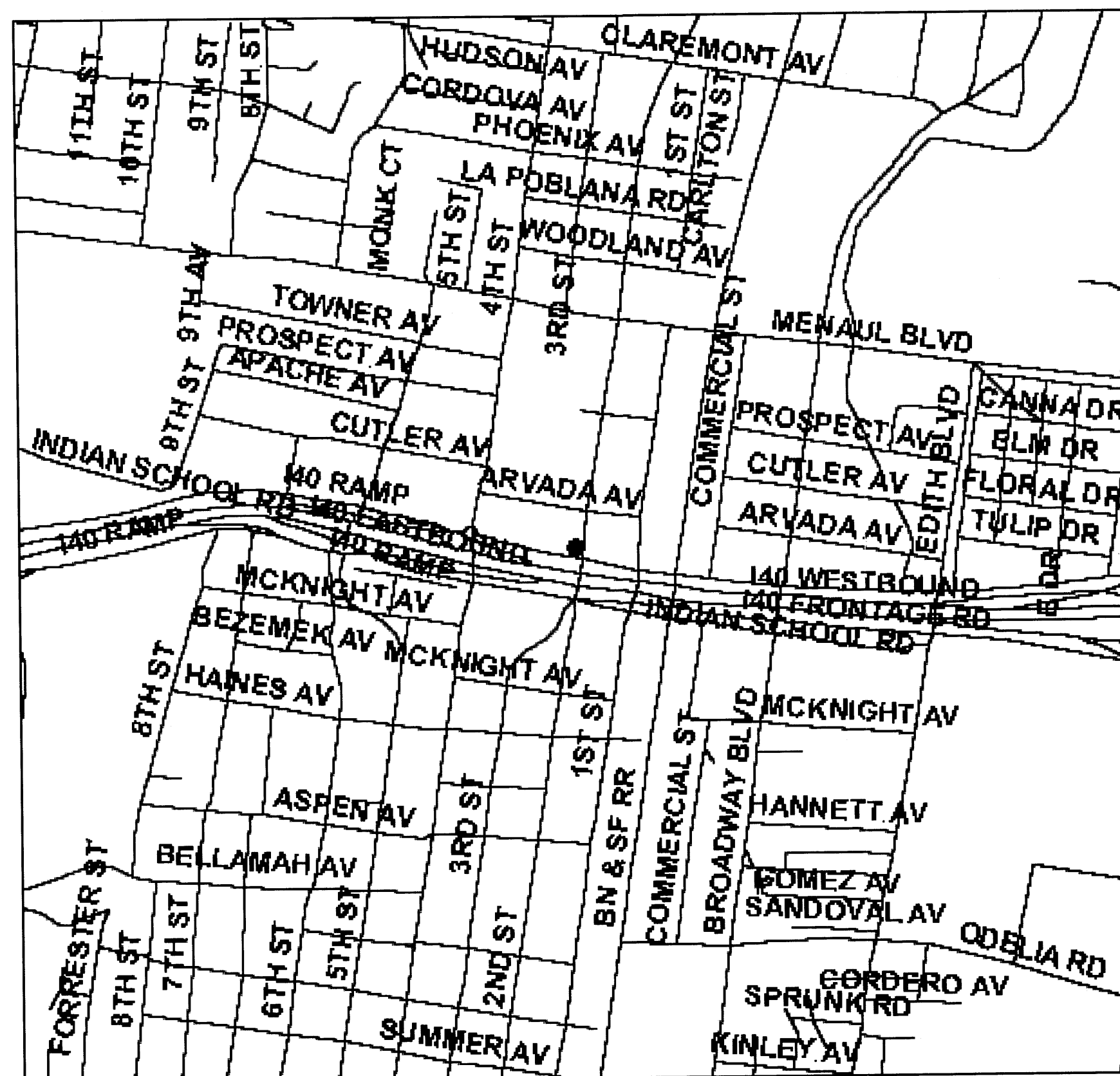
MAINTAIN ADEQUATE SECURITY TO PROTECT BUILDING UNDER CONSTRUCTION.  
KEEP SITE SAFE & CLEAN. BLOCK OFF & MARK ANY HAZARDOUS AREAS.

## PARKING CALCULATIONS:

REQUIRED FOR			
COMMERCIAL	19,503.37 GSF / 200 GSF	98 SPACES	
RETAIL			
PROPOSED BUILDING	8,780 NSF / 200 GSF	44 SPACES	
EXISTING BUILDING	10,723 NSF / 200 GSF	54 SPACES	
TOTAL REQUIRED PARKING		98 SPACES	

ADA ACCESSIBLE 4 REQUIRED 4 PROVIDED  
( VANS INCLUDED 2 )

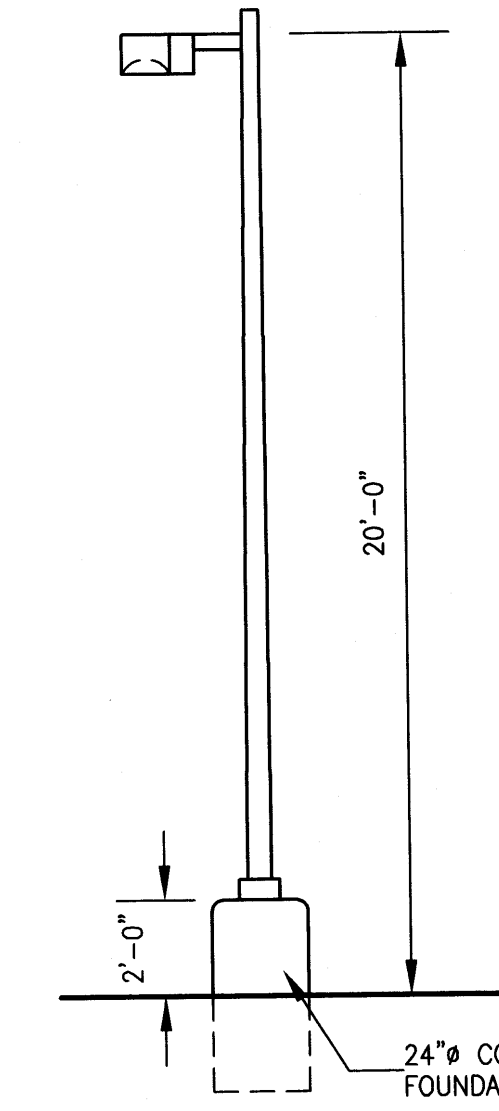
TOTAL SPACES PROVIDED: 103 SPACES



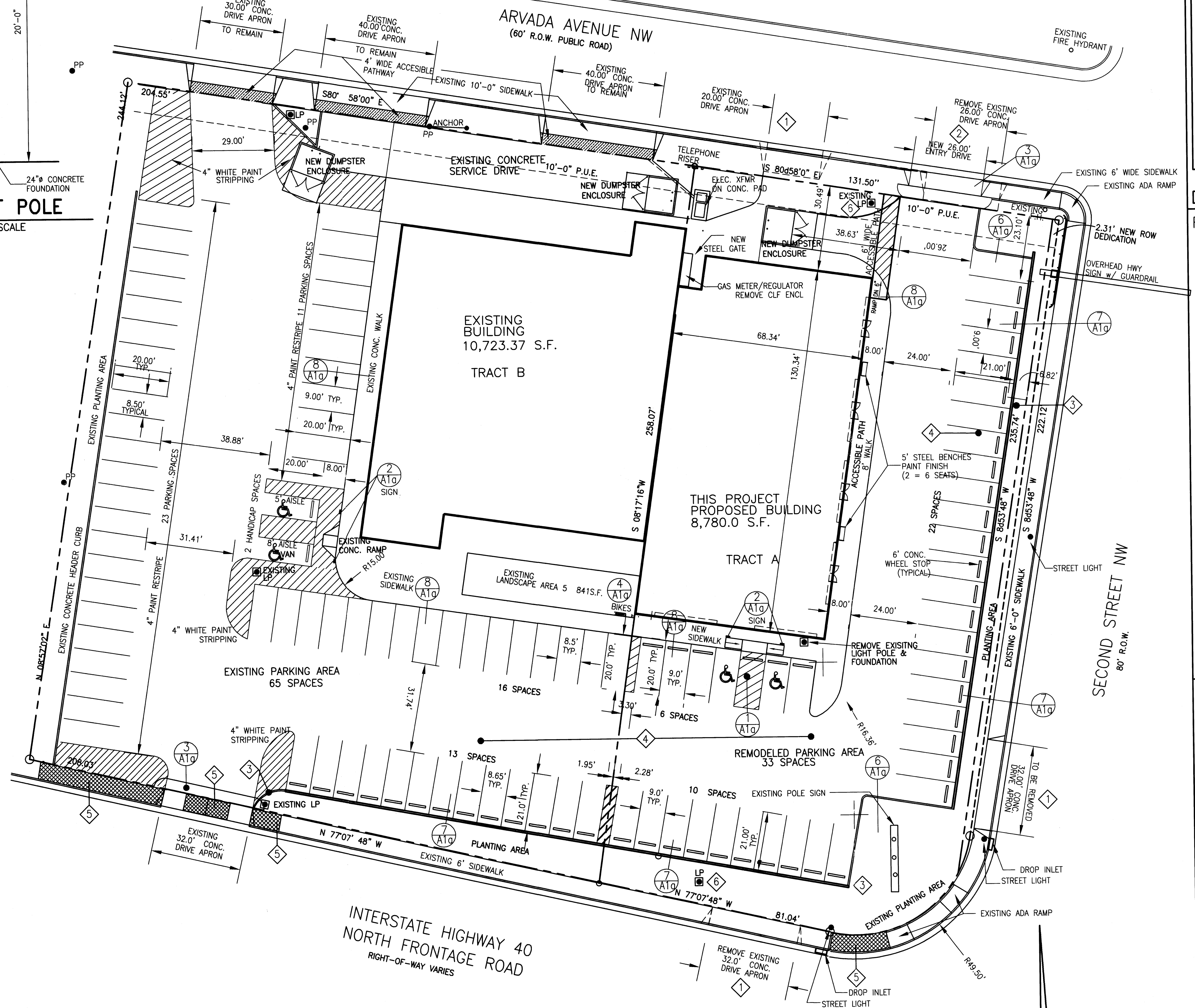
2  
A1 VICINITY MAP

NO SCALE

"SHOEBOX" STYLE FIXTURE  
W/ CUT OFF LENS



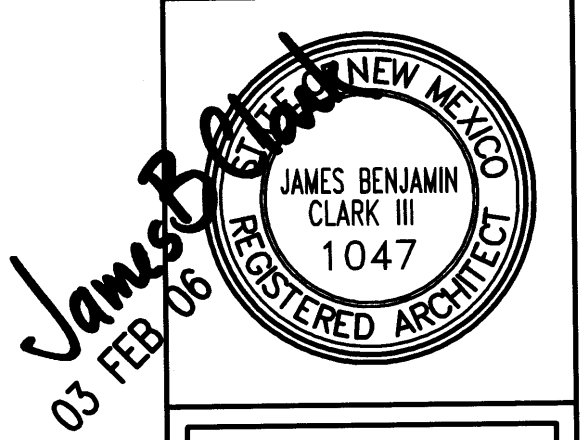
3  
A1 LIGHT POLE  
NO SCALE



1  
A1 SITE PLAN

## LEGAL DESCRIPTION:

TRACTS A and B  
240 LLC SUBDIVISION  
ALBUQUERQUE, NEW MEXICO  
ZONE M-1  
ZONE MAP H-14



MASTERWORKS  
ARCHITECTS, INC.  
4200 WYOMING BLVD. NE SUITE B-1  
ALBUQUERQUE, NM 87111 242-1866

FILE # 0441TCLSITE  
03 FEB 06

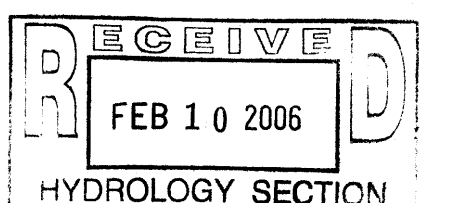
SHELL ONLY BUILDING  
TWO-FORTY, LLC  
2021 2ND ST NW  
ALBUQUERQUE, NEW MEXICO

SITE LAYOUT &  
TRAFFIC CIRCULATION PLAN

SHEET  
A1  
OF 03

0 10' 20' 40'

1" = 20'-0"









## TRAFFIC CIRCULATION PLAN

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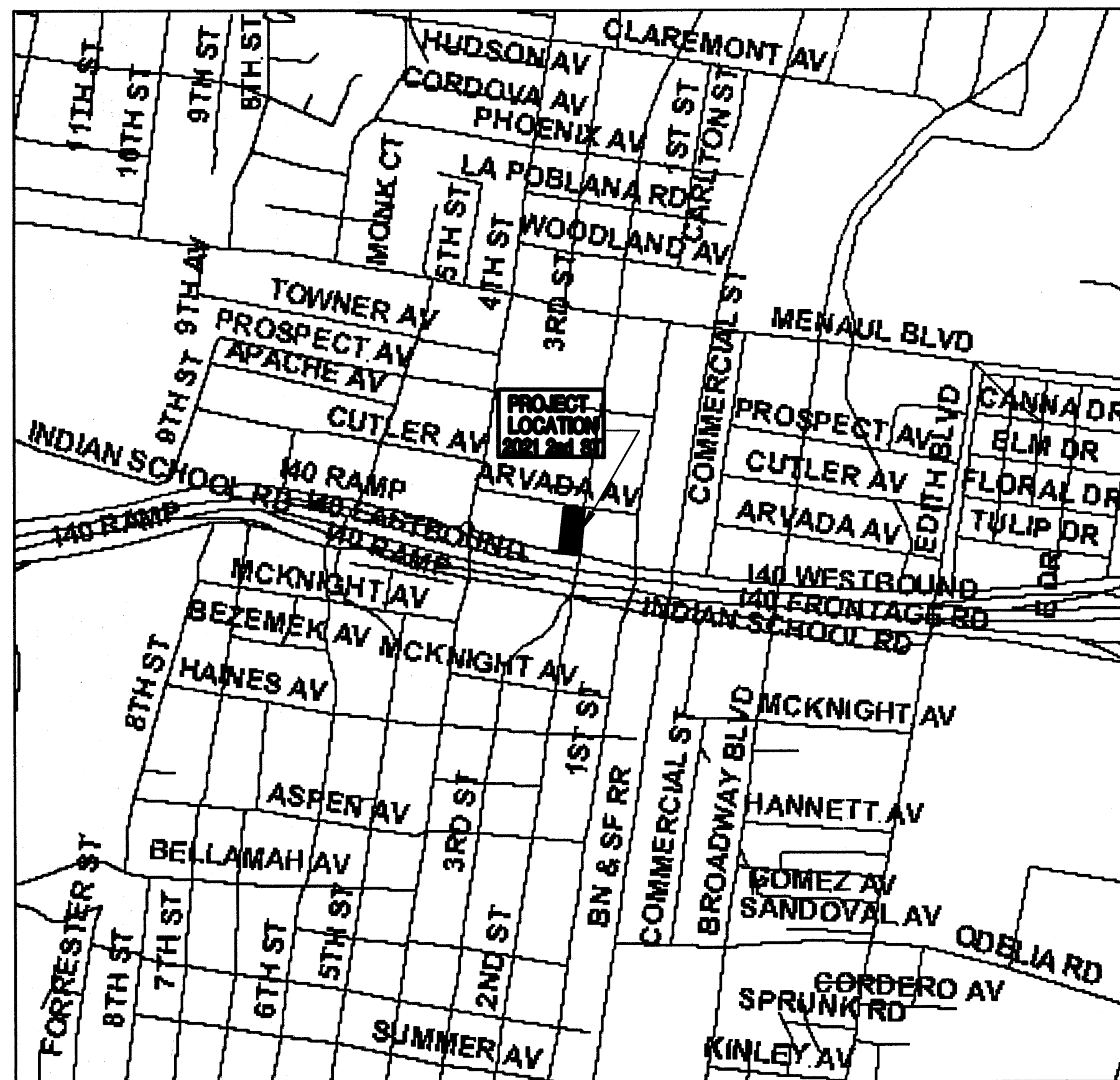
## CONSTRUCTION NOTES:

- 1 REMOVE EXISTING DRIVE PAD. INSTALL NEW CURB GUTTER & SIDEWALK (CITY OF ABQ DETAIL 2415A & 2430)
- 2 REMOVE EXISTING DRIVE PAD AND SIDEWALK, INSTALL NEW DRIVE ENTRANCE (CITY OF ABQ DETAIL 2426)
- 3 REMOVE EXISTING ASPHALT PAVING. INSTALL 6" CONCRETE HEADER.
- 4 ASPHALT OVERLAY ON EXISTING PAVEMENT  
NEW PAINT STRIPPING & 6" CONCRETE WHEEL STOPS.
- 5 REMOVE DAMAGED CONCRETE AND REPLACE (CITY OF ABQ. DETAIL 2415A SIDEWALKS & 2428 DRIVEPADS)
- 6 CHECK SUPPLY AND CONTROLS OF LIGHT POLE & SIGN FIXTURES, RELAMP ALL FIXTURES.
- 7 REMOVE EXISTING ASPHALT & INSTALL NEW 6" CONCRETE PAVING

MAINTAIN ADEQUATE SECURITY TO PROTECT BUILDING UNDER CONSTRUCTION.  
KEEP SITE SAFE & CLEAN. BLOCK OFF & MARK ANY HAZARDOUS AREAS.

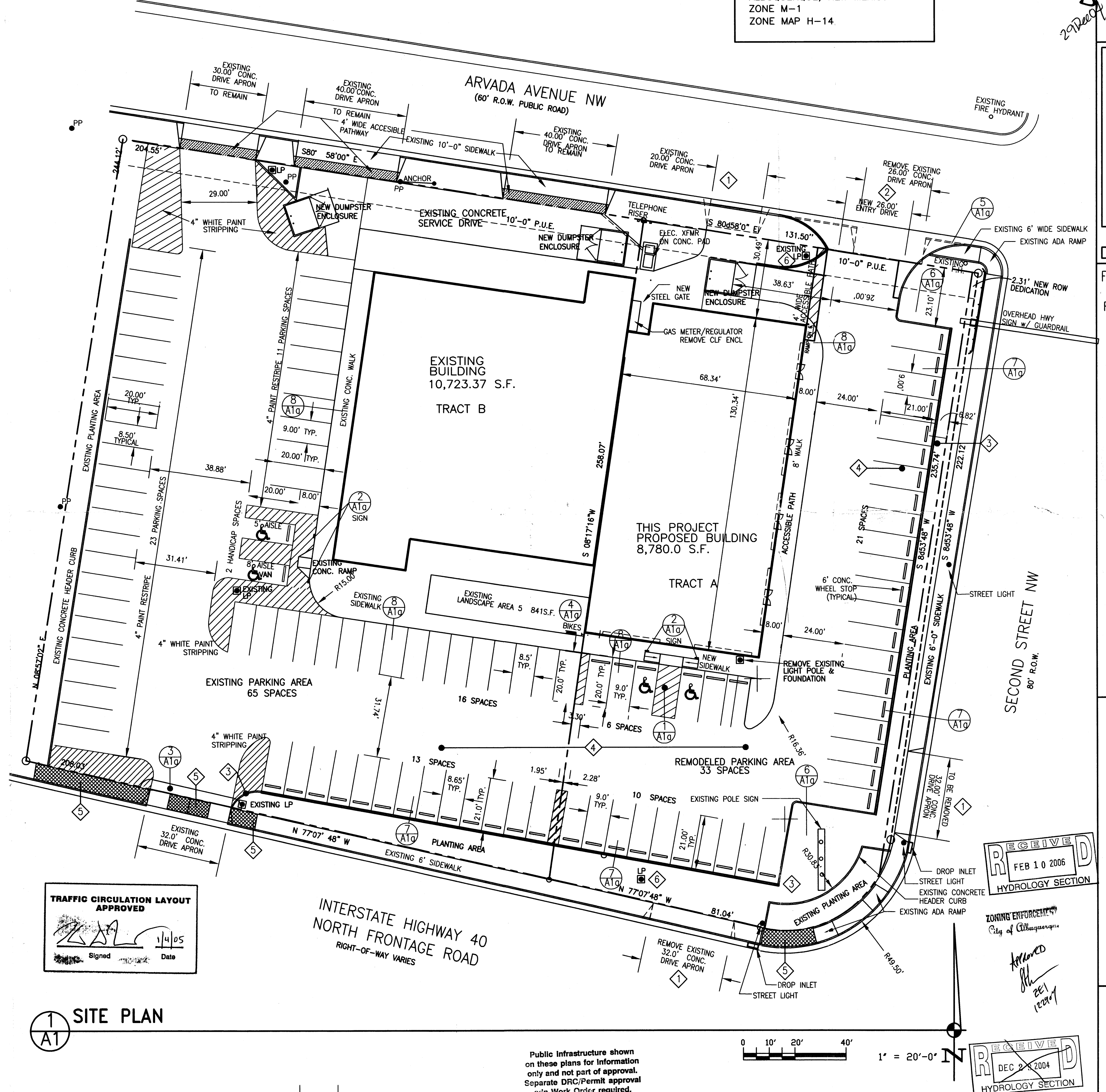
## PARKING CALCULATIONS:

REQUIRED FOR			
COMMERCIAL	19,503.37 GSF / 200 GSF	98 SPACES	
RETAIL			
PROPOSED BUILDING	8,780 NSF / 200 GSF	44 SPACES	
EXISTING BUILDING	10,723 NSF / 200 GSF	54 SPACES	
TOTAL REQUIRED PARKING		98 SPACES	
ADA ACCESSIBLE (VANS INCLUDED)	4 REQUIRED 2	4 PROVIDED	
TOTAL SPACES PROVIDED:		102 SPACES	



2  
A1 VICINITY MAP

NO SCALE



1  
A1 SITE PLAN

Public Infrastructure shown  
on these plans for information  
only and not part of approval.  
Separate DRC/Permit approval  
and Work Order required.

0 10' 20' 40'

1" = 20'-0"

RECEIVED  
DEC 2 2004  
HYDROLOGY SECTION

## LEGAL DESCRIPTION:

TRACTS A and B  
240 LLC SUBDIVISION  
ALBUQUERQUE, NEW MEXICO  
ZONE M-1  
ZONE MAP H-14.

MASTERWORKS  
ARCHITECTS, INC.  
4200 WYOMING BLVD. NE SUITE B-1  
ALBUQUERQUE, NM 87111 242-1866

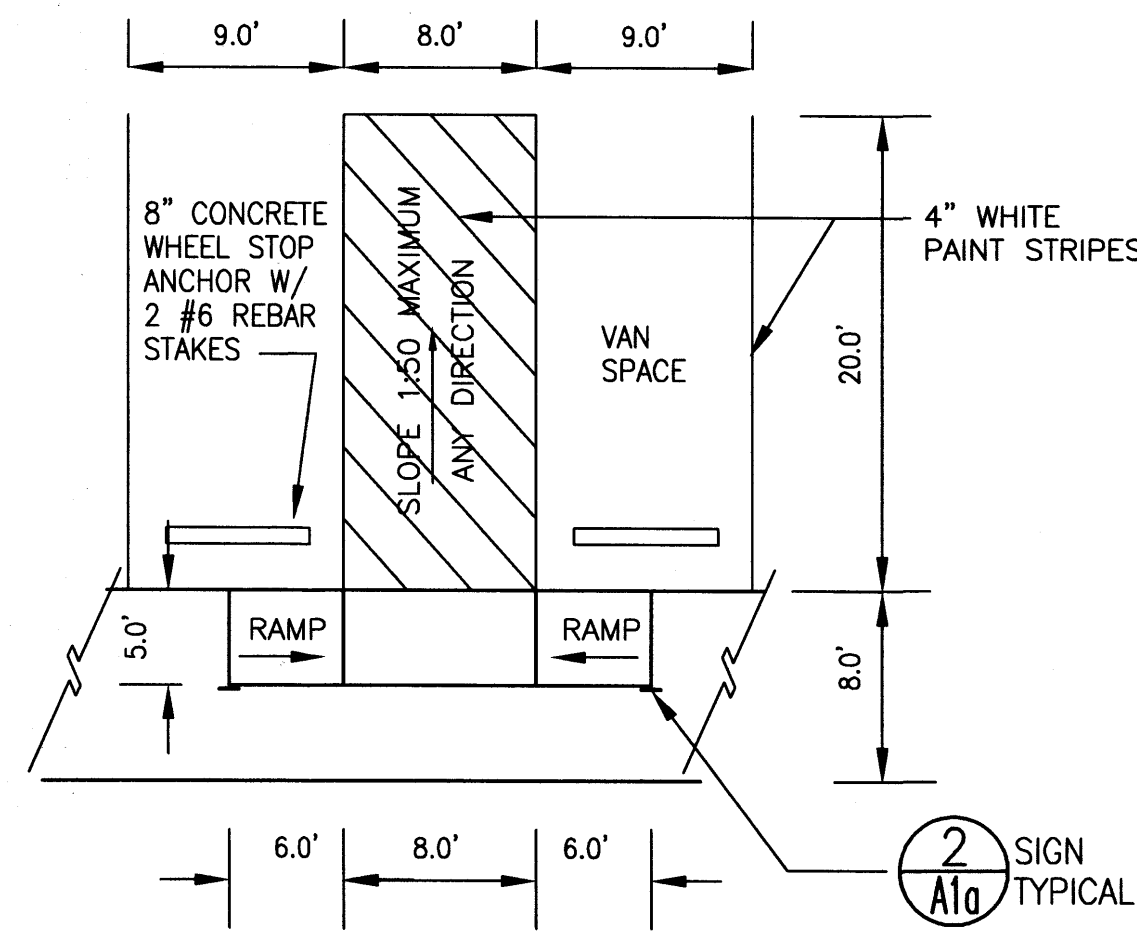
FILE # 0441HSITE  
07 OCT 04  
REV: 29 DEC 04

SHELL ONLY BUILDING  
TWO-FORTY, LLC  
2021 2ND ST NW  
ALBUQUERQUE, NEW MEXICO

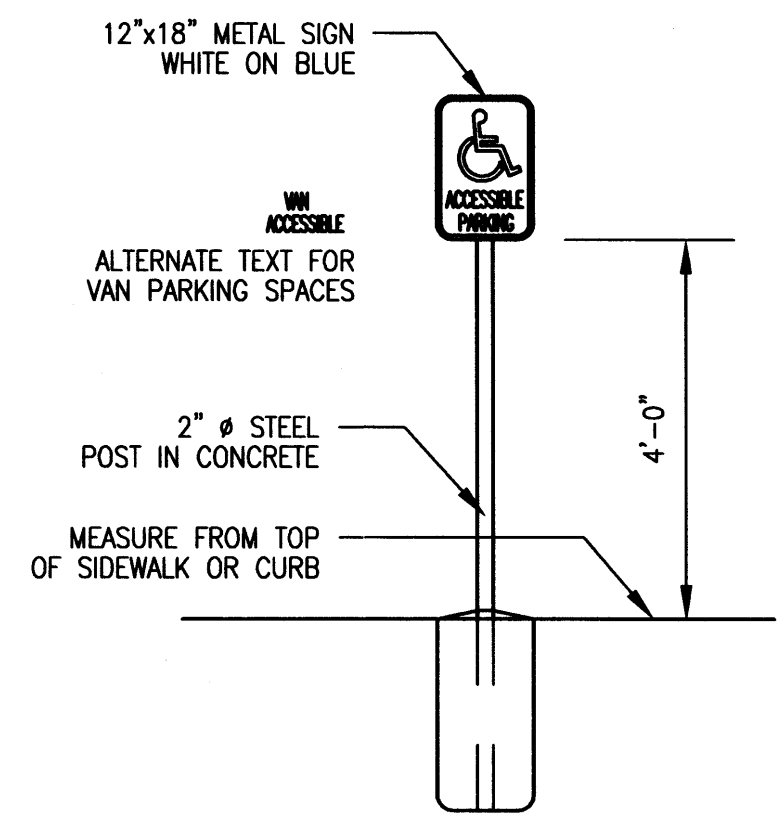
SITE LAYOUT &  
TRAFFIC CIRCULATION PLAN

SHEET  
A1  
OF 03

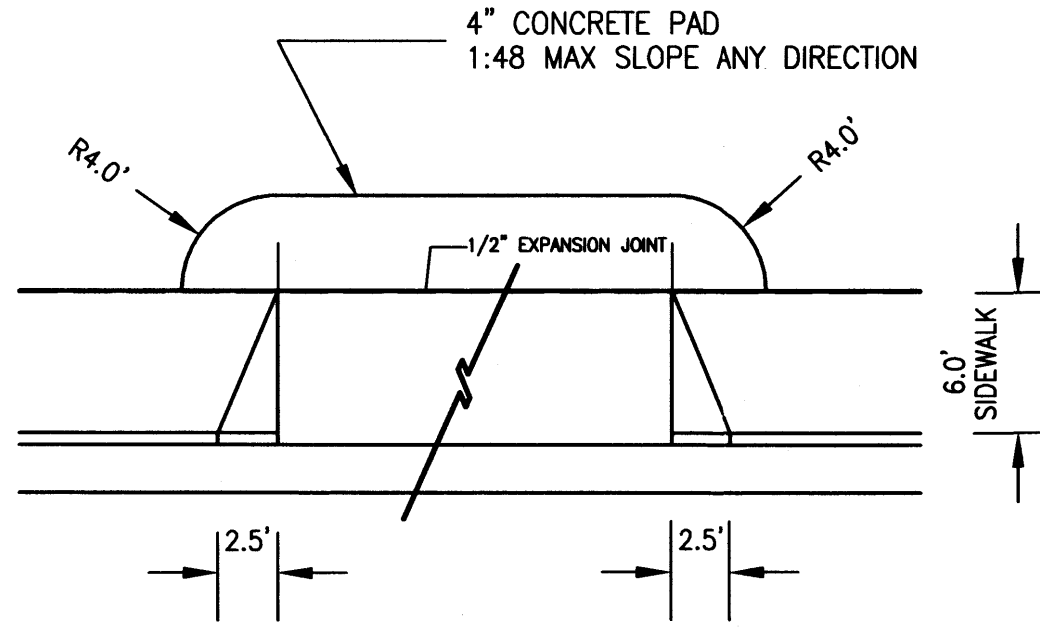




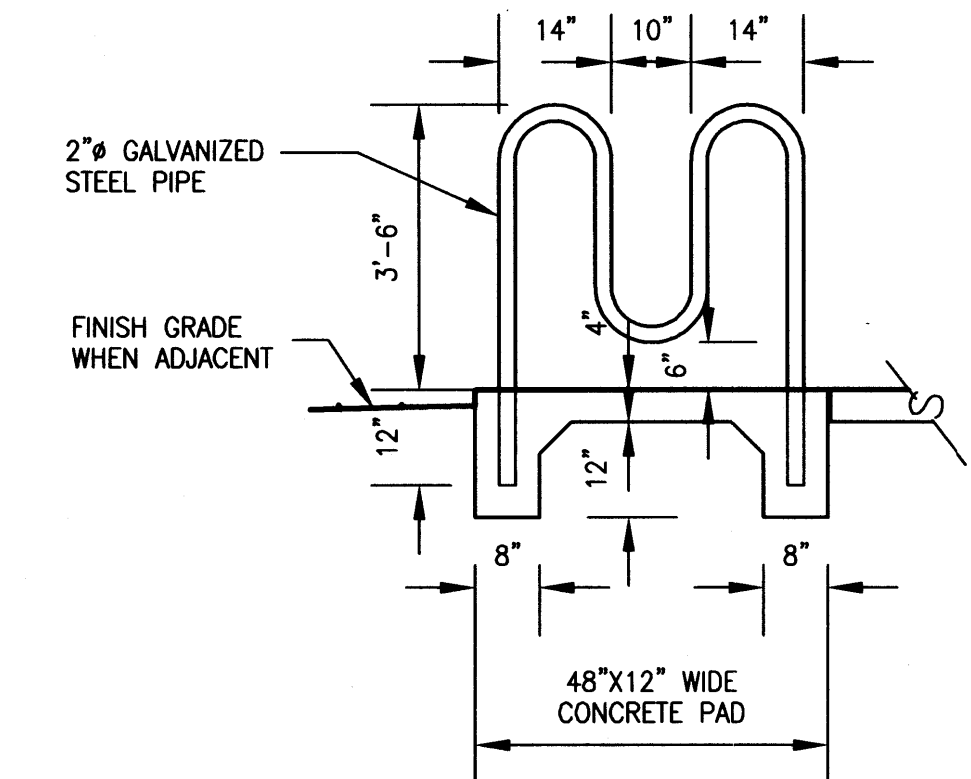
1 TYPICAL ACCESSIBLE PARKING AREA  
A1a SCALE: 1/4" = 1'-0"



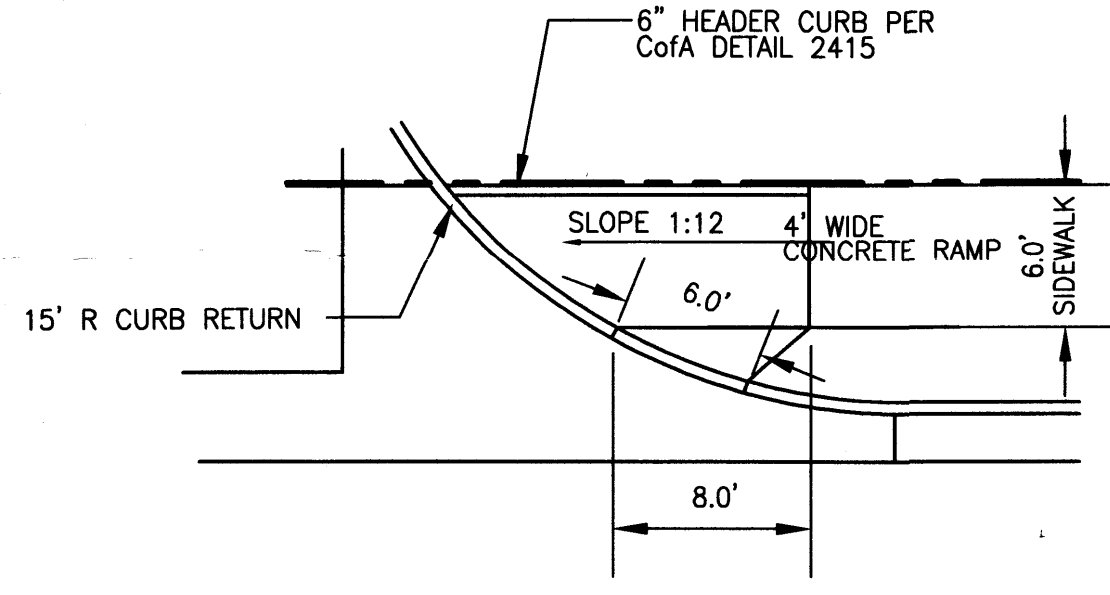
2 ADA PARKING SIGN  
A1a SCALE: 1/2" = 1'-0"



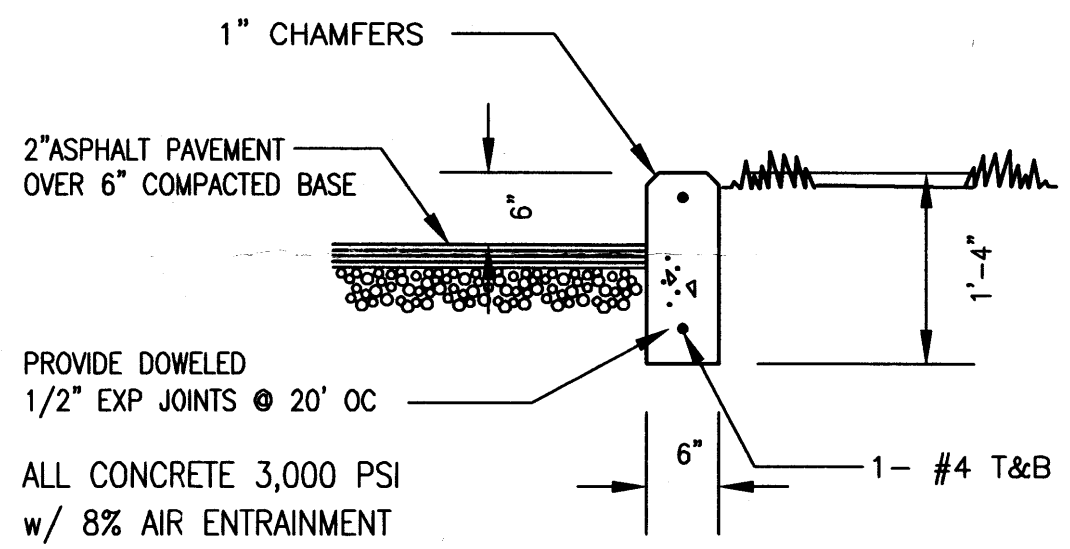
3 DRIVEPAD ACCESSIBLE PATH BYPASS  
A1a SCALE: 1/8" = 1'-0"



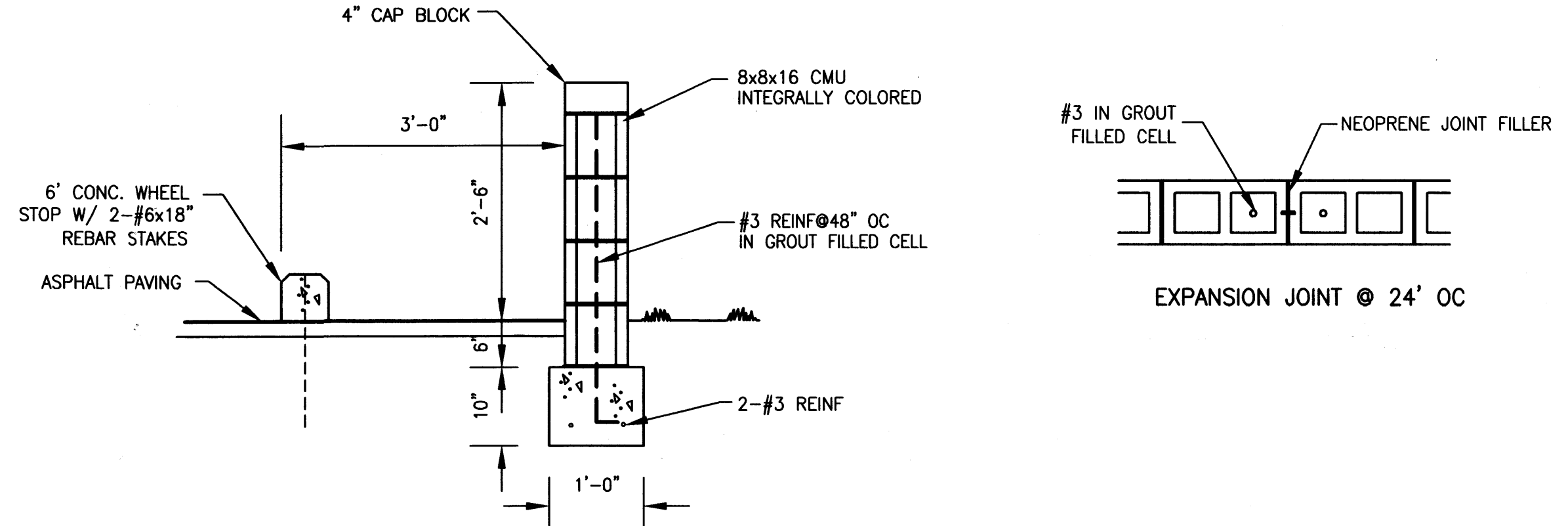
4 BIKE RACK  
A1a SCALE: 1/2" = 1'-0"



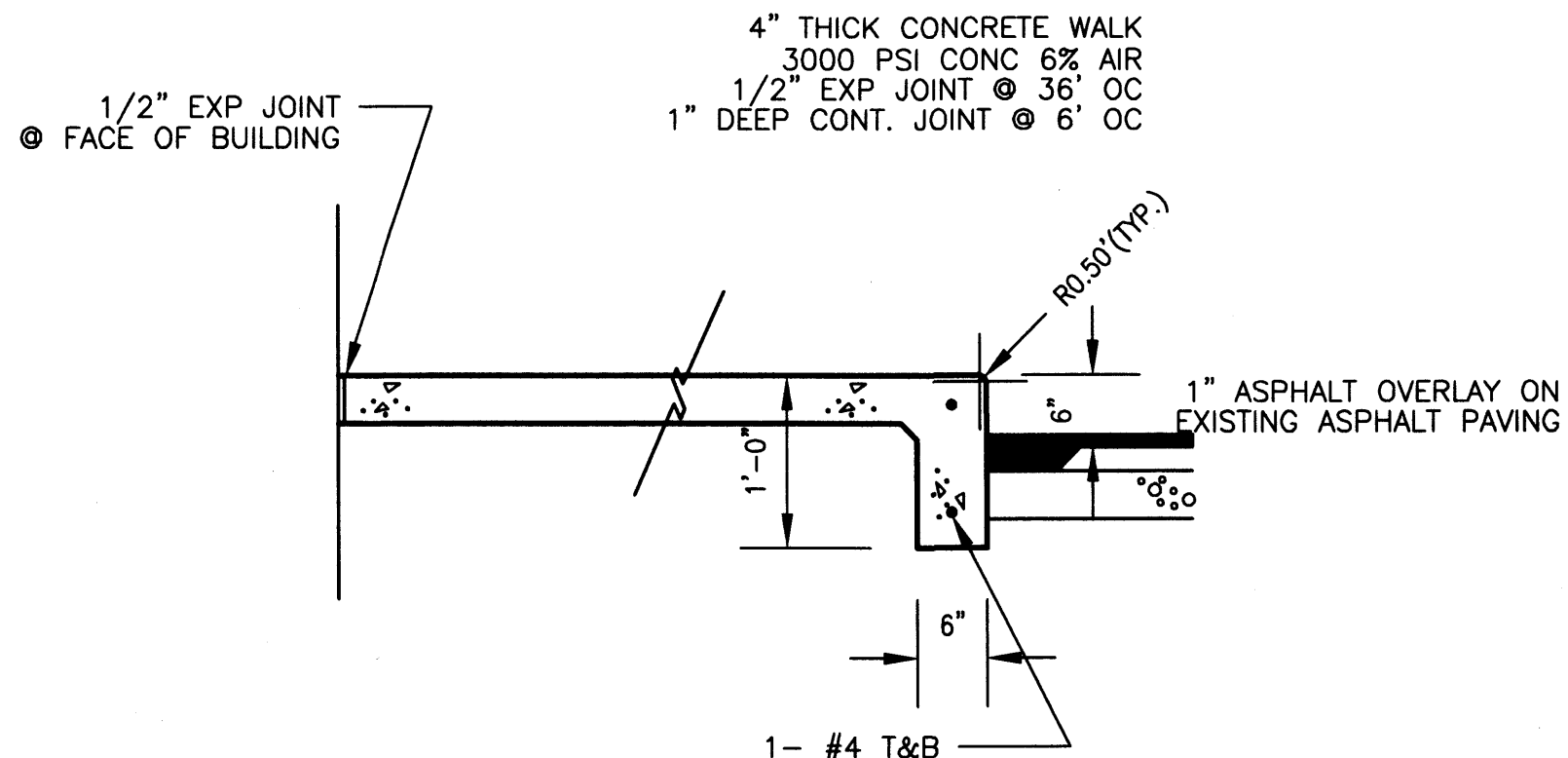
5 UNIDIRECTIONAL ACCESS RAMP DETAIL  
A1a PER CofA DWG 2426 SCALE: 1/8" = 1'-0"



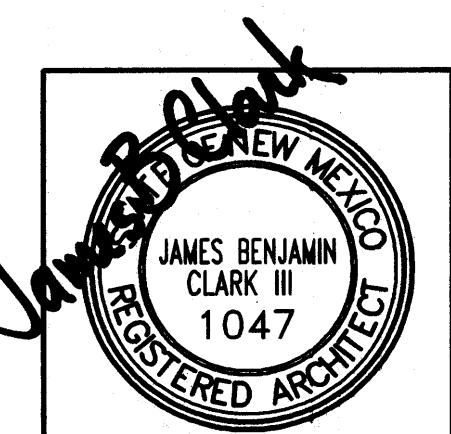
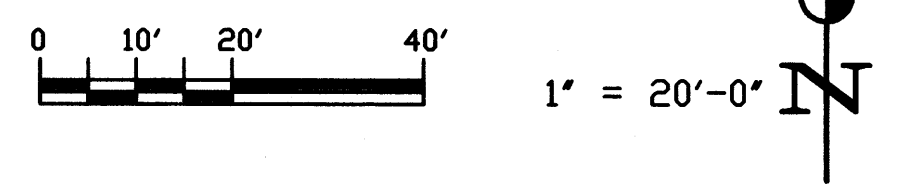
6 CONCRETE HEADER CURB DETAIL  
A1a SCALE: 3/4" = 1'-0"



7 HEAD LIGHT SCREEN WALL  
A1a SCALE: 3/4" = 1'-0"



8 TURNED DOWN EDGE CURB  
A1a SCALE: 3/4" = 1'-0"



**MASTERWORKS**  
**ARCHITECTS, INC**  
4200 WYOMING BLVD. NE SUITE B-1  
ALBUQUERQUE, NM 87111 242-1866

FILE # 0441HSITE  
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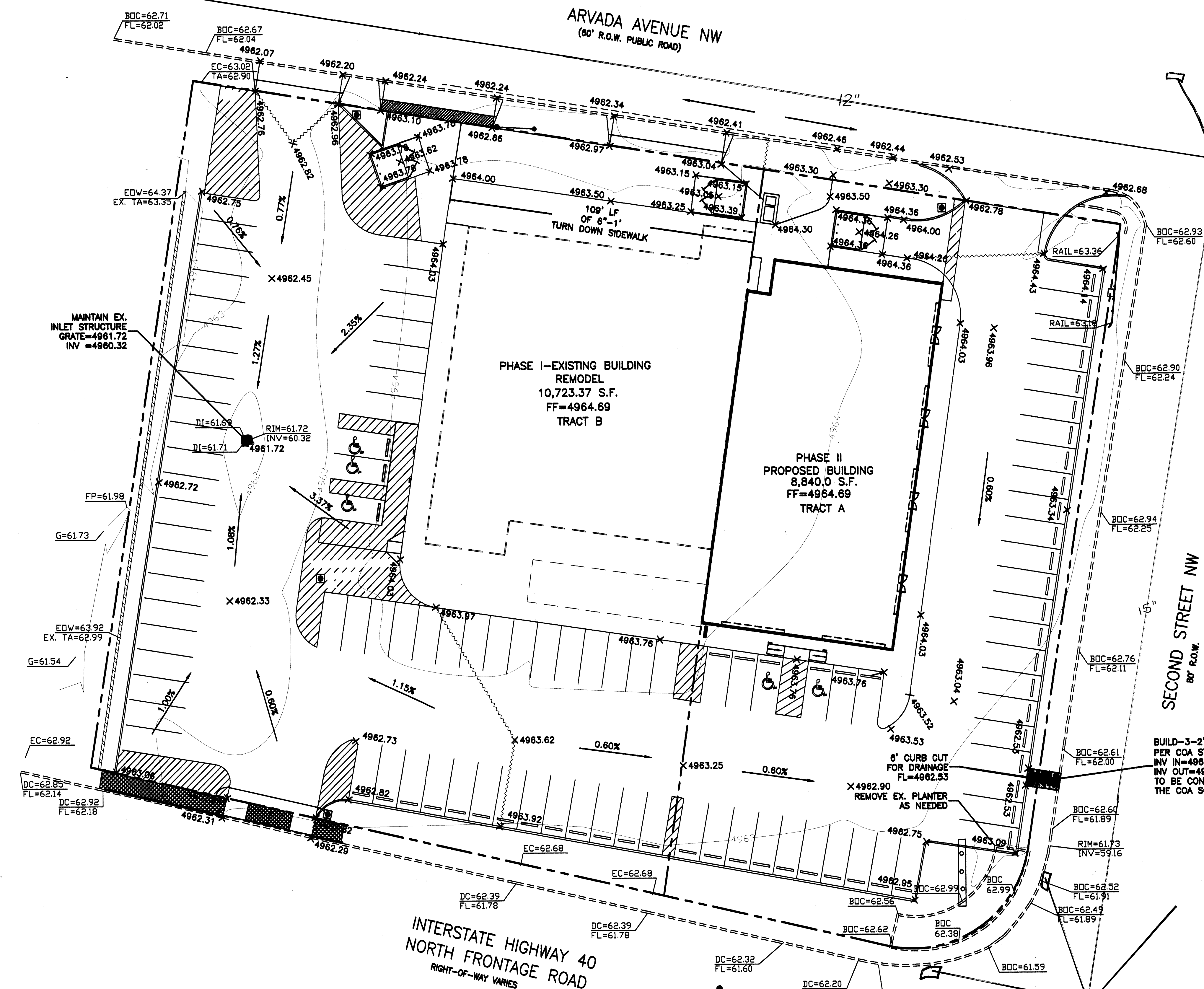
SHELL ONLY BUILDING  
**TWO-FORTY, LLC**  
2021 2ND ST NW  
ALBUQUERQUE, NEW MEXICO

SITE DETAILS  
TRAFFIC CIRCULATION PLAN

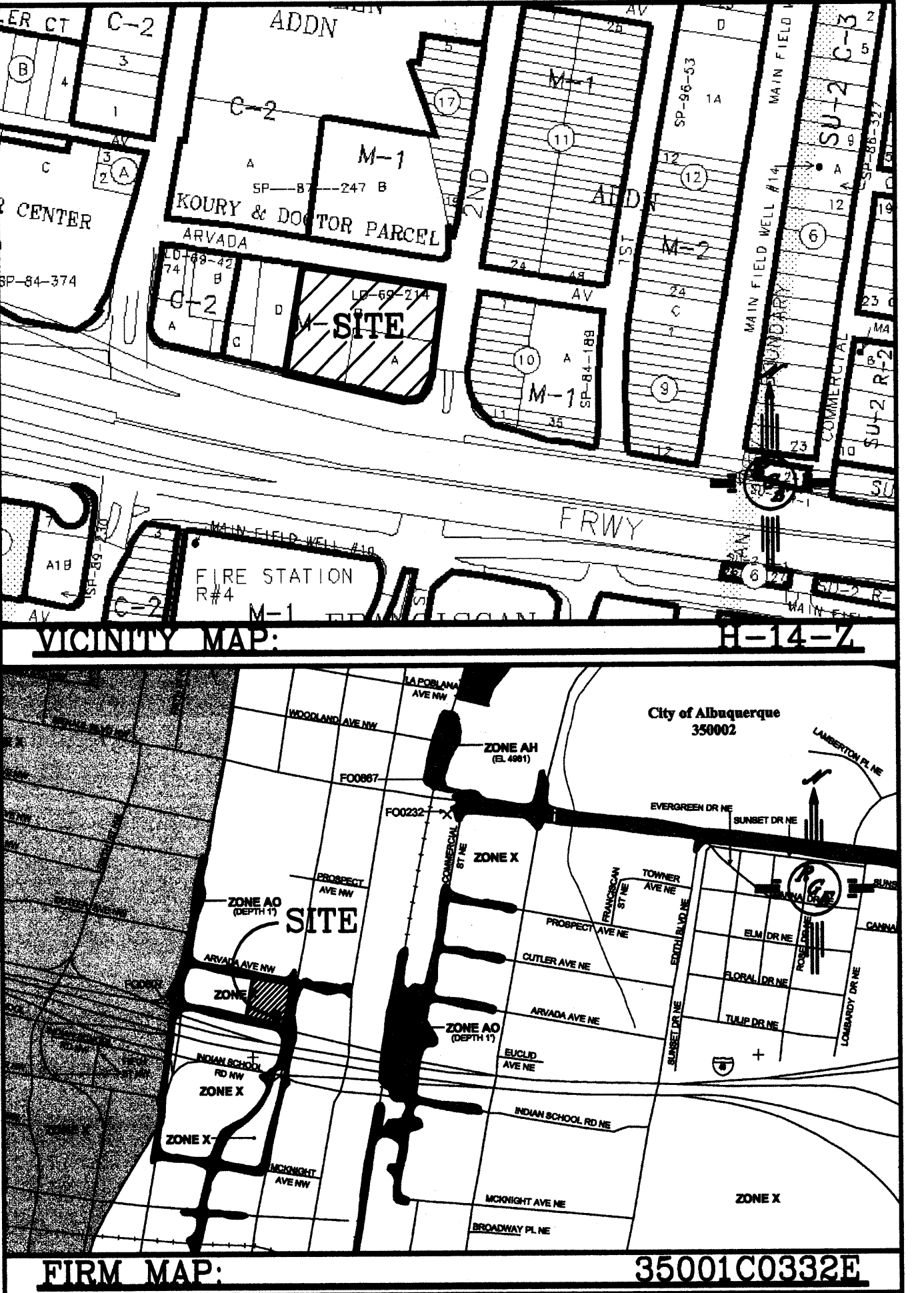
SHEET  
**A1a**  
OF 03

LOANING ENFORCED  
City of Albuquerque





- LEGEND**
- EXISTING FENCE
  - EXISTING CURB & GUTTER
  - PROPOSED CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
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  - EXISTING INDEX CONTOUR
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  - SLOPE TIE
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  - EXISTING SPOT ELEVATION
  - CENTERLINE



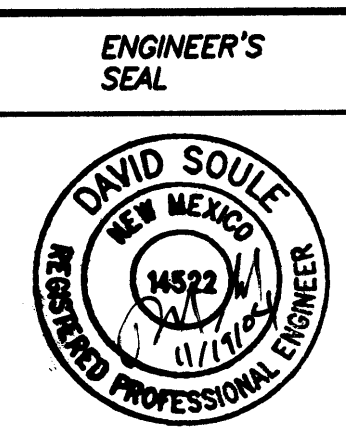
**LEGAL DESCRIPTION:**  
TRACTS A-1, B-1, TWO-FORTY LLC SUBDIVISION

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
  2. ALL CURB AND GUTTER TO BE HEADER PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.
  3. EX. BUILDING TO REMAIN.
  4. REMOVE ALL EX. CURB AND ASPHALT AS NEEDED.
  5. EX. PERIMETER AND RAILROAD TIE WALLS TO REMAIN.
  6. SEE SITE PLAN FOR ALL SITE GEOMETRY.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
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  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

**ROUGH GRADING APPROVAL**  
DATE DEC 16 2004  
BY WCWJ



2021 SECOND STREET  
& 2001 SECOND STREET  
**GRADING AND DRAINAGE PLAN**  
*Pio Grande Engineering*  
1008 CENTRAL AVENUE SE  
SUITE 201  
ALBUQUERQUE, NM 87106  
(505) 872-0888

**RECEIVED**  
DATE DEC 16 2004  
BY WCWJ  
DATE 11-22-04  
2481-CR-10-22-04X  
SHEET #  
JOB # 2481

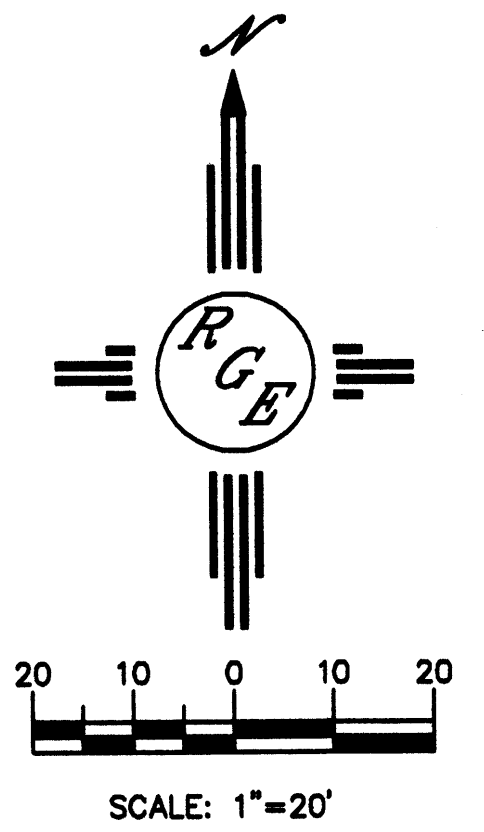
Existing onsite storm drain system?

SECOND STREET NW  
80' R.O.W.

BUILD-3'-2' SIDEWALK CULVERTS  
PER COA STD DWG #2236  
INV IN=4982.53  
INV OUT=4981.98  
TO BE CONSTRUCTED UNDER  
THE COA SO-19 PROCESS

- EROSION CONTROL NOTES:**
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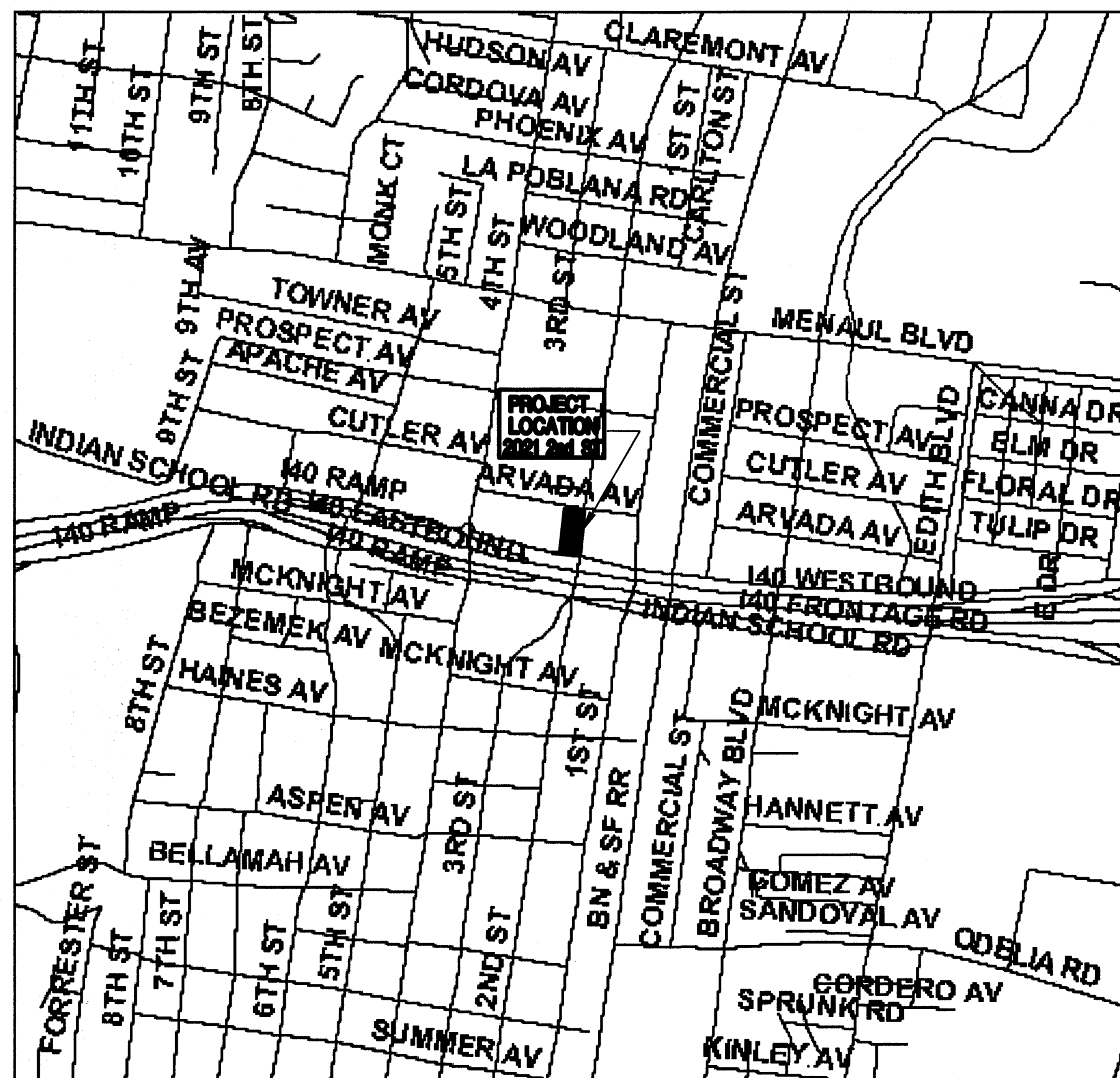
## PARKING CALCULATIONS:

REQUIRED FOR

COMMERCIAL	19,503.37 GSF / 200 GSF	98 SPACES
RETAIL		
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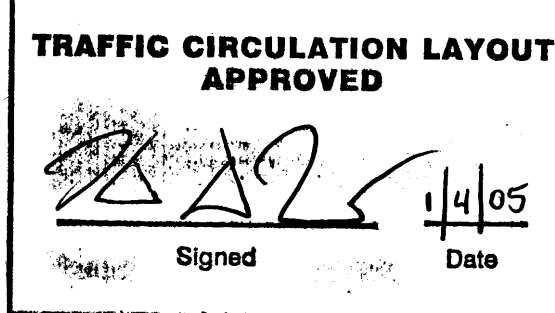
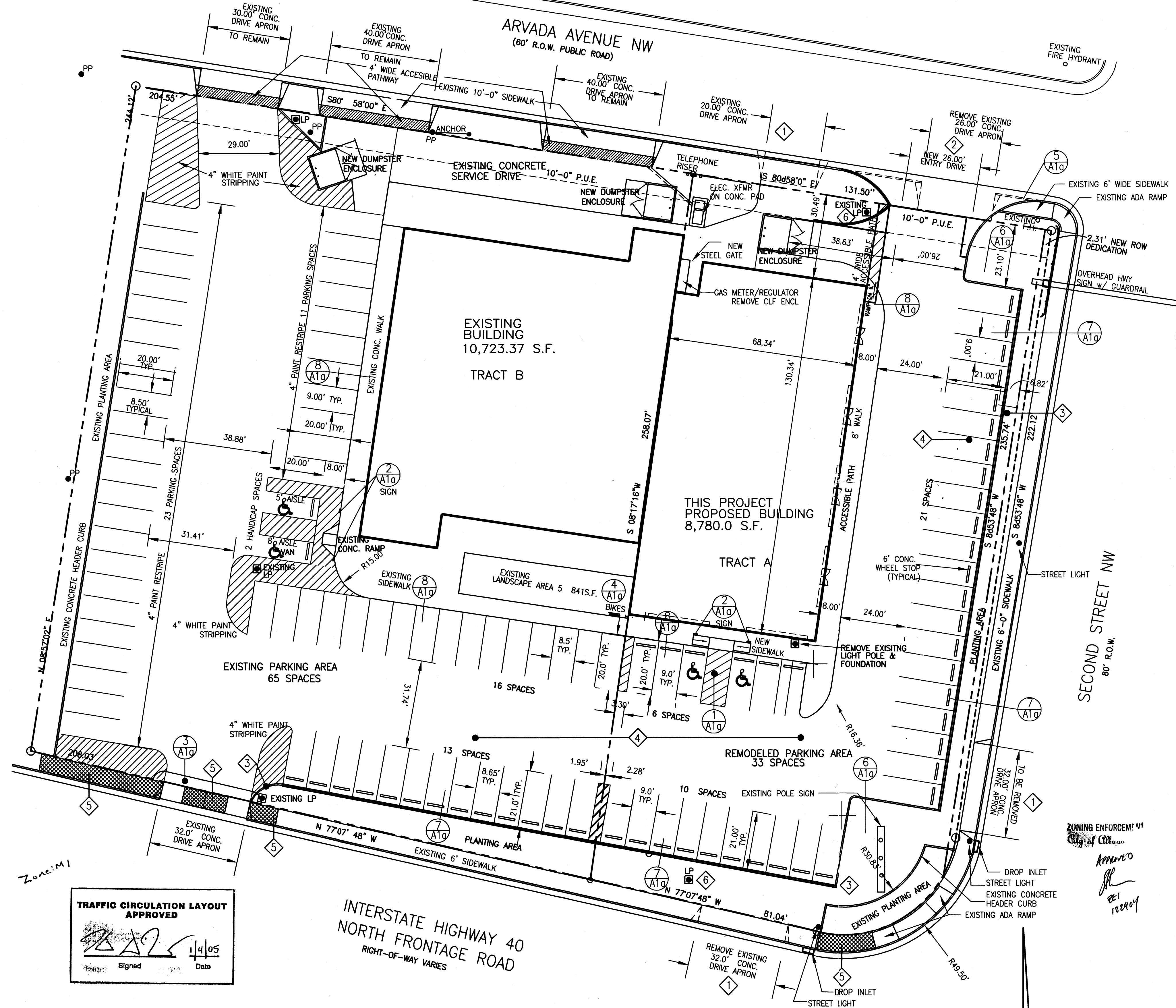
ADA ACCESSIBLE 4 REQUIRED 4 PROVIDED  
(VANS INCLUDED 2)

TOTAL SPACES PROVIDED: 102 SPACES



2  
A1 VICINTY MAP

NO SCALE



1  
A1 SITE PLAN

## LEGAL DESCRIPTION:

TRACTS A and B  
240 LLC SUBDIVISION  
ALBUQUERQUE, NEW MEXICO  
ZONE M-1  
ZONE MAP H-14

MASTERWORKS  
ARCHITECTS, INC.  
4200 WYOMING BLVD. NE SUITE B-1  
ALBUQUERQUE, NM 87111 242-1886

FILE # 0441HSITE  
07 OCT 04  
REV: 29 DEC 04

SHELL ONLY BUILDING  
TWO-FORTY, LLC  
2021 2ND ST NW  
ALBUQUERQUE, NEW MEXICO

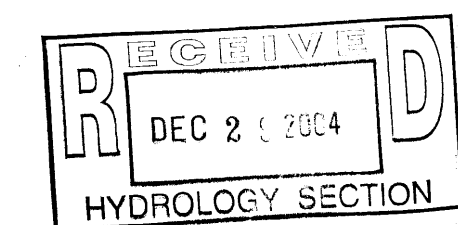
SITE LAYOUT &  
TRAFFIC CIRCULATION PLAN

SHEET  
A1  
OF 03

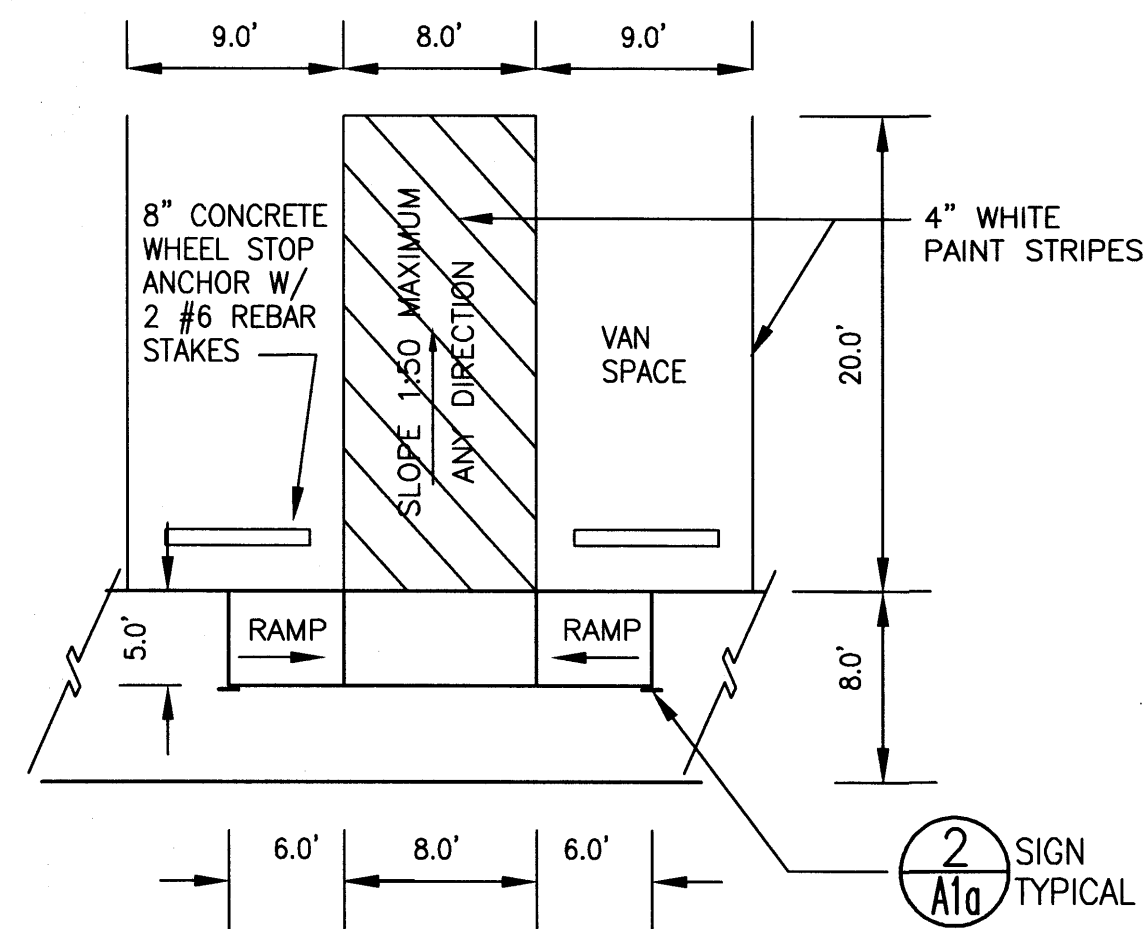
Public Infrastructure shown  
on these plans for information  
only and not part of approval.  
Separate DRC/Permit approval  
and Work Order required.

0 10' 20' 40'

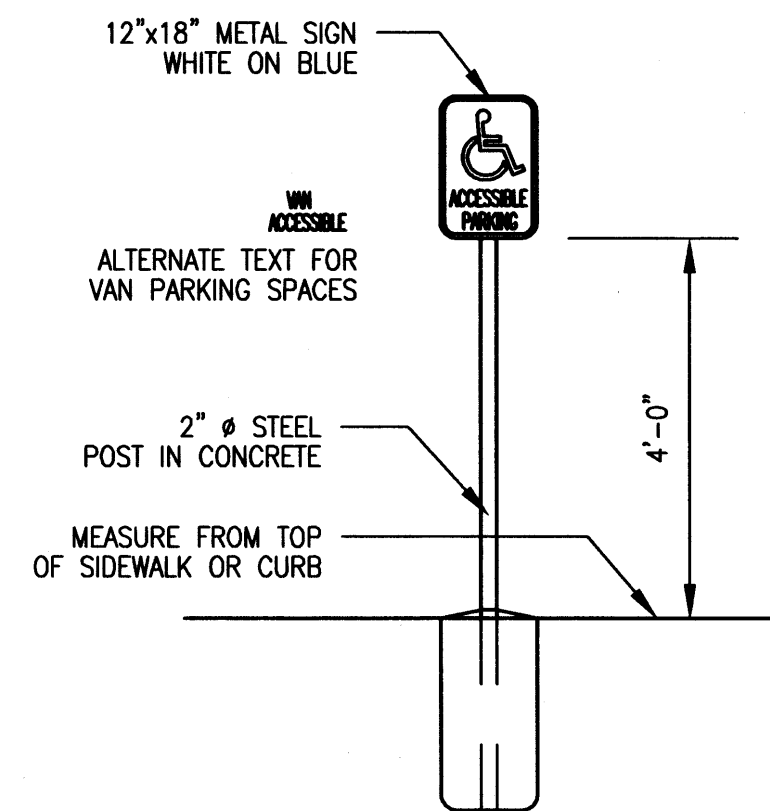
1" = 20'-0"



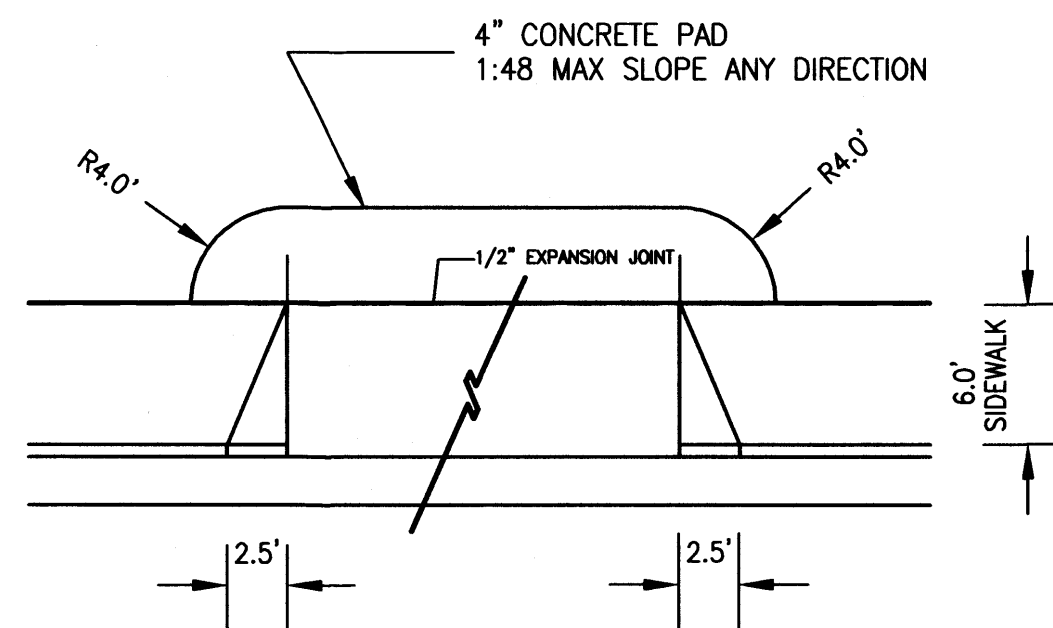




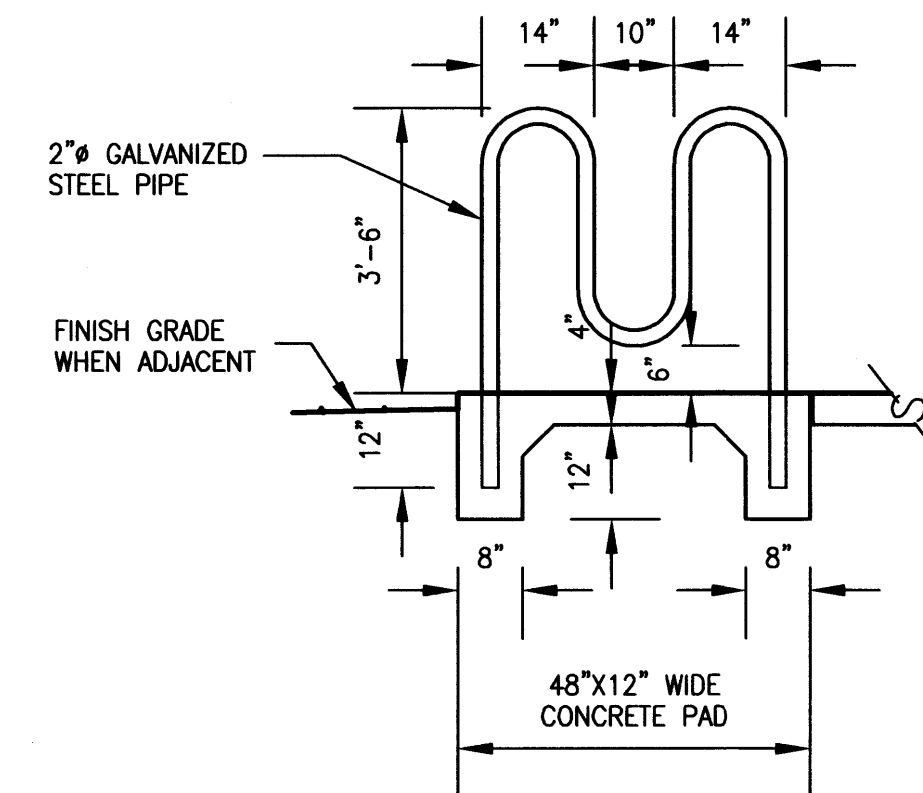
1 TYPICAL ACCESSIBLE PARKING AREA  
A1a SCALE: 1/4" = 1'-0"



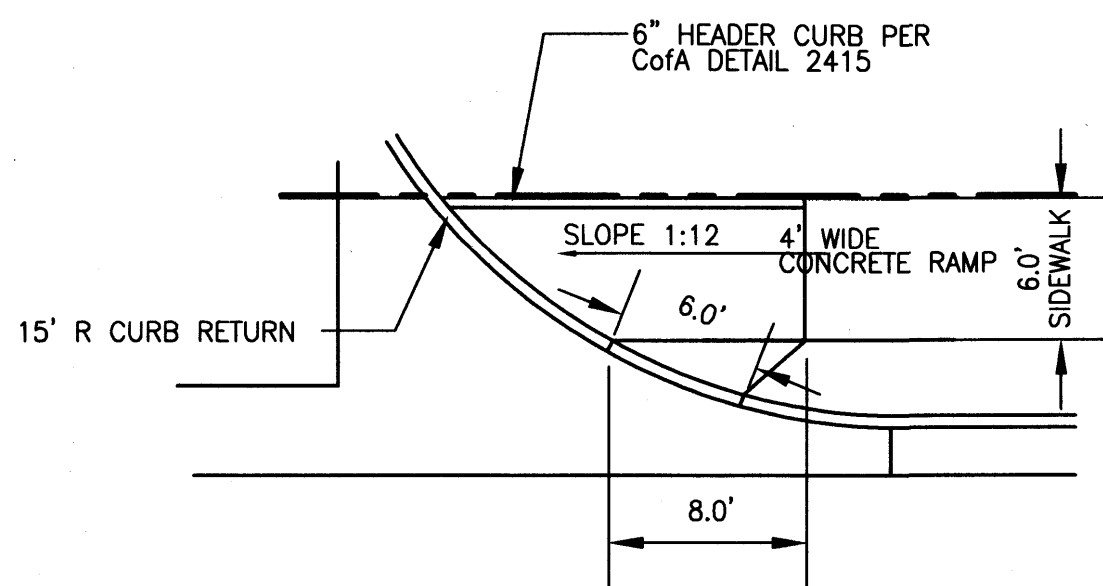
2 ADA PARKING SIGN  
A1a SCALE: 1/2" = 1'-0"



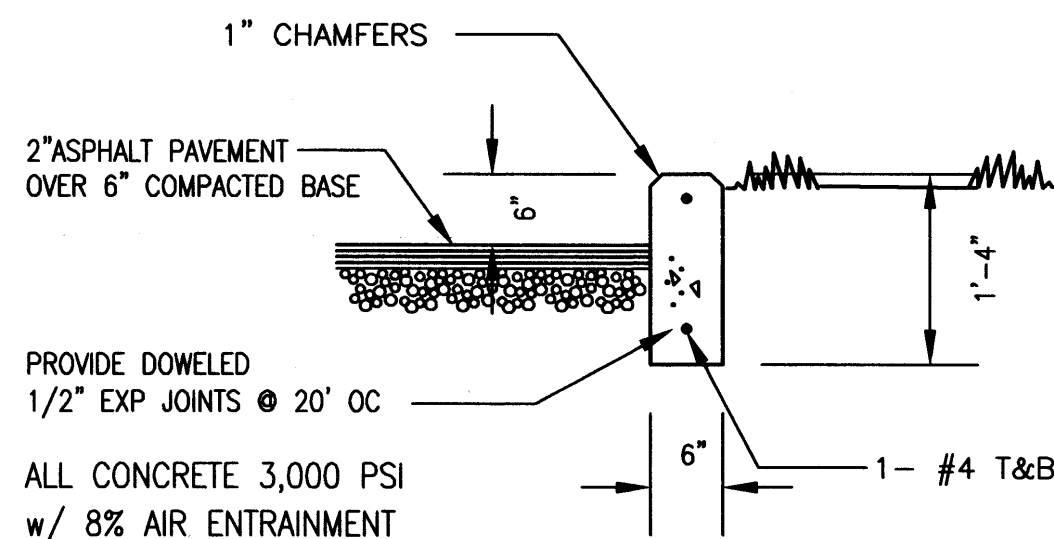
3 DRIVEPAD ACCESSIBLE PATH BYPASS  
A1a SCALE: 1/8" = 1'-0"



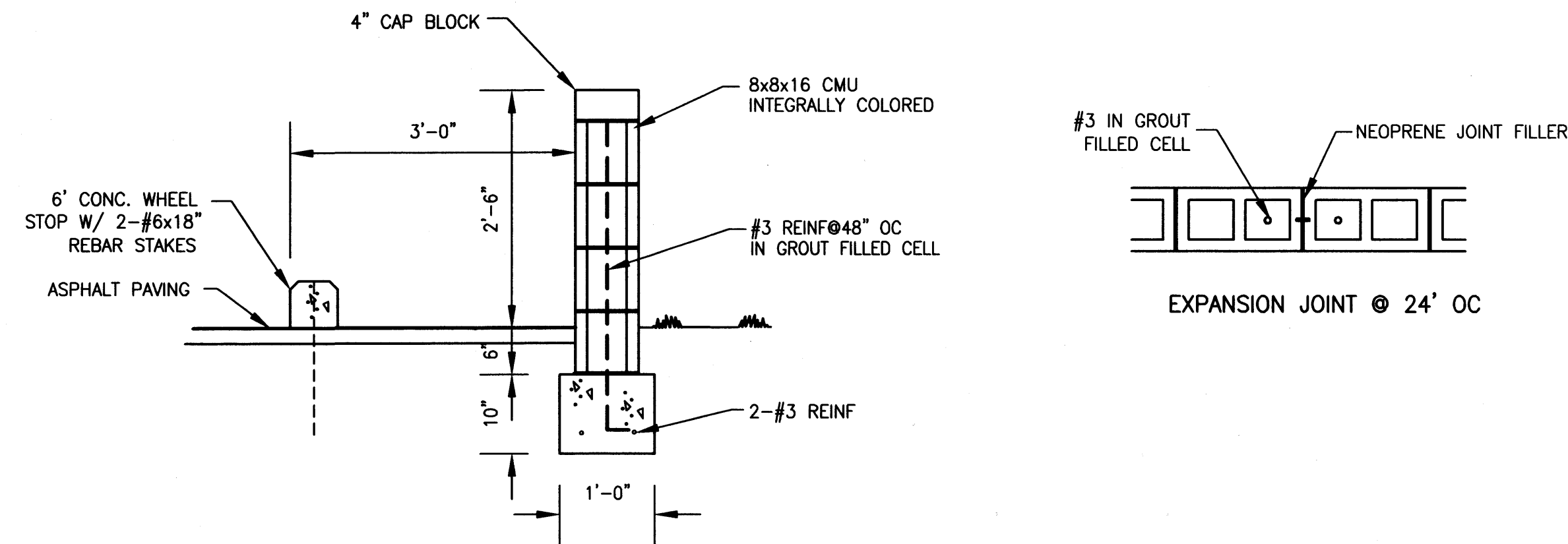
4 BIKE RACK  
A1a SCALE: 1/2" = 1'-0"



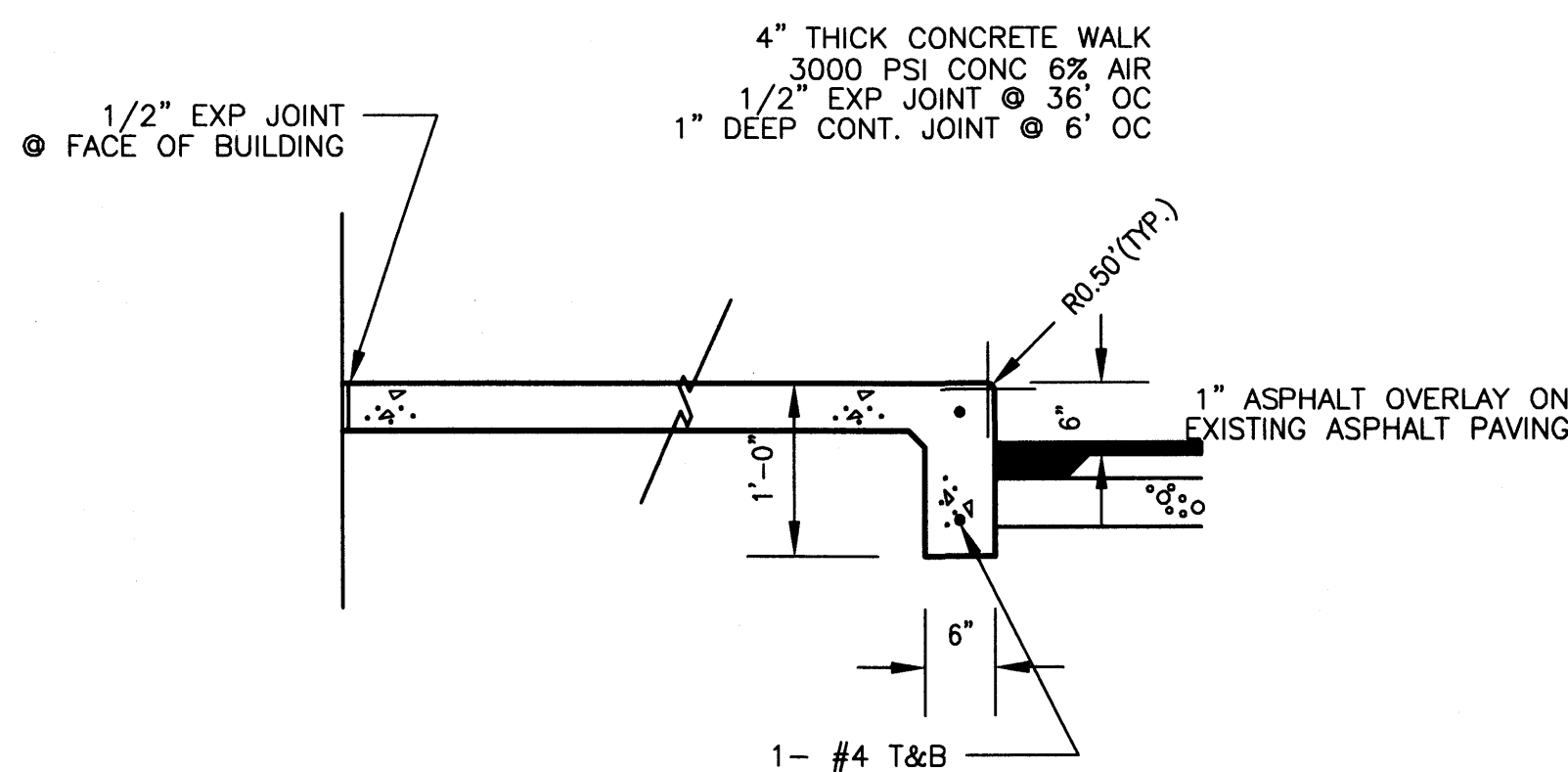
5 UNIDIRECTIONAL ACCESS RAMP DETAIL  
A1a PER CofA DWG 2426 SCALE: 1/8" = 1'-0"



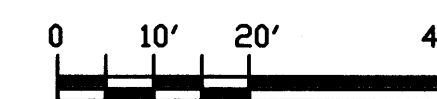
6 CONCRETE HEADER CURB DETAIL  
A1a SCALE: 3/4" = 1'-0"



7 HEAD LIGHT SCREEN WALL  
A1a SCALE: 3/4" = 1'-0"

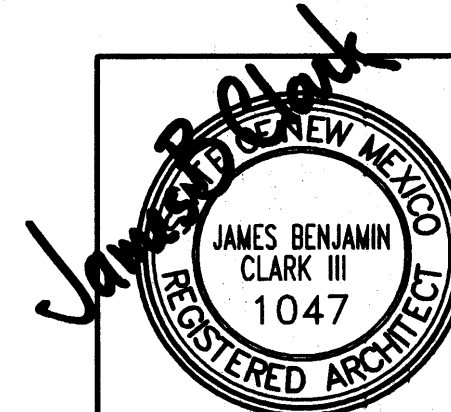


8 TURNED DOWN EDGE CURB  
A1a SCALE: 3/4" = 1'-0"



1' = 20'-0"

PLANNING ENFORCEMENT  
City of Albuquerque



MASTERWORKS  
ARCHITECTS, INC  
4200 WYOMING BLVD. NE SUITE B-1  
ALBUQUERQUE, NM 87111 242-1866

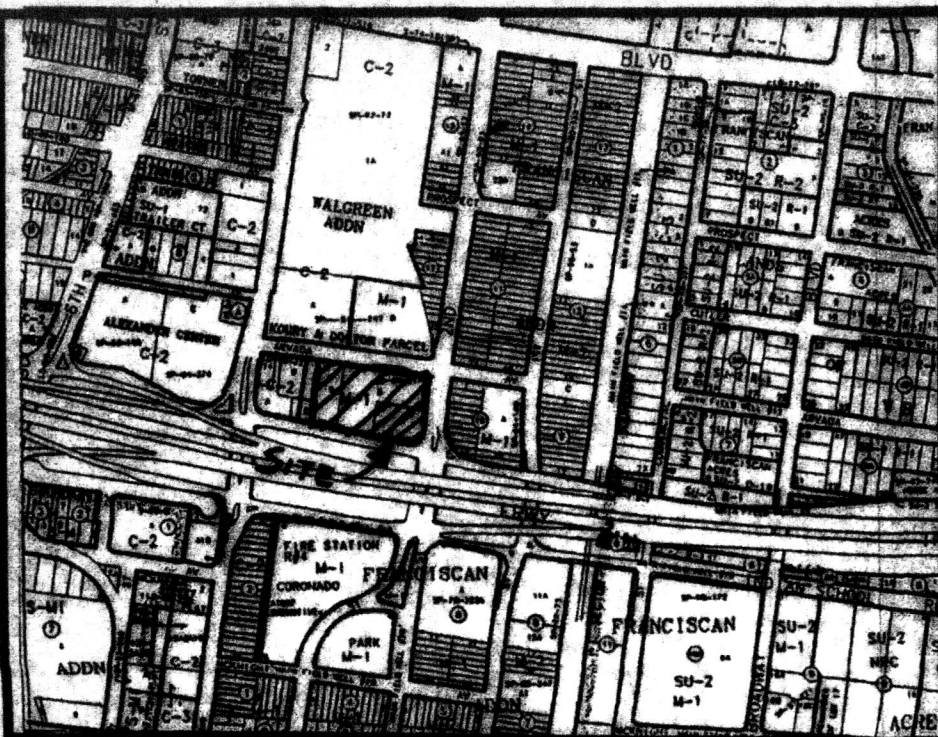
FILE # 0441HSITE  
07 OCT 04  
REV: 29 DEC 04

SHELL ONLY BUILDING  
TWO-FORTY, LLC  
2021 2ND ST NW  
ALBUQUERQUE, NEW MEXICO

SITE DETAILS  
TRAFFIC CIRCULATION PLAN

SHEET  
A1a  
OF 03





VICINITY MAP No. H-14

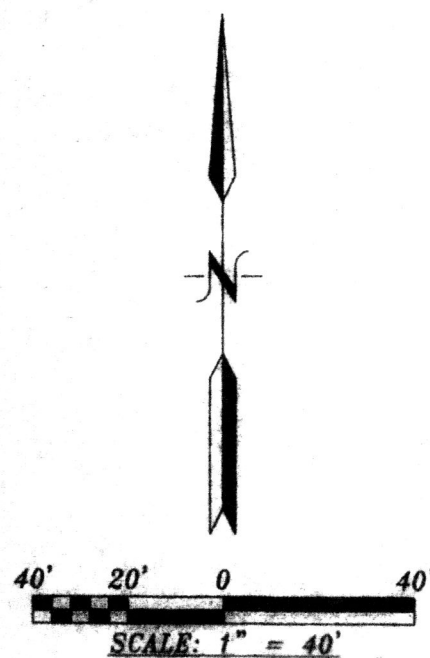
LEGAL DESCRIPTION

PARCELS LETTERED "A" AND "B" OF THE PLAT SHOWING PARCELS A AND B, M.R.G.C.D. MAP No. 36, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 30, 1972 IN VOLUME C18, FOLIO 178.

TOGETHER WITH

TRACT LETTERED "D" OF THE AMENDED PLAT OF PORTIONS OF TRACTS 7-a-1-a, 7-a-1-b AND 7-a-1-c ON THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP No. 36, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 2, 1969 IN VOLUME B5, FOLIO 1.

N.T.S.



DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO COMBINE THE THREE (3) LOTS INTO TWO (2) AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 1.9385 ACRES.
- 4: TALOS LOG NO. 2004117368
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 8: DATE OF FIELD WORK: JULY, 2004
- 9: CURRENT ZONING: M-1
- 10: There is a reciprocal, access, drainage, parking and pedestrian easement granted by this plat.



FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED, AND DOES HEREBY DEDICATE TO THE CITY OF ALBUQUERQUE ADDITIONAL RUN IN FEE SIMPLE WITH WARRANTY COVENANTS

*D. McCall* 8-4-04  
Two Forty L.L.C. Member DATE

ACKNOWLEDGMENT  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC  
THIS 4th DAY OF August, 2004

BY: *D. McCall*  
OWNERS NAME

MY COMMISSION EXPIRES: 5/10/05 BY: *Marilyn M. Morris*  
NOTARY PUBLIC

PLAT OF  
TRACTS A and B  
TWO FORTY L.L.C SUBDIVISION  
WITHIN  
SECTION 8, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2004

PROJECT NUMBER: 1003609

APPLICATION NUMBER: 04068-01247

UTILITY APPROVALS:

<i>Leon D. Marks</i>	8-11-04
PNM ELECTRIC SERVICES	DATE
<i>Leon D. Marks</i>	8-11-04
PNM GAS SERVICES	DATE
<i>Dan R. Muller</i>	8-11-04
QWEST TELECOMMUNICATIONS	DATE
<i>Robert Martinez</i>	8-11-04
COMCAST	DATE
<i>N/A Sam</i>	9/2/04
NEW MEXICO UTILITIES	DATE

CITY APPROVALS:

<i>W. J. Hart</i>	8-11-04
CITY SURVEYOR	DATE
<i>N/A Sam</i>	9/2/04
REAL PROPERTY DIVISION (CONDITIONAL)	DATE
<i>N/A Sam</i>	9/2/04
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
<i>Will Sy</i>	9-2-04
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>Roger &amp; Jean</i>	8/2/04
UTILITIES DEVELOPMENT	DATE
<i>Christina Sandoval</i>	8/16/04
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley L. Bingham</i>	8/12/04
AMAFCA	DATE
<i>Bradley L. Bingham</i>	9/12/04
CITY ENGINEER	DATE
<i>Ashley Nelson</i>	9/2/04
ORB CHAIRPERSON, PLANNING DEPARTMENT	DATE

CURVE DATA

C1	C2
R = 41.33'	R = 41.33'
D = 93°59'33"	D = 74°46'10"
CB = N 55°52'36" E	CB = S 65°29'07" W
CH = 60.45'	CH = 50.19'
L = 67.80'	L = 63.44'

SURVEYORS CERTIFICATE:

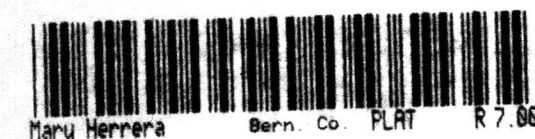
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
THIS 6th DAY OF August, 2004.

*Anthony L. Harris*  
ANTHONY L. HARRIS, P.S. # 11463

*HARRIS SURVEYING, INC.*  
2472-D MONROE STREET N.E.  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE: (505) 889-8058  
FAX: (505) 889-8845



RECEIVED  
SEP 09 2004  
MASTERWORKS  
0441 240 LLC

2004120022  
6139517  
Page: 1 of 1  
88/83/2004 02:14P  
BX-2004C Pg-278





TRAFFIC CIRCULATION PLAN

As required by Transportation Development Section, a copy of the approved TCL AS-BUILT will be submitted by the designer or acceptable representative party which includes a letter of certification stating the site has been constructed in accordance with the approved TCL. Verification of TCL acceptability, to include random field checks, will be made before a Final Certificate of Occupancy (C.O.) is issued. Please call this office to obtain temporary CO. Confirmation from Hydrology, supporting this requirement, will be needed prior to approval of TCL by Transportation.

LEGAL DESCRIPTION:

TRACTS A and B  
240 LLC SUBDIVISION  
ALBUQUERQUE, NEW MEXICO  
ZONE M-1  
ZONE MAP H-14

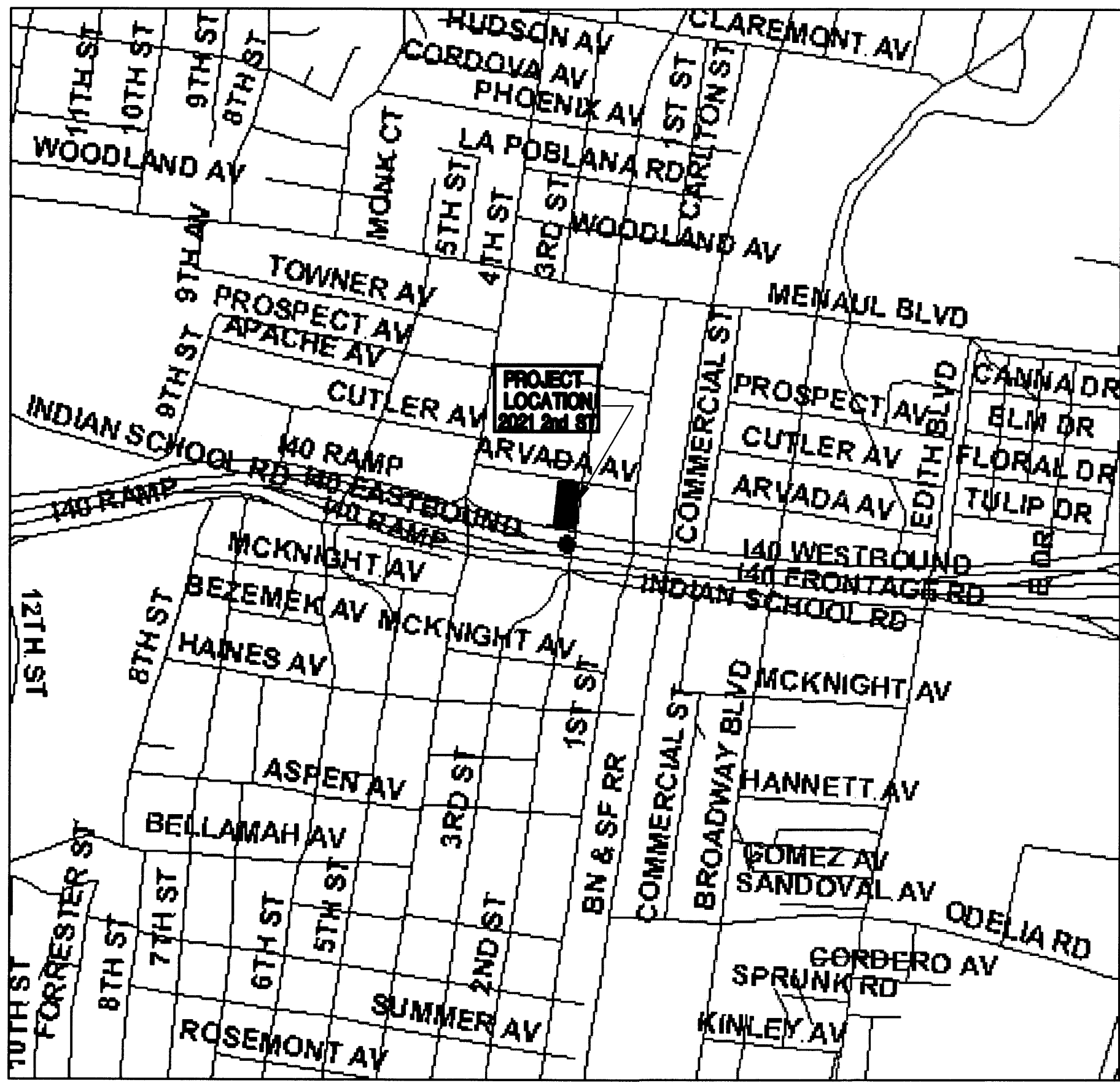
CONSTRUCTION NOTES:

- 1 REMOVE EXISTING DRIVE PAD. INSTALL NEW CURB GUTTER & SIDEWALK (CITY OF ABQ DETAIL 2415A & 2430)
- 2 REMOVE EXISTING DRIVE PAD AND SIDEWALK, INSTALL NEW DRIVE ENTRANCE (CITY OF ABQ DETAIL 2426)
- 3 REMOVE EXISTING ASPHALT PAVING. INSTALL 6" CONCRETE HEADER.
- 4 ASPHALT OVERLAY ON EXISTING PAVEMENT  
NEW PAINT STRIPPING & 6' CONCRETE WHEEL STOPS.
- 5 REMOVE DAMAGED CONCRETE AND REPLACE (CITY OF ABQ. DETAIL 2415A SIDEWALKS & 2428 DRIVEPADS)
- 6 CHECK SUPPLY AND CONTROLS OF LIGHT POLE & SIGN FIXTURES, RELAMP ALL FIXTURES.
- 7 REMOVE EXISTING ASPHALT & INSTALL NEW 6" CONCRETE PAVING

MAINTAIN ADEQUATE SECURITY TO PROTECT BUILDING UNDER CONSTRUCTION.  
KEEP SITE SAFE & CLEAN. BLOCK OFF & MARK ANY HAZARDOUS AREAS.

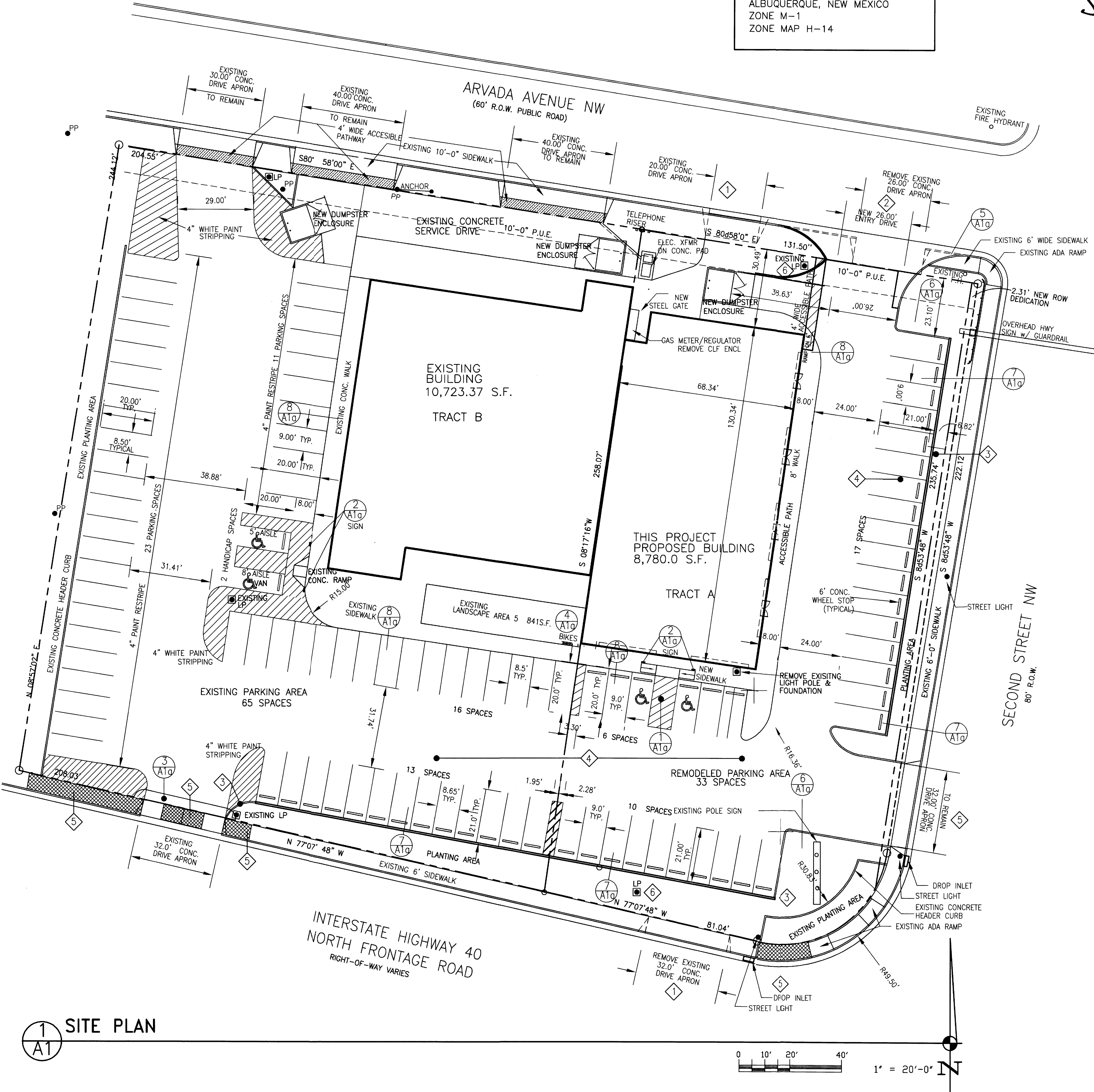
PARKING CALCULATIONS:

REQUIRED FOR			
COMMERCIAL	19,503.37 GSF / 200 GSF	98 SPACES	
RETAIL			
PROPOSED BUILDING	8,780 NSF / 200 GSF	44 SPACES	
EXISTING BUILDING	10,723 NSF / 200 GSF	54 SPACES	
TOTAL REQUIRED PARKING		98 SPACES	
ADA ACCESSIBLE ( VANS INCLUDED )	4 REQUIRED 2 )	4 PROVIDED	
TOTAL SPACES PROVIDED:		98 SPACES	

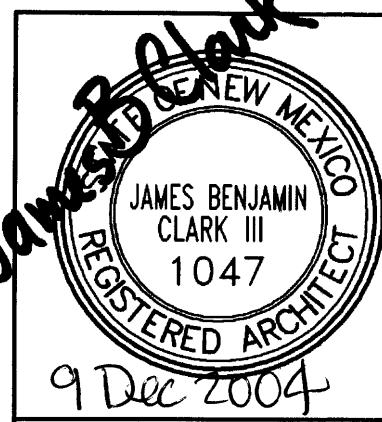


2 VICINITY MAP  
A1

NO SCALE



1 SITE PLAN  
A1



MASTERWORKS  
ARCHITECTS, INC.  
4200 WYOMING BLVD. NE SUITE B-1  
ALBUQUERQUE, NM 87111 242-1866

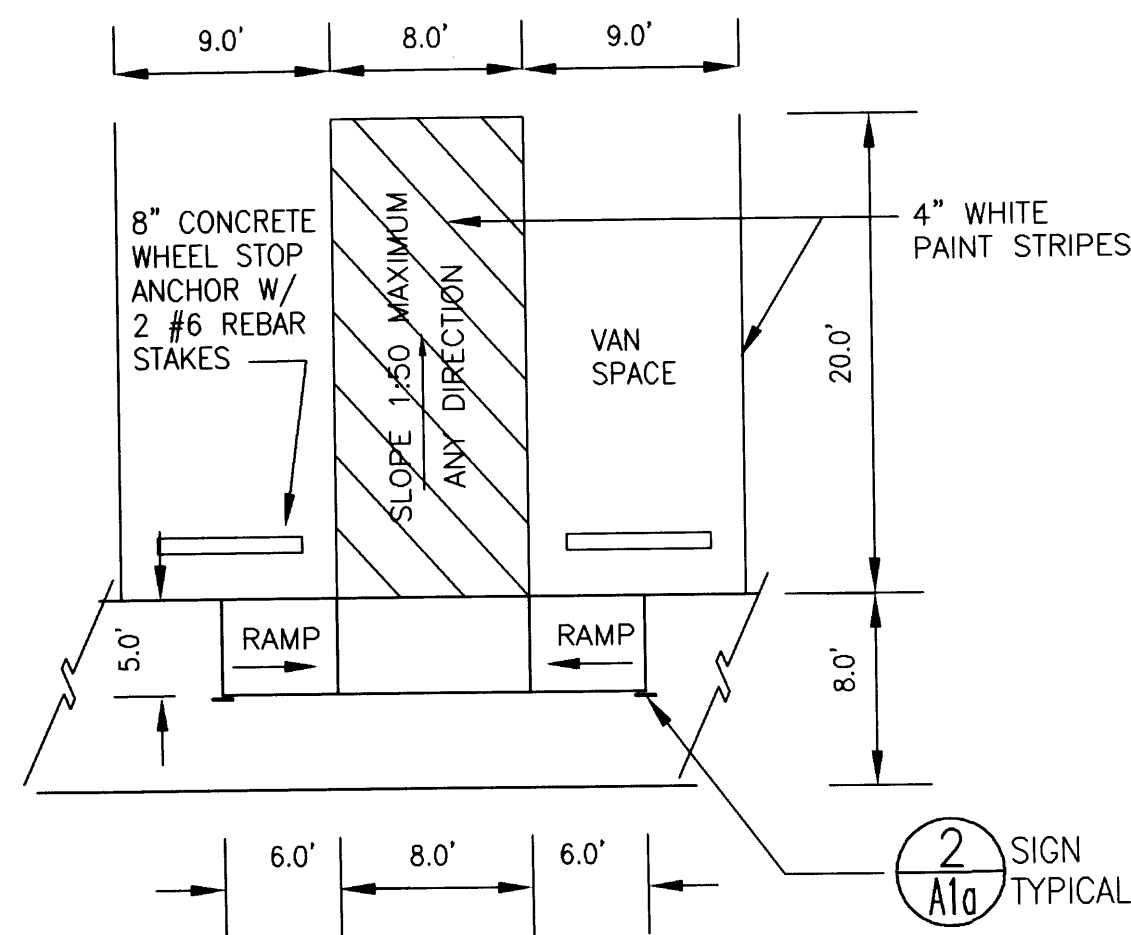
FILE # 0441HSITE  
07 OCT 04  
REV: 03 DEC 04

SHELL ONLY BUILDING  
TWO-FORTY, LLC  
2021 2ND ST NW  
ALBUQUERQUE, NEW MEXICO

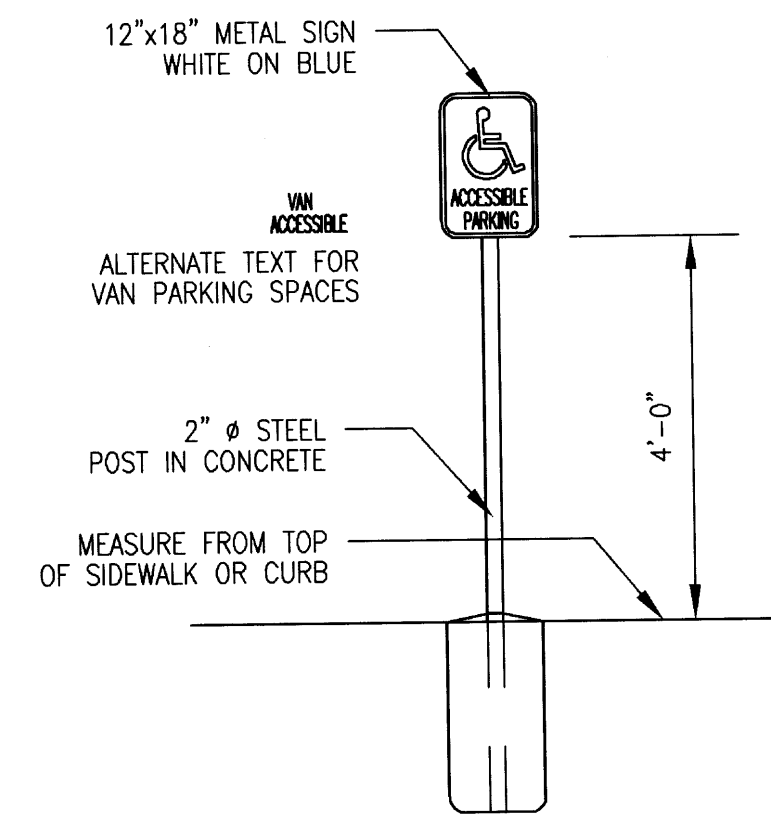
SITE LAYOUT &  
TRAFFIC CIRCULATION PLAN

SHEET  
A1  
OF 03

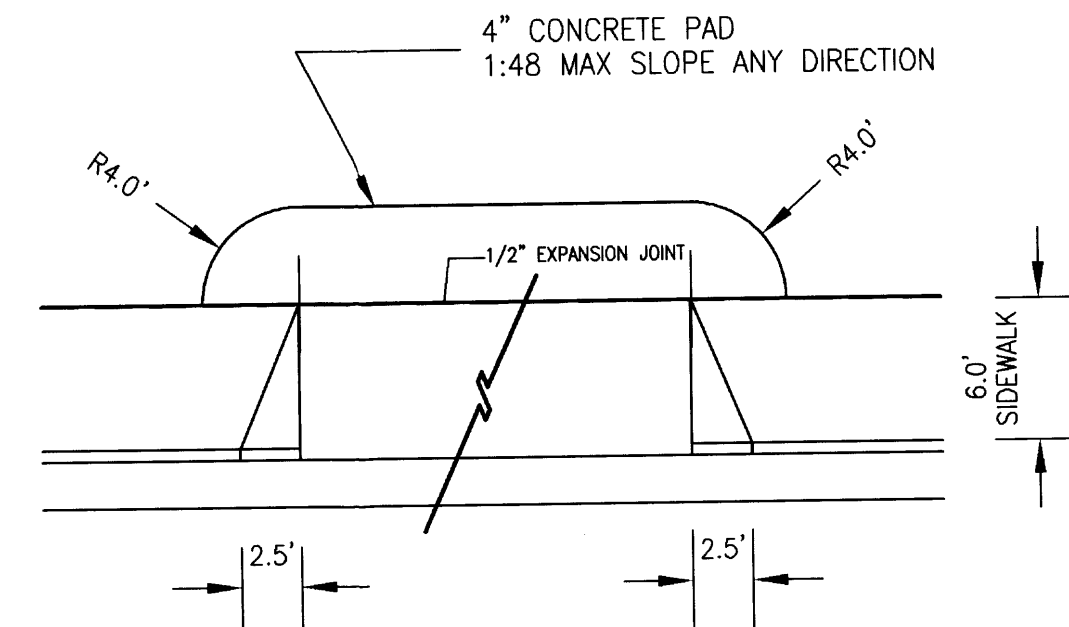




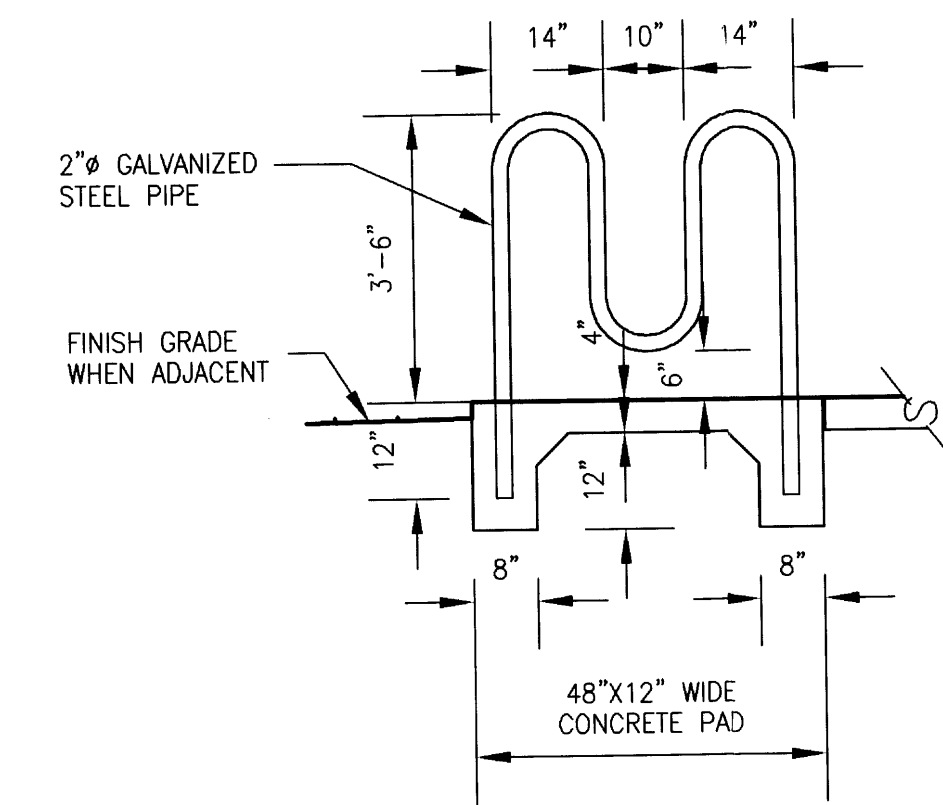
1  
A1a TYPICAL ACCESSIBLE PARKING AREA  
SCALE: 1/4" = 1'-0"



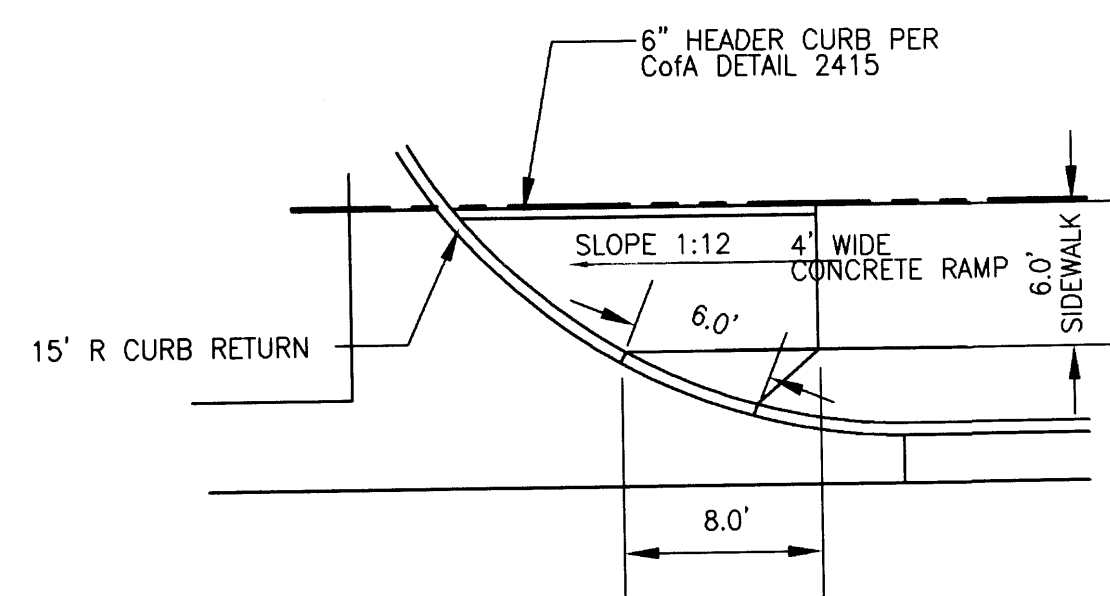
2  
A1a ADA PARKING SIGN  
SCALE: 1/2" = 1'-0"



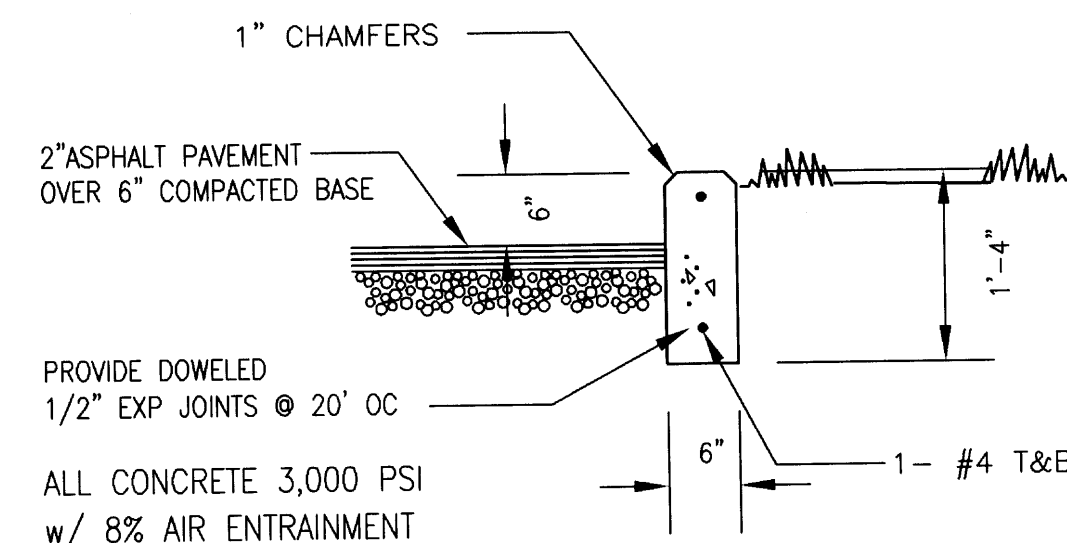
3  
A1a DRIVEPAD ACCESSIBLE PATH BYPASS  
SCALE: 1/8" = 1'-0"



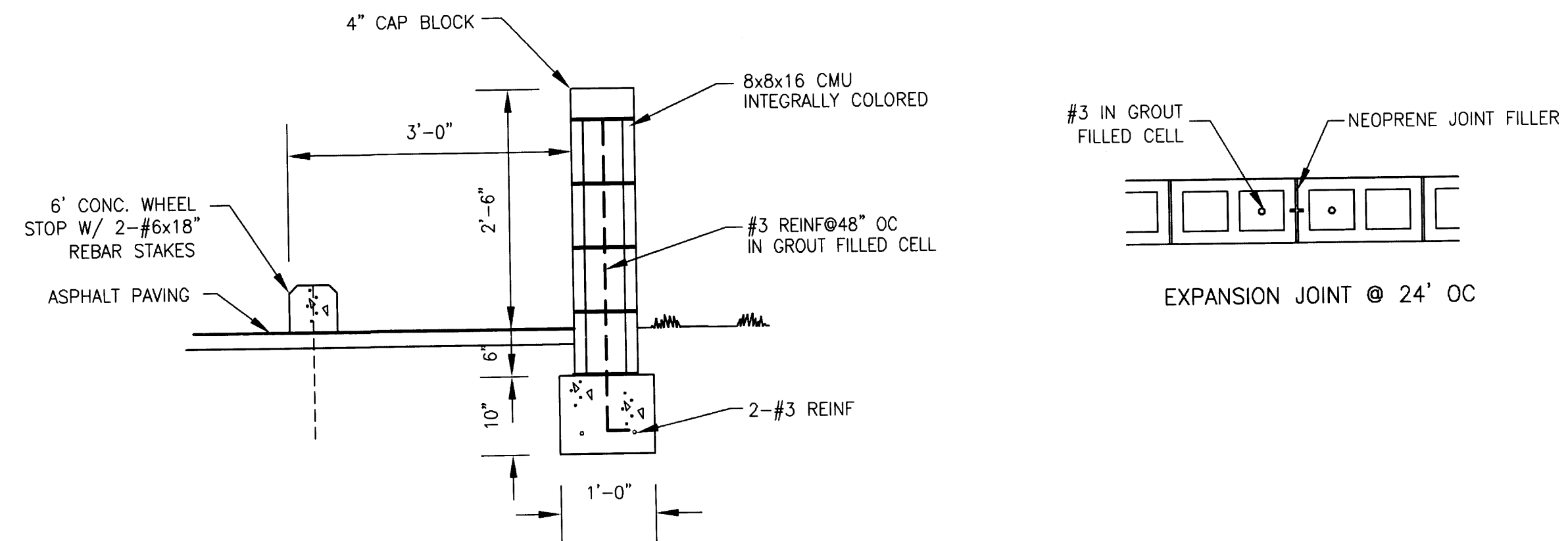
4  
A1a BIKE RACK  
SCALE: 1/2" = 1'-0"



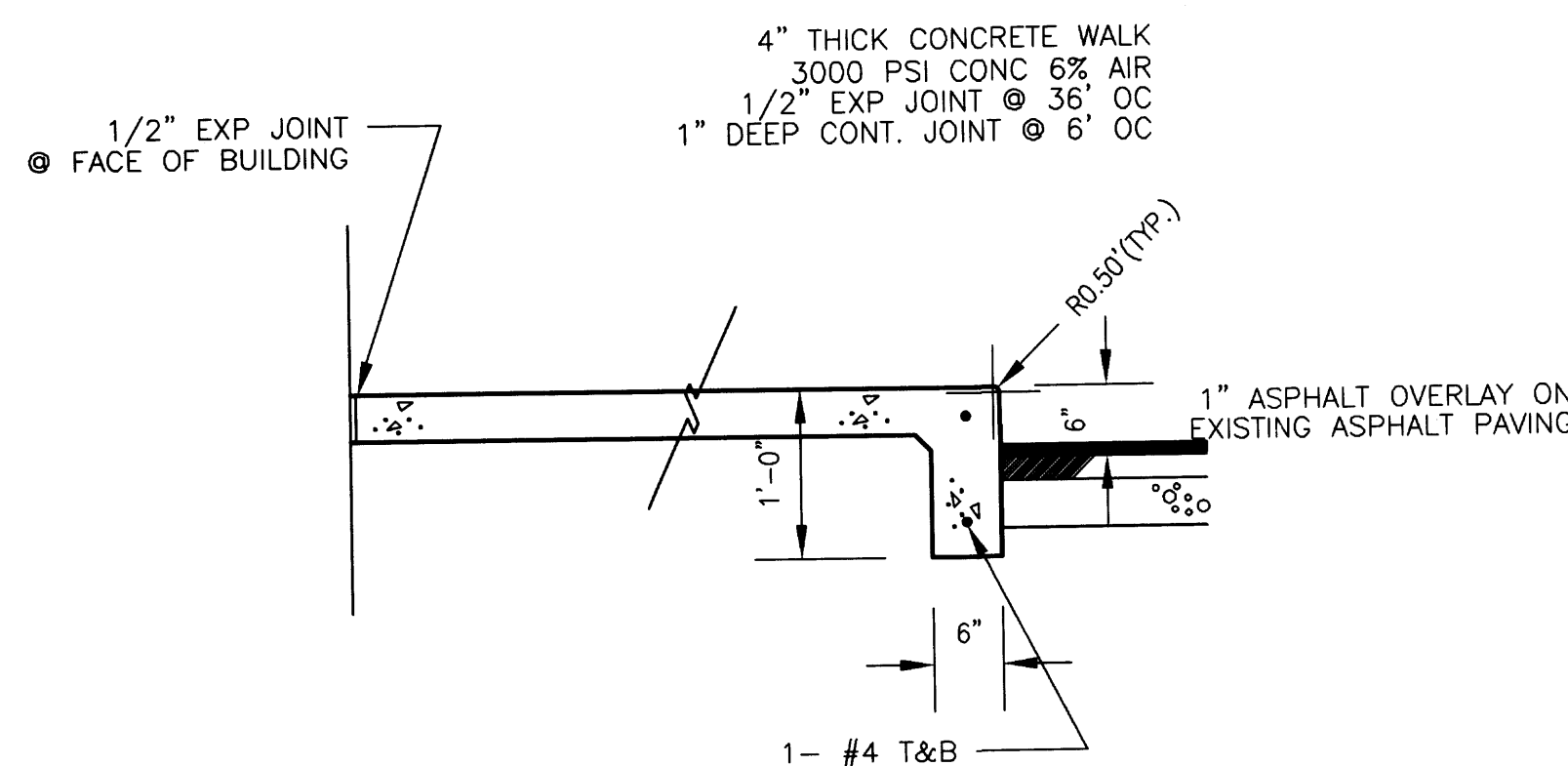
5  
A1a UNIDIRECTIONAL ACCESS RAMP DETAIL  
PER CoFA DWG 2426 SCALE: 1/8" = 1'-0"



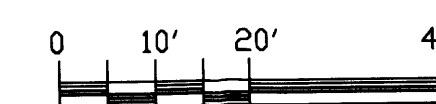
6  
A1a CONCRETE HEADER CURB DETAIL  
SCALE: 3/4" = 1'-0"



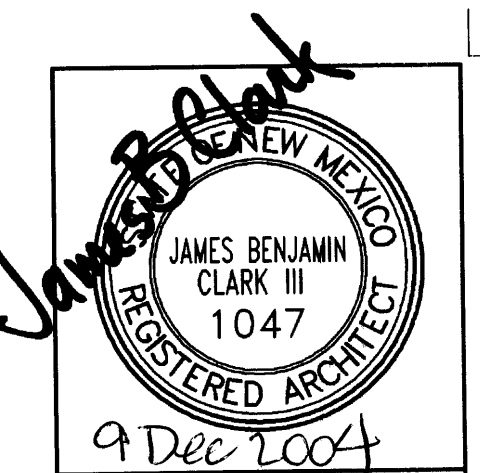
7  
A1a HEAD LIGHT SCREEN WALL  
SCALE: 3/4" = 1'-0"



8  
A1a TURNED DOWN EDGE CURB  
SCALE: 3/4" = 1'-0"



1" = 20'-0"



MASTERWORKS  
ARCHITECTS, INC  
4200 WYOMING BLVD. NE SUITE B-1  
ALBUQUERQUE, NM 87111 242-1866

FILE # 0441HSITE  
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SHELL ONLY BUILDING  
TWO-FORTY, LLC  
2021 2ND ST NW  
ALBUQUERQUE, NEW MEXICO

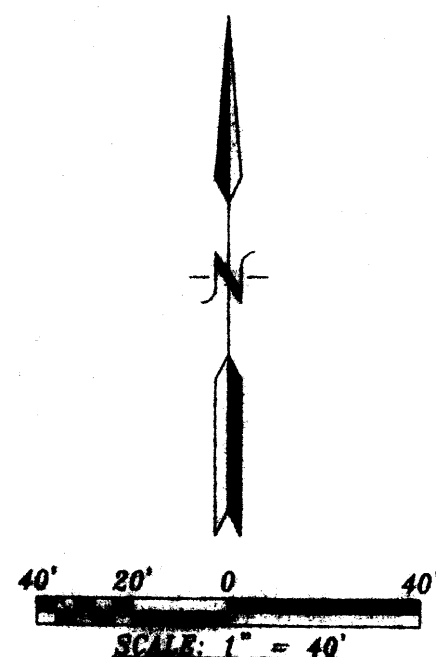
SITE DETAILS  
TRAFFIC CIRCULATION PLAN

SHEET  
A1a  
OF 03





VICINITY MAP No. H-14



DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO COMBINE THE THREE (3) LOTS INTO TWO (2) AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

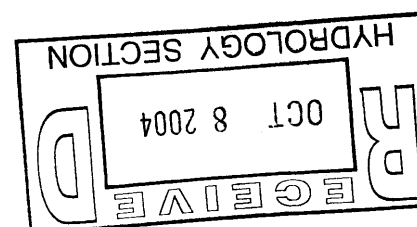
- 1: UNLESS NOTED, NO. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 1.9385 ACRES.
- 4: TALOS LOG NO. 2004117368
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 8: DATE OF FIELD WORK: JULY, 2004
- 9: CURRENT ZONING: M-1
- 10: There is a road, access, drainage, parking and pedestrian easement granted by this plat.

LEGAL DESCRIPTION

PARCELS LETTERED "A" AND "B" OF THE PLAT SHOWING PARCELS A AND B, M.R.G.C.D. MAP No. 36, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 30, 1972 IN VOLUME C18, FOLIO 178.

TOGETHER WITH

TRACT LETTERED "D" OF THE AMENDED PLAT OF PORTIONS OF TRACTS 7-a-1-a, 7-a-1-b AND 7-a-1-c ON THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP No. 36, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 2, 1969 IN VOLUME B5, FOLIO 1.



PLAT OF TRACTS A and B TWO FORTY L.L.C SUBDIVISION

WITHIN SECTION 8, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO AUGUST, 2004

PROJECT NUMBER: 1003609 APPLICATION NUMBER: 04088-01247

UTILITY APPROVALS:

PNM ELECTRIC SERVICES	8-11-04
PNM GAS SERVICES	8-11-04
QWEST TELECOMMUNICATIONS	8-11-04
COMCAST	8-11-04
NEW MEXICO UTILITIES	9/2/04

CITY APPROVALS:

CITY SURVEYOR	8-11-04
REAL PROPERTY DIVISION (CONDITIONAL)	9/2/04
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	9/2/04
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	9-2-04
UTILITIES DEVELOPMENT	8/2/04
PARKS AND RECREATION DEPARTMENT	8/16/04
AMAFCA	8/12/04
CITY ENGINEER	9/12/04
URB CHAIRPERSON, PLANNING DEPARTMENT	9/2/04

CURVE DATA

C1	C2
R = 41.33'	R = 41.33'
D = 83.59'33"	D = 74°46'16"
CB = N 55°52'36" E	CB = S 65°21'07" W
CH = 80.45'	CH = 80.19'
L = 67.80'	L = 83.94'

SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO ) S.S. COUNTY OF BERNALILLO )

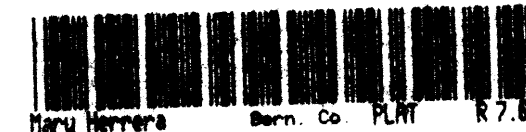
I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 6th DAY OF August, 2004.

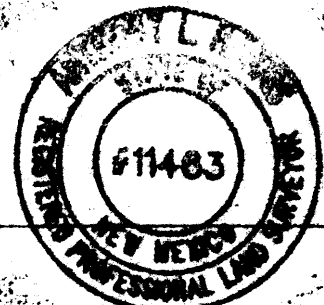
Anthony L. Harris, P.S. #11463

ANTHONY L. HARRIS SURVEYING, INC. 1122-B GARRON STREET N.E. ALBUQUERQUE, NEW MEXICO 87110 PHONE: (505) 889-8058 FAX: (505) 889-8045

RECEIVED SEP 09 2004 MASTERWORKS 0441240 L.L.C.



2004125022 615817 Page 1 of 1 88/83/2004 82-14P BK-2004C Pg-278



FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED. AND DOES HEREBY DEDICATE TO THE CITY OF ALBUQUERQUE ADDITIONAL ROW IN FEE SIMPLE WITH WARRANTY COVENANTS

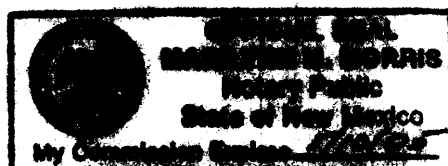
Two Forty L.L.C. Member

ACKNOWLEDGMENT STATE OF NEW MEXICO ) S.S. COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 4th DAY OF August, 2004

BY: D. McCall OWNERS NAME

MY COMMISSION EXPIRES: 5/10/05 BY: Marilyn M. Morris NOTARY PUBLIC



1-014-059-320175-42113

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UPC#1-014-059-320175-42113, 1-014-059-320175-42113

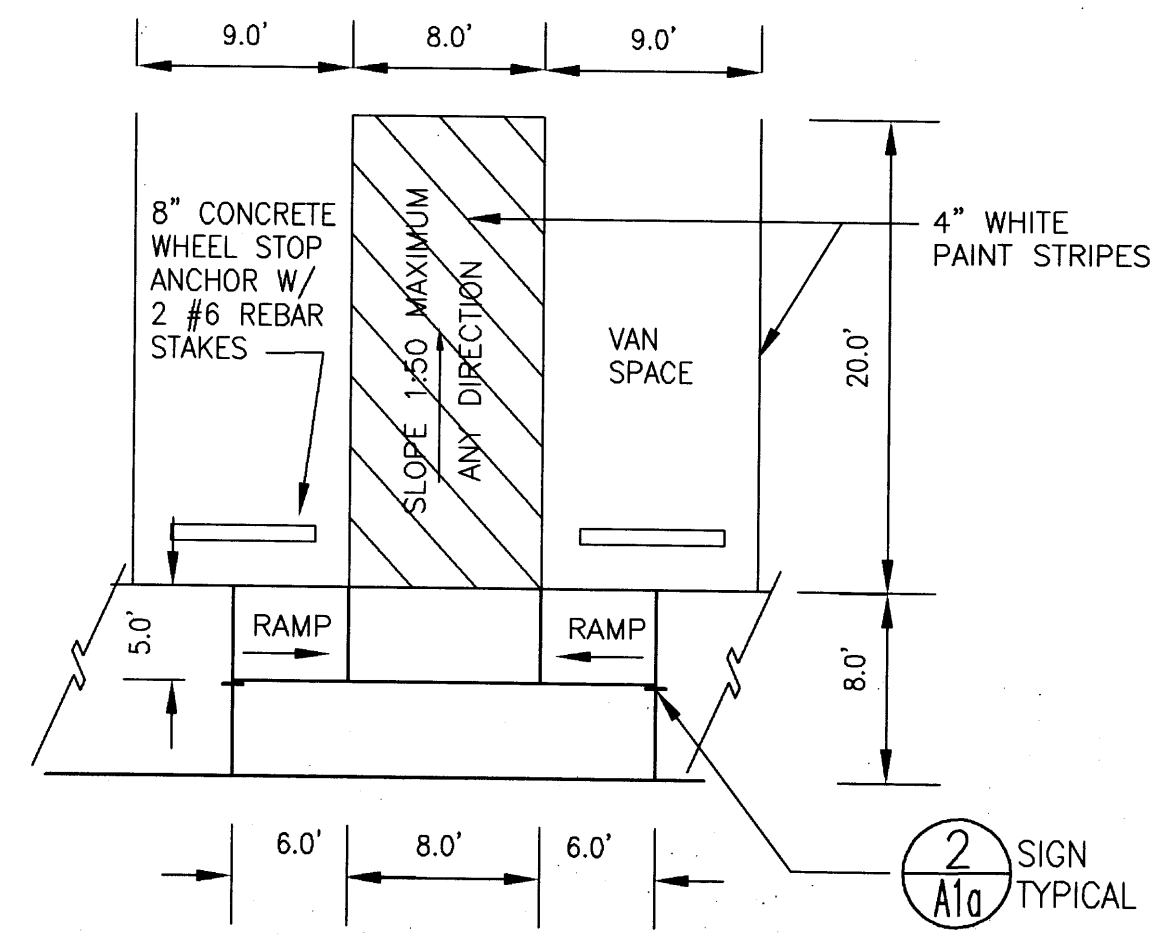
PROPERTY OWNER OF RECORD: *Francis Contreras*

BERNALILLO CO. TREASURER'S OFFICE: *Alfonso Karamanoglu* 9/8/2004

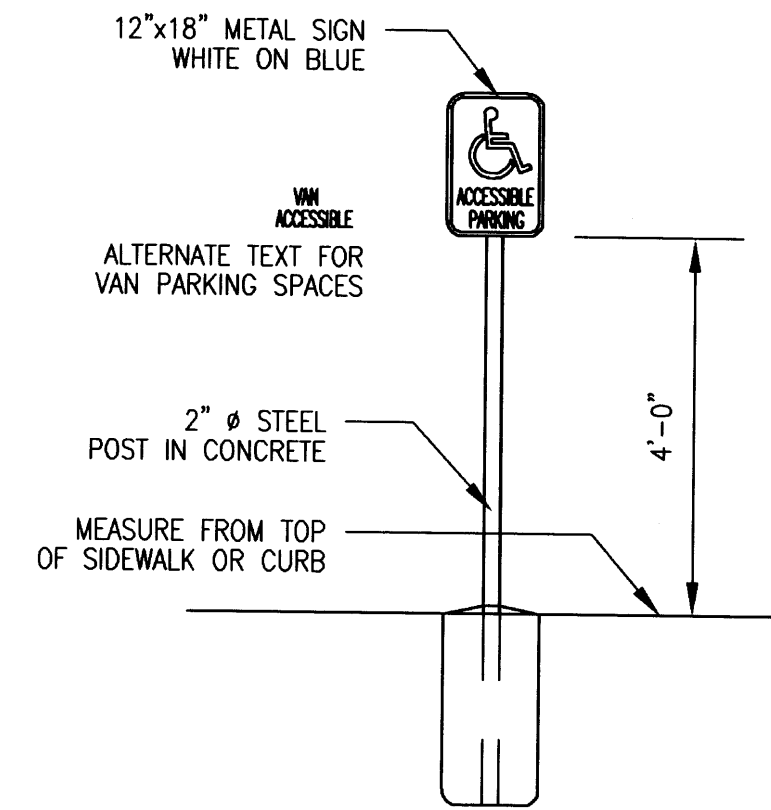




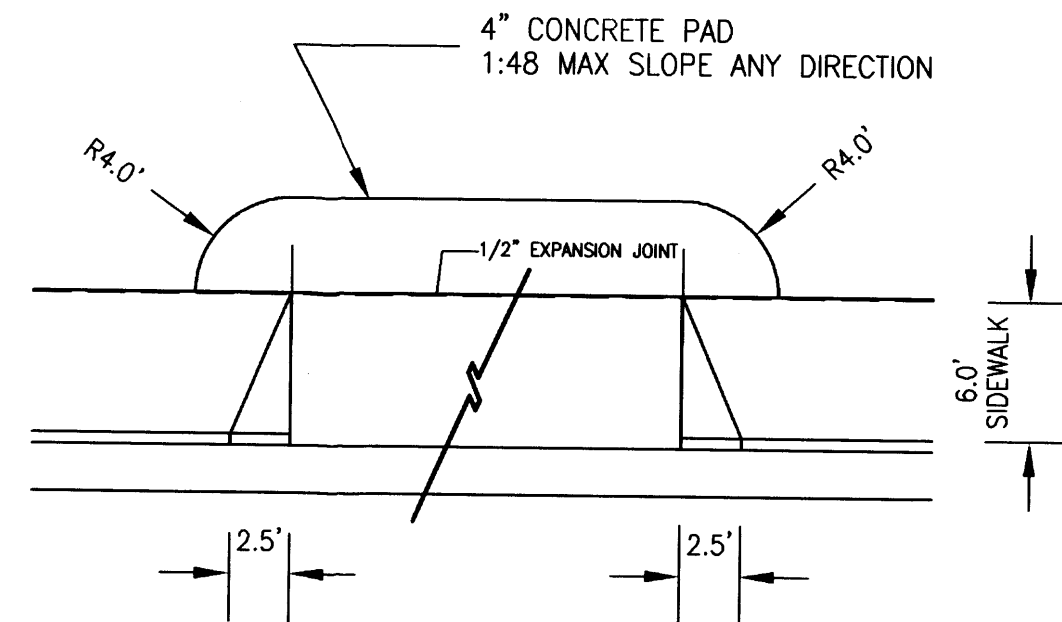




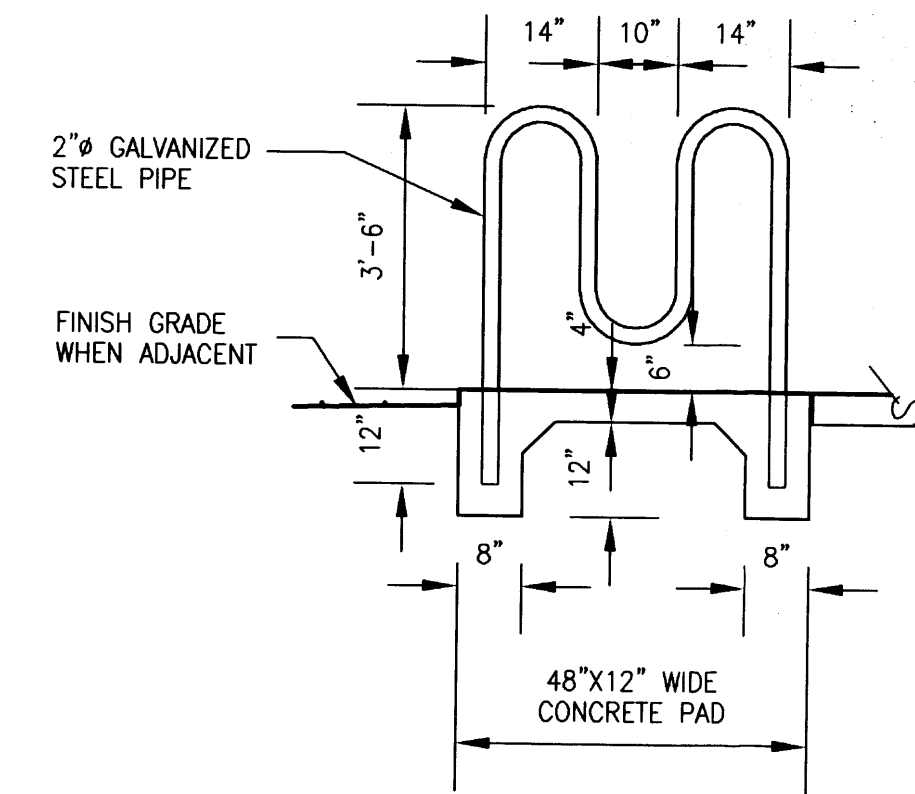
1 TYPICAL ACCESSIBLE PARKING AREA  
A1a SCALE: 1/4" = 1'-0"



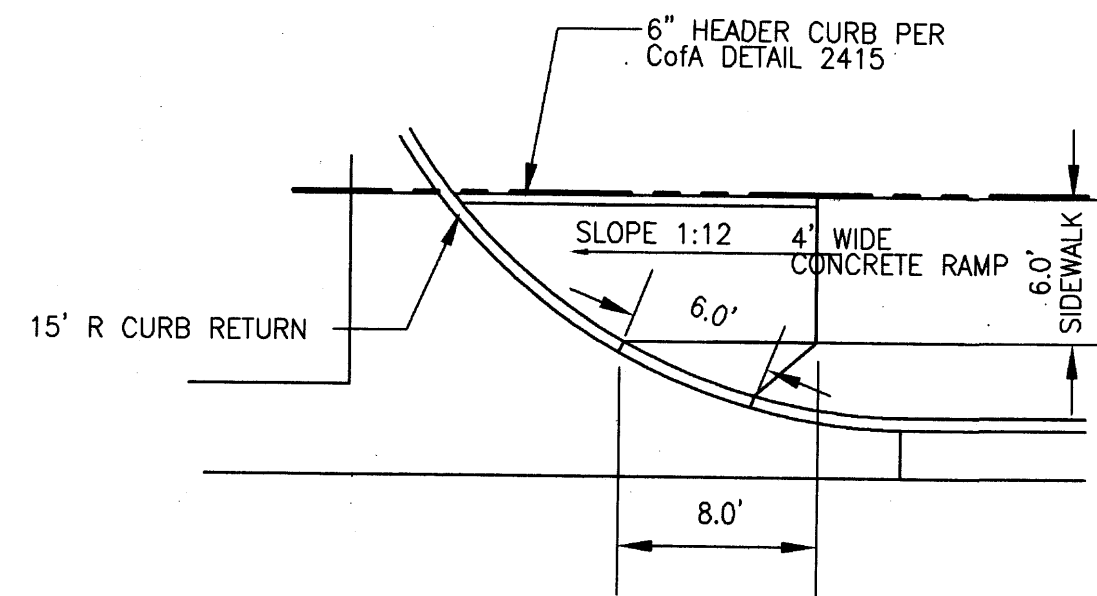
2 ADA PARKING SIGN  
A1a SCALE: 1/2" = 1'-0"



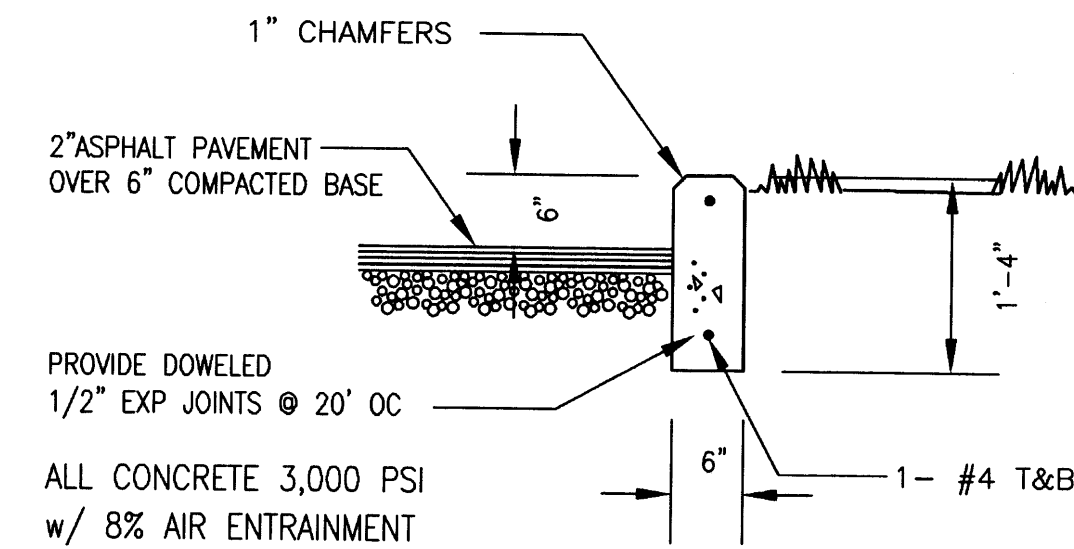
3 DRIVEPAD ACCESSIBLE PATH BYPASS  
A1a SCALE: 1/8" = 1'-0"



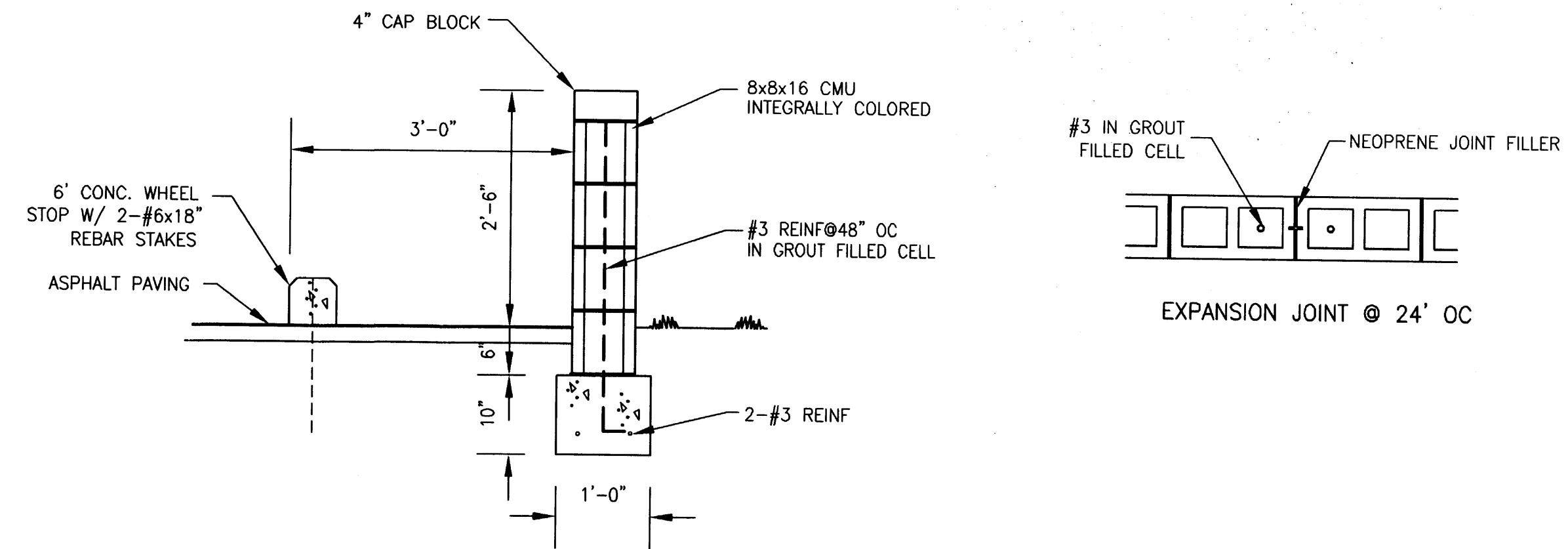
4 BIKE RACK  
A1a SCALE: 1/2" = 1'-0"



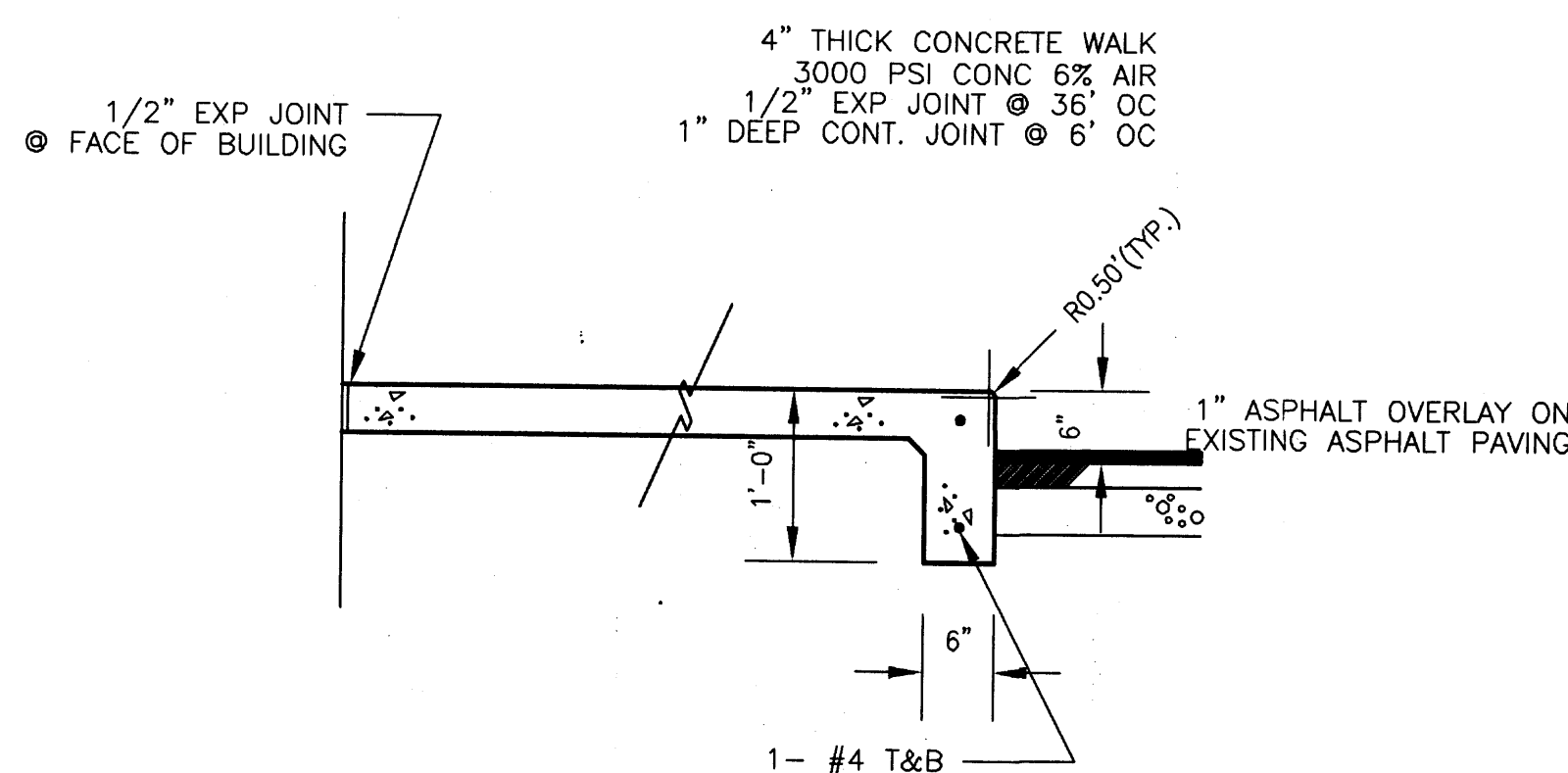
5 UNIDIRECTIONAL ACCESS RAMP DETAIL  
A1a PER CoFA DWG 2426 SCALE: 1/8" = 1'-0"



6 CONCRETE HEADER CURB DETAIL  
A1a SCALE: 3/4" = 1'-0"



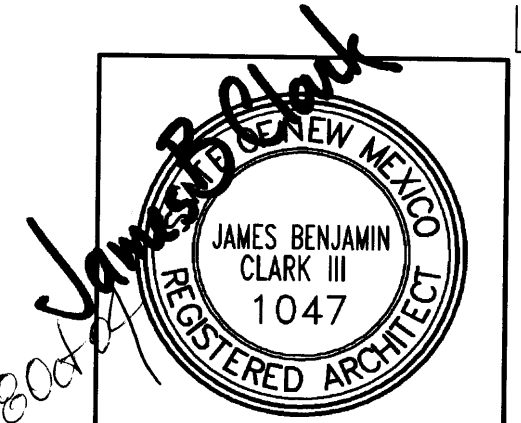
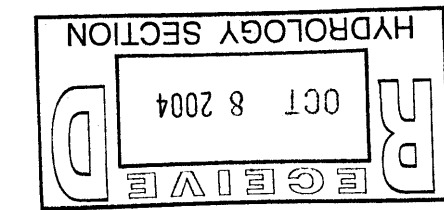
7 HEAD LIGHT SCREEN WALL  
A1a SCALE: 3/4" = 1'-0"



8 TURNED DOWN EDGE CURB  
A1a SCALE: 3/4" = 1'-0"



1" = 20'-0"



MASTERWORKS  
ARCHITECTS, INC  
4200 WYOMING BLVD. NE SUITE B-1  
ALBUQUERQUE, NM 87111 242-1866

FILE # 0441FSITE  
07 OCT 04

SHELL ONLY BUILDING  
TWO-FORTY, LLC  
2021 2ND ST NW  
ALBUQUERQUE, NEW MEXICO

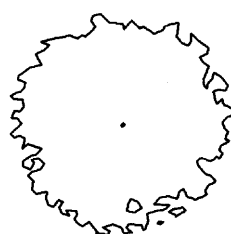
SITE DETAILS  
TRAFFIC CIRCULATION PLAN

SHEET  
A1a  
OF 03

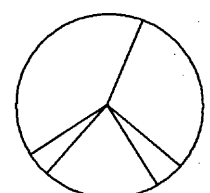


PLANT MATERIALS:

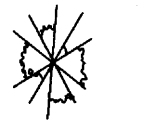
DECIDUOUS:



ASH (FRAXINUS TEXANA)  
BLACK LOCUST (ROBINIA PSUEDOACACIA)  
2-2 1/2" CAL.,  
3' ASH 30' H x 25' W  
4 LOUST 50' H x 30' W



2 DESERT OLIVE(FORESTIERA NEOMEIXICANA)  
15' HX 10' W  
3 GAL.



2 BIRDS OF PARADISE(CAESALPINIA GILLIESII)  
4'-6" HX 3'-6" W  
1 GAL.



TAM JUNIPER (JUNIPERUS SABINA)  
1 CA.,  
14'-18" H x 10'-20' W



FOURWING SALTBUCH (ATRIPLEX CANESCENS)  
1 GAL.,  
22 - 2'5" H x 3' W



APACHE PLUME (FALLUGIA PARADOXA)  
1 GAL.,  
10 - 2'-8" - 5' H x 2'-6" W



MIXED PERENNIAL FLOWERING SHRUBS  
LOW WATER USE  
AS SELECTED  
18-30" H x 30" W

NOTE:  
ALL LANDSCAPING AT MATURITY SHALL PROVIDE 75% LIVE  
COVERAGE OF PLANTING AREAS.

ALL GROUND COVER TO BE SANTA FE BROWN GRAVEL MULCH  
OVER FILTER FABRIC

LANDSCAPE NOTES:

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY  
OF THE PROPERTY OWNER.  
ALL PLANT MATERIALS WHICH DO NOT SURVIVE SHALL BE  
REPLACED WITHIN 60 DAYS.

THE INSTALLED LANDSCAPING IS TO COMPLY WITH THE  
CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCES.  
THIS DESIGN IS BASED ON THE PLANTING RESTRICTIONS  
APPROACH. ALL PLANTS ARE LOW & MEDIUM WATER USE,  
AND NO SOD IS TO BE USED IN THIS DESIGN.

LANDSCAPE INSTALLATION SHALL BE COMPLETED WITHIN  
60 DAYS OF BUILDING OCCUPANCY.

IRRIGATION NOTES:

IRRIGATION SYSTEM SHALL BE AN AUTOMATIC CONTROLLED  
WATERING SYSTEM.

TREES & SHRUBS:  
TO RECEIVE FIVE 1.0 GPM DRIP EMITTERS  
SHRUBS TO RECEIVE ONE 1.0 GPM DRIP TYPE EMITTER  
RUN TIME PER EMITTER TO BE APPROXIMATELY 15 MINUTES  
AS ADJUSTED FOR INDIVIDUAL PLANT REQUIREMENTS.

LANDSCAPE CALCULATIONS:

REQUIRED LANDSCAPED AREA:

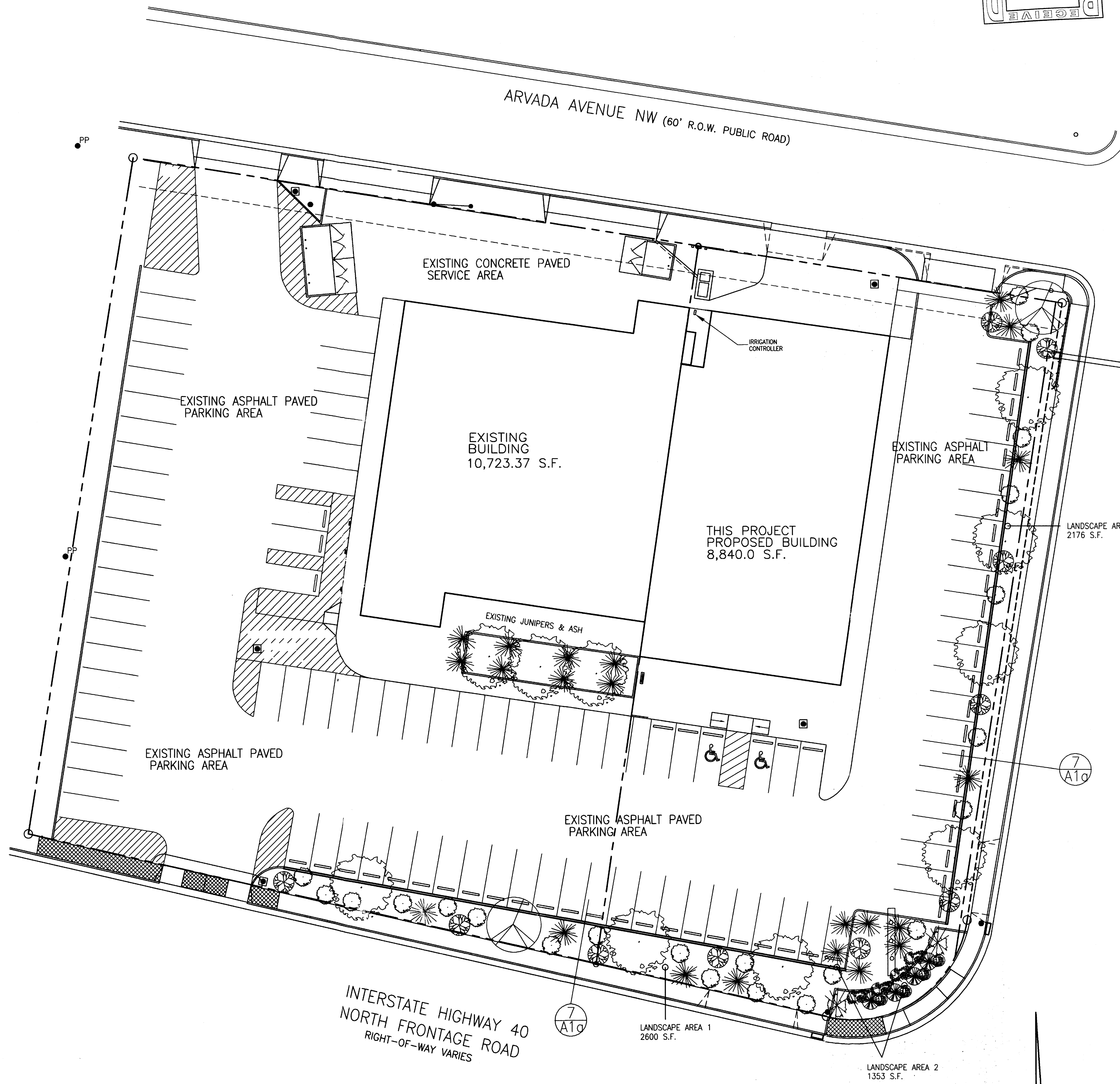
GROSS LOT AREA: 34,005.66 SF  
BUILDING FOOTPRINT: 8,722.68 GSF  
NET LOT AREA: 25,282.98 SF  
x 15 %

REQUIRED AREA: 3,792.44 GSF

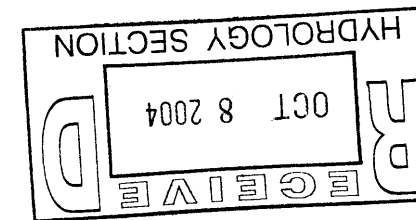
PROVIDED:

AREA 1 2600 SF  
AREA 2 1353 SF  
AREA 3 2176 SF

TOTAL AREA: 6129 SF



1  
A2 LANDSCAPE PLAN



MASTERWORKS  
ARCHITECTS, INC.  
4200 WYOMING BLVD. NE SUITE B-1  
ALBUQUERQUE, NM 87111 242-1866

FILE # 0441FSITE  
07 OCT 04

SHELL ONLY BUILDING  
TWO-FORTY, LLC  
2021 2ND ST NW  
ALBUQUERQUE, NEW MEXICO

LANDSCAPING PLAN  
LEGEND AND NOTES  
TRAFFIC CIRCULATION PLAN

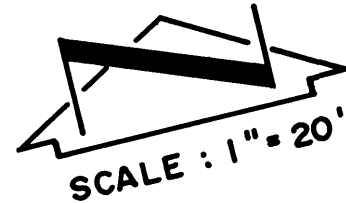
SHEET  
A2  
OF 03



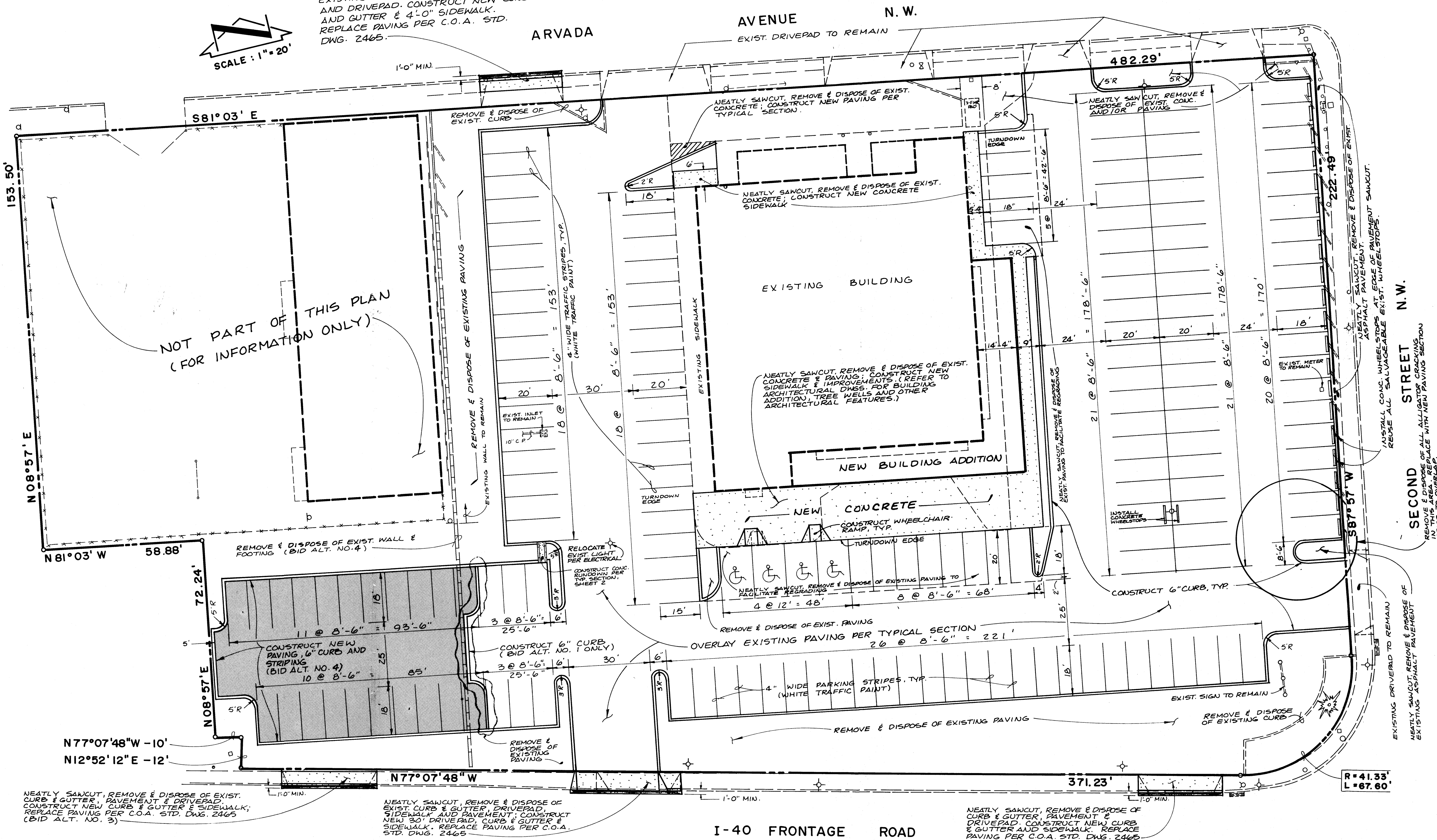
# HYDROLOGY APPROVAL & INSPECTION

APPROVED FOR BUILDING PERMIT  
 ENGINEER JEFF MORTENSEN DATE 1/14/91  
 INSPECTION REQUESTED DATE \_\_\_\_\_  
 APPROVAL DATE \_\_\_\_\_ DISAPPROVED \_\_\_\_\_  
 SURVEY DATE \_\_\_\_\_  
 HYDROLOGY BOOK NO./PAGE NO. \_\_\_\_\_  
 REVIEWED BY \_\_\_\_\_  
 COMMENTS \_\_\_\_\_

NEATLY SAWCUT, REMOVE & DISPOSE OF EXISTING CURB AND GUTTER, PAVEMENT AND DRIVEPAD. CONSTRUCT NEW CURB AND GUTTER & 4'-0" SIDEWALK. REPLACE PAVING PER C.O.A. STD. DWG. 2465.



SCALE: 1" = 20'



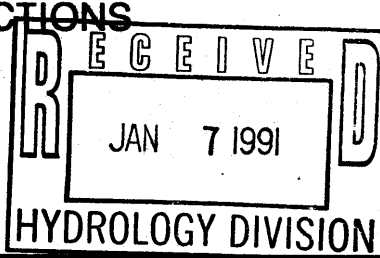
## GENERAL NOTES:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1987, PUBLISHED BY THE NEW MEXICO CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL BUILDINGS AND ADJACENT PROPERTIES DURING CONSTRUCTION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING AND MAINTAINING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
- ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION, LATEST EDITION.
- IF THE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK, AND/OR PAVING IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. WHEN ABUTTING PAVEMENT TO EXISTING, THE CONTRACTOR SHALL CUT BACK THE EXISTING PAVING TO A STRAIGHT LINE IN ORDER TO REMOVE ANY BROKEN OR CRACKED PAVEMENT. CURB AND GUTTER AND/OR PAVEMENT SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT AND WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
- THE CONTRACTOR SHALL CONFINED HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
- ALL DIMENSIONS AND RADII OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
- THE CONTRACTOR SHALL NOTIFY THE OWNER 48 HOURS PRIOR TO STRIPING SO THAT LAYOUT CAN BE VERIFIED.
- ALL WORK TO BE PERFORMED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARDS & PROCEDURES.



## INDEX OF DRAWINGS

- PAVING SITE PLAN
- PAVING SECTIONS & DETAILS
- TOPOGRAPHIC SURVEY
- GRADING PLAN
- DRAINAGE PLAN, CALCULATIONS DETAILS & SECTIONS

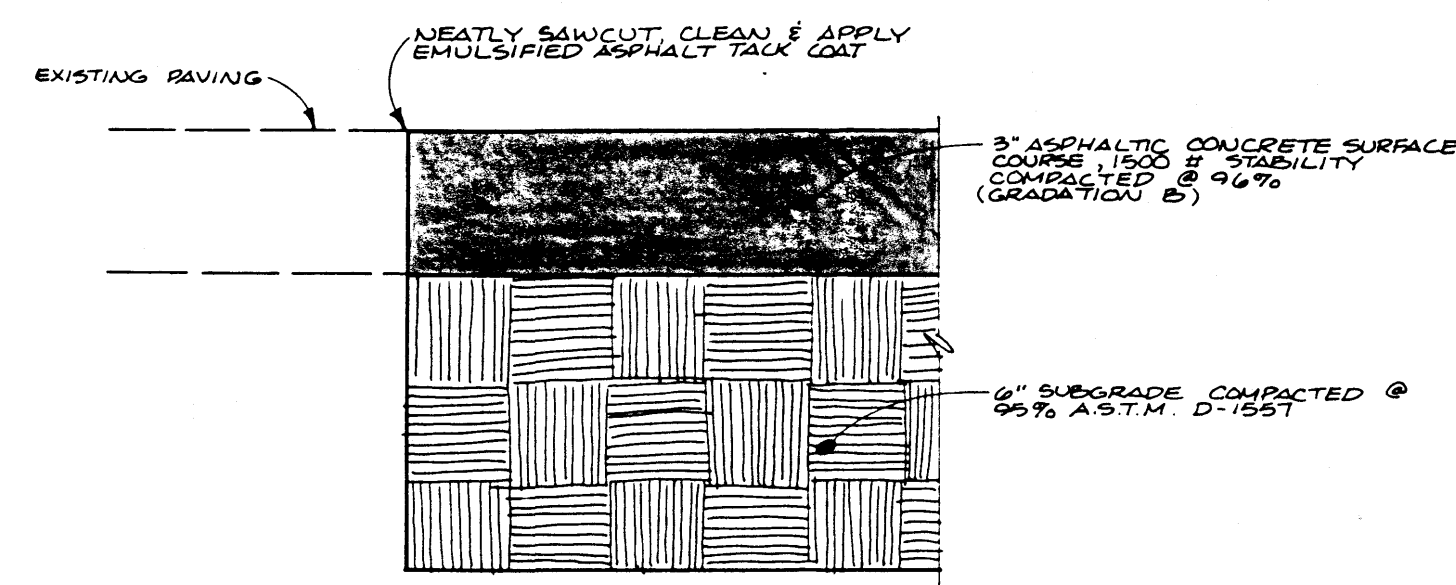


JEFF MORTENSEN & ASSOCIATES, INC.  
 6010-B MIDWAY PARK BLVD. N.E.  
 ALBUQUERQUE, NEW MEXICO 87109  
 ENGINEERS & SURVEYORS (505)345-4250

## PAVING SITE PLAN FURR'S CAFETERIA NUMBER 164

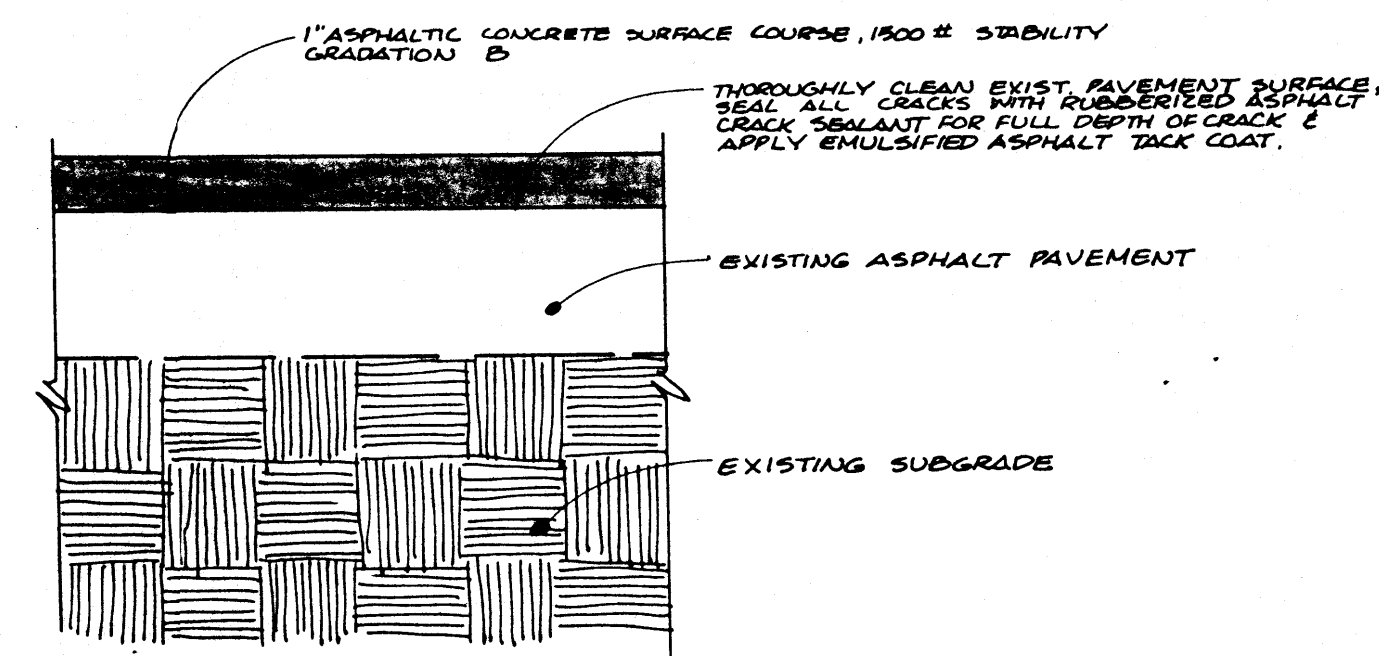
DESIGNED BY	NO.	DATE	BY	REVISIONS	JOB NO.
J.G.M.					900963
DRAWN BY					DATE
S.G.H.					12-1990
APPROVED BY					SHEET
J.G.M.					1 OF 5





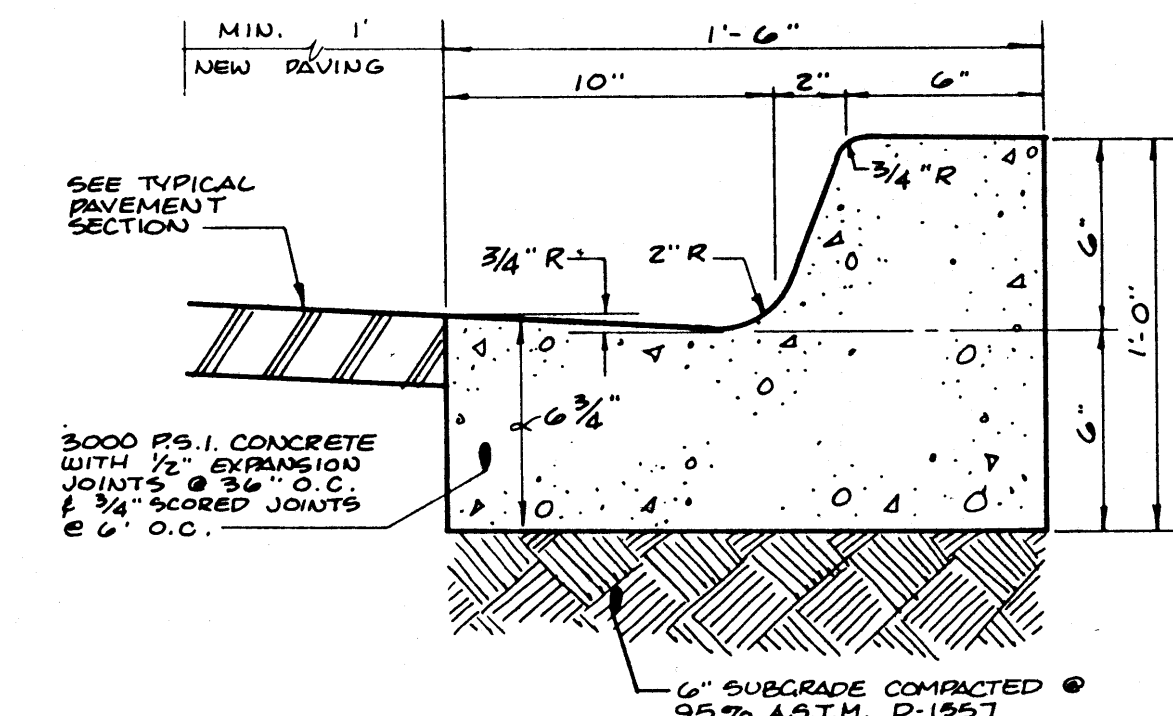
TYPICAL NEW PAVING SECTION

SCALE: 1" = 4"



TYPICAL OVERLAY PAVING SECTION

SCALE: 1" = 4"

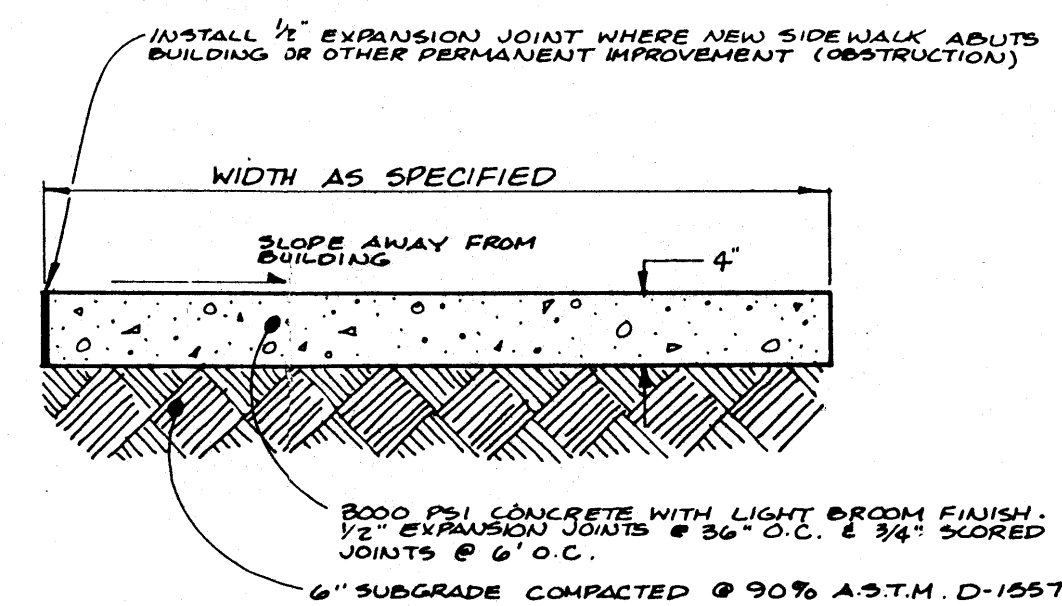


TYPICAL SIX-INCH CURB &amp; GUTTER

SCALE: 1" = 6"

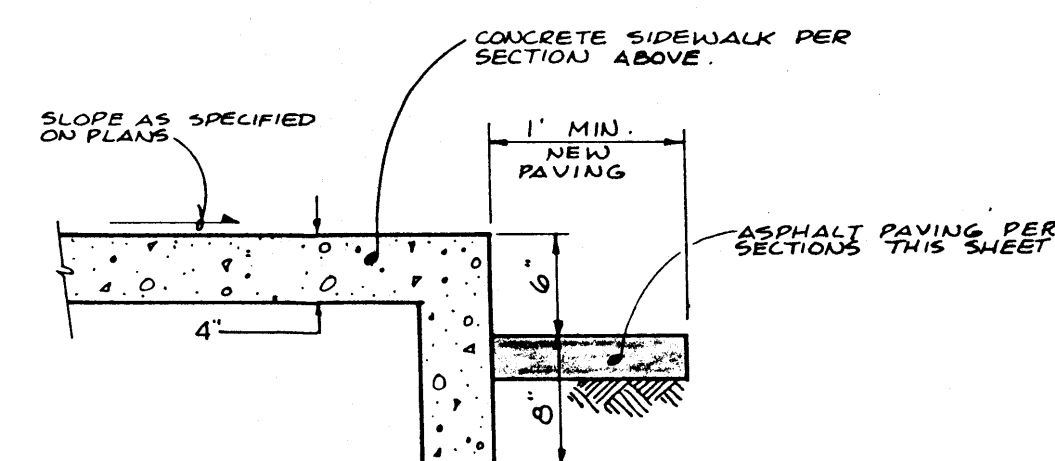
NOTE: A 6" EXTRUDED CONCRETE CURB (e.g. PERMA-CURB OR APPROVED EQUAL) IS ACCEPTABLE IN LIEU OF CURB AND GUTTER. EXTRUDED CURB MUST BOND SECURELY TO PAVING SURFACE AND SHALL NOT BE APPLIED UNTIL AFTER ALL PAVING IS COMPLETE.

GRADATION OF ASPHALT CONCRETE AGGREGATE (PERCENT PASSING)			
Screen or Sieve Size	Gradation Type A	Gradation Type B	Gradation Type C
1"	100		
3/4"	70-97	100	
1/2"	55-85	75-97	100
3/8"	-----	65-90	70-97
#4	30-55	45-65	45-70
#10	20-40	32-50	30-50
#40	10-25	15-30	15-30
#200	3-8	3-9	3-9



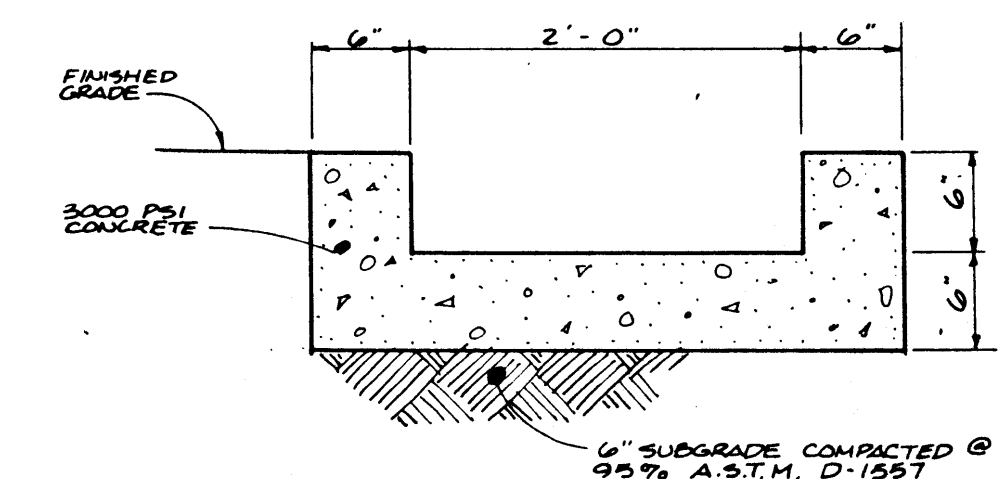
TYPICAL SIDEWALK SECTION

SCALE: 1" = 1'-0"



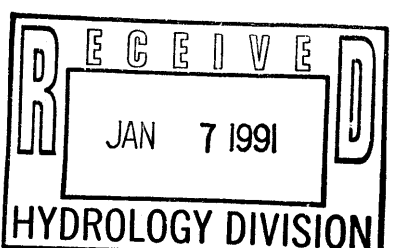
TURNDOWN SIDEWALK SECTION

SCALE: 1" = 1'-0"



CONCRETE RUNDOWN SECTION

SCALE: 1" = 1'-0"

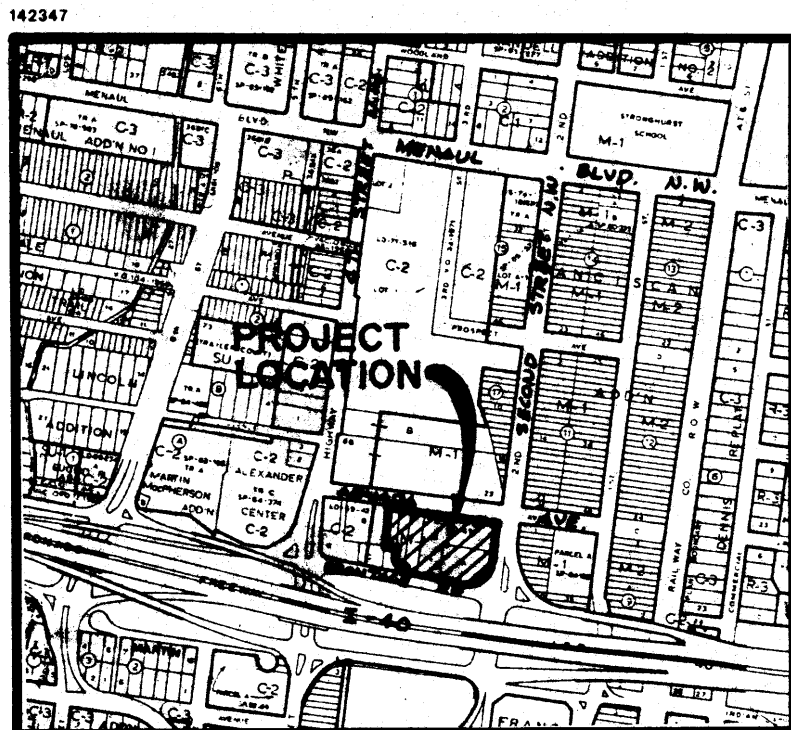


JEFF MORTENSEN & ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO 87109  
ENGINEERS & SURVEYORS (505)345-4250

PAVING SECTIONS AND DETAILS  
FURR'S CAFETERIA NUMBER 164

DESIGNED BY J. G. M.	NO.	DATE	BY	REVISIONS	JOB NO. 900963
DRAWN BY S. G. H.					DATE 12-90
APPROVED BY J. G. M.					SHEET 2 OF 5





VICINITY MAP  
SCALE: 1" = 800'

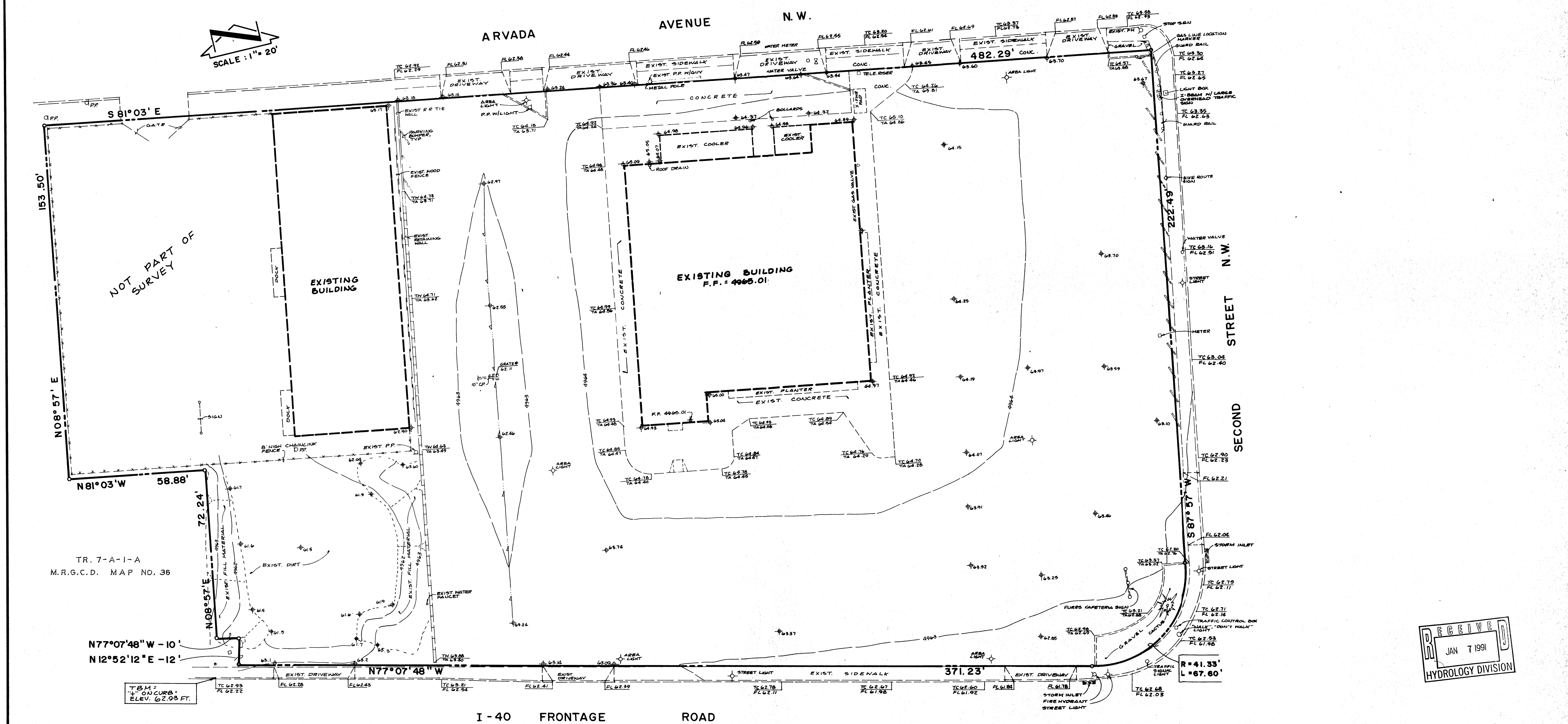
**PROJECT BENCHMARK**  
A.C.G. STA. 3+114.1, A SQUARE, 12" CHISELED  
OUTTOP OF CONCRETE CURB AT THE N.N.E. CURB  
RETURN AT THE INTERSECTION OF FOURTH ST. N.W.  
& ARVADA AVE. N.W.  
ELEVATION = 4962.67 FEET (M.S.L.D.)

**T.B.M.**  
A "4" CHISELED ON TOP OF CURB NEAR THE  
SOUTHWEST PROPERTY CORNER AND BEING  
A POINT ALONG THE NORTHERN R.O.W. OF  
THE I-40 FRONTAGE ROAD AS SHOWN ON  
THE DRAWING BELOW.  
ELEVATION = 4962.93 FEET (M.S.L.D.)

**LEGAL DESCRIPTION**  
PORTIONS OF TRACTS TAIB, TAIC & TB,  
M.R.G.C.D. MAP 36

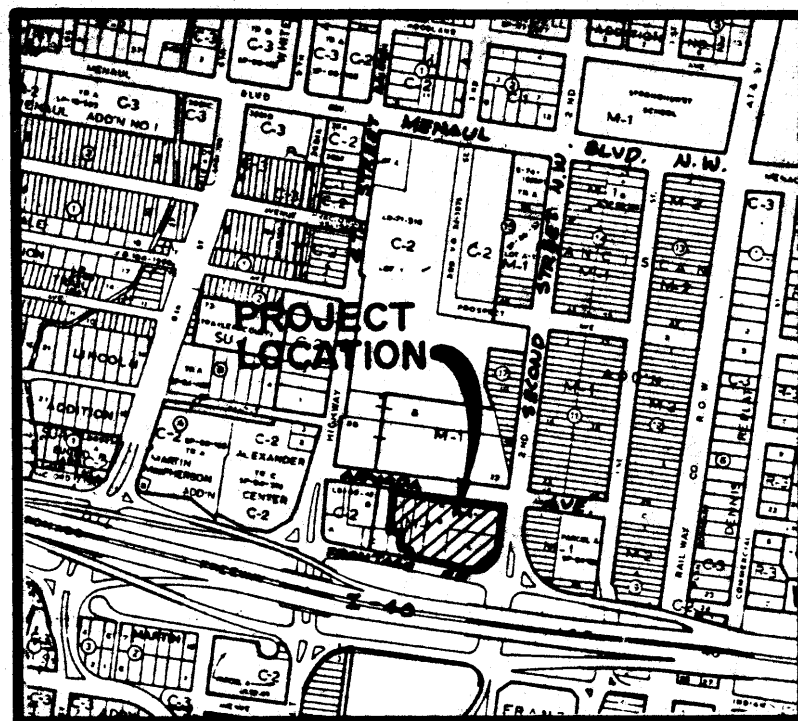
**LEGEND**

- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- DIRECTION OF FLOW
- TC TOP OF CURB
- TA TOP OF ASPHALT
- TW TOP OF WALL
- FL FLOW LINE



RECEIVED  
JAN 7 1991  
HYDROLOGY DIVISION





VICINITY MAP  
SCALE: 1"=800'

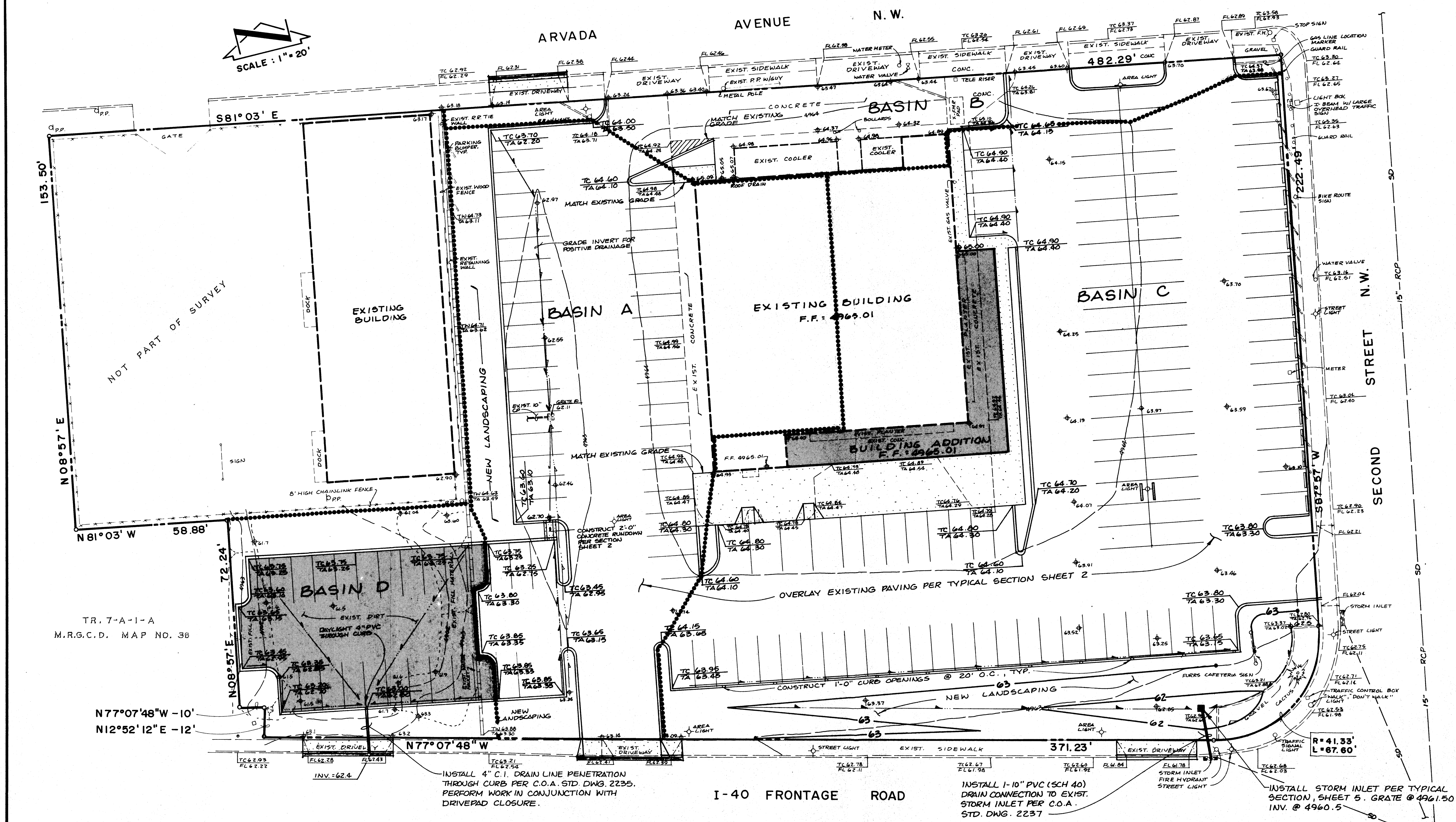
**PROJECT BENCHMARK**  
A.C.S. STA. 3-H14, A SQUARE, CHISELED OUT OF CONCRETE CURB AT THE N.E. CURB RETURN AT THE INTERSECTION OF FOURTH ST. N.W. & ARVADA AVE. N.W.  
ELEVATION = 4962.67 FEET (M.S.L.D.)

**T.B.M.**  
A "4" CHISELED ON TOP OF CURB NEAR THE SOUTHWEST PROPERTY CORNER AND BEING A POINT ALONG THE NORTHERN R.O.W. OF THE I-40 FRONTAGE ROAD AS SHOWN ON THE DRAWING BELOW.  
ELEVATION = 4962.93 FEET (M.S.L.D.)

**LEGAL DESCRIPTION**  
PORTIONS OF TRACTS 7A1B, 7A1C & 7B, M.R.G.C.D. MAP 36

**LEGEND**

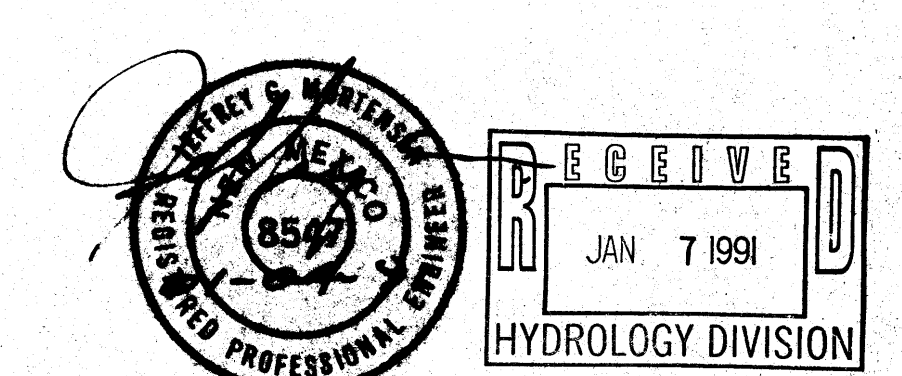
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- DIRECTION OF FLOW
- TC TOP OF CURB
- TA TOP OF ASPHALT
- TW TOP OF WALL
- FL FLOW LINE
- NEW SPOT ELEVATION
- NEW CONTOUR
- NEW DIRECTION OF FLOW
- BASIN BOUNDARY LINE



- Construction Notes**
- Two (2) working days prior to any excavation, contractor must contact New Mexico One Call System 260-1990, for location of existing utilities.
  - Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential obstructions. Should a conflict exist, the contractor shall notify the engineer in writing so that the conflict can be resolved with a minimum amount of delay.
  - All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
  - All construction within public right-of-way shall be performed in accordance with applicable City of Albuquerque Standards and Procedures.
  - If any utility lines, pipelines, or underground utility lines are shown on these drawings, they are shown in an approximate manner only, and such lines may exist where none are shown. If any such existing lines are shown, the location is based upon information provided by the owner of said utility, and the information may be incomplete, or may be obsolete by the time construction commences. The engineer has conducted only preliminary investigation of the location, depth, size, or type of existing utility lines, pipelines, or underground utility lines. This investigation is not conclusive, and may not be complete, therefore, makes no representation pertaining thereto, and assumes no responsibility or liability therefor. The contractor shall inform itself of the location of any utility line, pipeline, or underground utility line in or near the area of the work in advance of and during excavation work. The contractor is fully responsible for any and all damage caused by its failure to locate, identify and preserve any and all existing utilities, pipelines, and underground utility lines. In planning and conducting excavation, the contractor shall comply with state statutes, municipal and local ordinances, rules and regulations, if any, pertaining to the location of these lines and facilities.
  - An Excavation/Construction Permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
  - Backfill compaction shall be according to Arterial street use.
  - Maintenance of these facilities shall be the responsibility of the owner of the property served.
  - The design of planters and landscaped areas is not part of this plan. All planters and landscaped areas adjacent to the building(s) shall be provided with positive drainage to avoid any ponding adjacent to the structure. For construction details, refer to landscaping plan.

- Erosion Control Measures**
- The contractor shall ensure that no soil erodes from the site into public right-of-way or onto private property. This can be achieved by constructing temporary berms at the property lines and wetting the soil to keep it from blowing.
  - The contractor shall promptly clean up any material excavated within the public right-of-way so that the excavated material is not susceptible to being washed down the street.
  - The contractor shall secure "Topsoil Disturbance Permit" prior to beginning construction.

APPROVALS	NAME	DATE
A.C.E. / DESIGN	Benny M. Mays	1/14/91
INSPECTOR		
A.C.E. / FIELD		



DESIGNED BY	NO.	DATE	BY	REVISIONS	JOB NO.
J.G.M.					900962
DRAWN BY					DATE
S.G.H.					12-1990
APPROVED BY					SHEET
J.G.M.					4 OF 5



## DRAINAGE PLAN

The following items concerning the Furr's Cafeteria Number 164 Drainage Plan are contained on Sheet 4:

1. Vicinity Map
2. Grading Plan

The calculations are contained hereon.

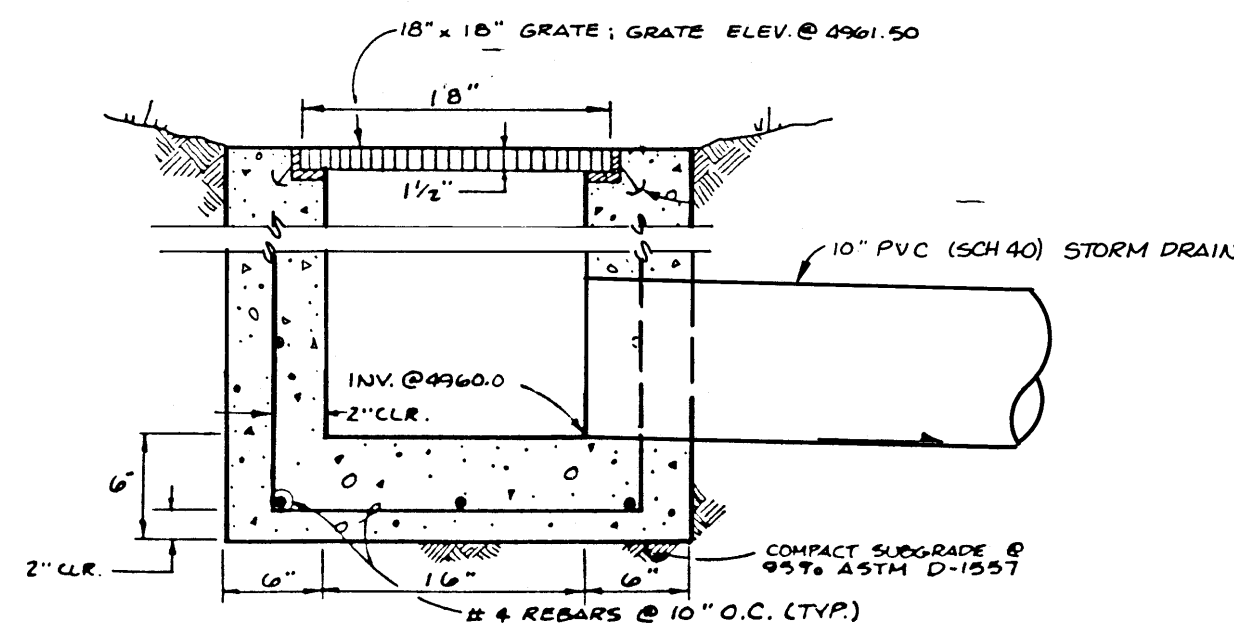
As shown by the Vicinity Map, the site is located in the northwest quadrant of the intersection of Second Street N.W. and the North Interstate Forty Frontage Road. This site is located in an infill area. A restaurant and adjacent paving currently occupy the site. This plan is to address the changes in stormwater runoff due to the addition to the existing building and modifications to the adjacent paving.

As shown on Panel 22 of 50 of the National Flood Insurance Program Flood Boundary and Floodway Maps for the City of Albuquerque, New Mexico, the streets adjacent to the property lie within a designated 100-year flood hazard zone. The map indicates that only the edges of the subject site lie within this zone. The finish floor of the existing building and proposed addition are approximately 1.5' above the estimated peak flood stage.

The Grading Plan shows 1) existing and proposed grades indicated by spot elevations and contours at 1'-0" intervals, 2) the limit and character of the existing and proposed improvements, and 3) the continuity between existing and proposed grades. As shown by this plan, the project consists of the construction of an addition to the existing restaurant building, reconstruction of the existing parking area, and the addition of landscaped areas.

The proposed improvements will alter the existing drainage patterns very slightly. The points of discharge offsite will remain virtually unchanged. Basin "A" will drain into an existing centrally located existing inlet onsite. Basin "B" will continue to discharge into Arvada Avenue. Basin "C" will discharge directly into the existing storm inlet located at the southeast corner of the site via a new storm inlet and 10" storm drain installed onsite. Basin "D" will continue to discharge into the I-40 Frontage Road.

The calculations which appear hereon analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The peak discharge of runoff has been calculated using the Rational Method while the SCS Method has been used to quantify the volume of runoff generated. Both Methods have been used in accordance with the City of Albuquerque Development Process Manual, Volume II, coupled with the Mayor's Emergency Rule adopted January 14, 1986. Due to an increase in the size of the landscaped areas, the calculations indicate a decrease in flow from the overall site of 0.5 cfs. Due to this fact, the proposed improvements should not create any negative impact on downstream conditions. Based on this fact and the fact that the proposed improvements only represent a modification to an existing site within an infill area, the free discharge from the site as outlined above is appropriate.



STORM INLET DETAIL

SCALE 1/4" = 1'

## CALCULATIONS

## Ground Cover Information

From SCS Bernalillo County Soil Survey,  
Plate 30:  
Hydrologic Soil Group: B (Glendale Series, Clay loam and loam)  
Existing Pervious CN = 85 (DPM Plate 22.2 C-2)  
Streets and Roads: Gravel  
Developed Pervious CN = 61 (DPM Plate 22.2 C-2)  
Open Space: Good condition

## Time of Concentration/Time to Peak

$T_c = 0.0078 L^{0.77} / S^{0.385}$  (Kirpich Equation)

$T_p = T_c = 10$  min.

## Point Rainfall

$P_6 = 2.2$  in. (DPM Plate 22.2 D-1)

## Rational Method

Discharge:  $Q = CiA$

where C varies  
 $i = P_6 (6.84) T_c^{-0.51} = 4.65$  in/hr  
 $P_6 = 2.2$  in (DPM Plate 22.2D-1)  
 $T_c = 10$  min (minimum)  
A = area, acres

## SCS Method

Volume:  $V = 3630(DRO)A$

Where DRO = Direct runoff in inches  
A = area, acres

## Existing Condition

Basin "A"  
Atotal = 28,230 sf = 0.65 Ac  
Roof area = 5,250 sf (0.19)  
Paved area = 22,980 sf (0.81)  
Landscaped area = -0- sf (-0-)  
 $C = 0.84$  (Weighted average per Emergency Rule, 1/14/86)  
 $Q_{100} = CiA = 0.94(4.65)(0.65) = 2.8$  cfs  
 $A_{imp} = 28,230$  sf; % impervious = 100%  
Composite CN = 98 (DPM Plate 22.2 C-2)  
DRO = 2.0 in (DPM Plate 22.2 C-4)  
 $V_{100} = 3630 (DRO)A = 4,719$  cf

Basin "B"  
Atotal = 6,800 sf = 0.16 Ac  
Roof area = 235 sf (0.03)  
Paved area = 6,445 sf (0.95)  
Landscaped area = 120 sf (0.02)  
 $C = 0.94$  (Weighted average per Emergency Rule, 1/14/86)  
 $Q_{100} = CiA = 0.94(4.65)(0.16) = 0.7$  cfs  
 $A_{imp} = 6,680$  sf; % impervious = 98%  
Composite CN = 97 (DPM Plate 22.2 C-2)  
DRO = 1.9 in (DPM Plate 22.2 C-4)  
 $V_{100} = 3630 (DRO)A = 1,104$  cf

Basin "C"  
Atotal = 50,710 sf = 1.16 Ac  
Roof area = 4,950 sf (0.10)  
Paved area = 45,160 sf (0.89)  
Landscaped area = 600 sf (0.01)  
 $C = 0.84$  (Weighted average per Emergency Rule, 1/14/86)  
 $Q_{100} = CiA = 0.94(4.65)(1.16) = 5.1$  cfs  
 $A_{imp} = 50,110$  sf; % impervious = 99%  
Composite CN = 98 (DPM Plate 22.2 C-2)  
DRO = 2.0 in (DPM Plate 22.2 C-4)  
 $V_{100} = 3630 (DRO)A = 8,422$  cf

Basin "D"  
Atotal = 8,750 sf = 0.20 Ac  
Undeveloped = 8,750 sf (1.00)  
 $C = 0.40$  (Weighted average per Emergency Rule, 1/14/86)  
 $Q_{100} = CiA = 0.40(4.65)(0.20) = 0.4$  cfs  
 $A_{imp} = -0-$  sf; % impervious = -0-  
Composite CN = 85 (DPM Plate 22.2 C-2)  
DRO = 1.0 in (DPM Plate 22.2 C-4)  
 $V_{100} = 3630 (DRO)A = 726$  cf

## Developed Condition

Basin "A"  
Atotal = 28,230 sf = 0.65 Ac  
Roof area = 5,250 sf (0.19)  
Paved area = 19,500 sf (0.69)  
Landscaped area = 3,480 sf (0.12)  
 $C = 0.86$  (Weighted average per Emergency Rule, 1/14/86)  
 $Q_{100} = CiA = 0.86(4.65)(0.65) = 2.6$  cfs  
 $A_{imp} = 24,750$  sf; % impervious = 88%  
Composite CN = 94 (DPM Plate 22.2 C-2)  
DRO = 1.6 in (DPM Plate 22.2 C-4)  
 $V_{100} = 3630 (DRO)A = 3,775$  cf

Basin "B"  
Atotal = 6,800 sf = 0.16 Ac  
Roof area = 230 sf (0.03)  
Paved area = 6,050 sf (0.89)  
Landscaped area = 520 sf (0.07)  
 $C = 0.89$  (Weighted average per Emergency Rule, 1/14/86)  
 $Q_{100} = CiA = 0.89(4.65)(0.16) = 0.7$  cfs  
 $A_{imp} = 6,280$  sf; % impervious = 92%  
Composite CN = 95 (DPM Plate 22.2 C-2)  
DRO = 1.7 in (DPM Plate 22.2 C-4)  
 $V_{100} = 3630 (DRO)A = 987$  cf

Basin "C"  
Atotal = 50,710 sf = 1.16 Ac  
Roof area = 7,460 sf (0.15)  
Paved area = 36,165 sf (0.71)  
Landscaped area = 7,085 sf (0.14)  
 $C = 0.84$  (Weighted average per Emergency Rule, 1/14/86)  
 $Q_{100} = CiA = 0.84(4.65)(1.16) = 4.5$  cfs  
 $A_{imp} = 43,625$  sf; % impervious = 86%  
Composite CN = 93 (DPM Plate 22.2 C-2)  
DRO = 1.5 in (DPM Plate 22.2 C-4)  
 $V_{100} = 3630 (DRO)A = 6,316$  cf

Basin "D"  
Atotal = 8,750 sf = 0.20 Ac  
Roof area = -0- sf (-0-)  
Paved area = 5,610 sf (0.64)  
Landscaped area = 3,140 sf (0.36)  
 $C = 0.70$  (Weighted average per Emergency Rule, 1/14/86)  
 $Q_{100} = CiA = 0.70(4.65)(0.20) = 0.7$  cfs  
 $A_{imp} = 5,610$  sf; % impervious = 64%  
Composite CN = 85 (DPM Plate 22.2 C-2)  
DRO = 1.0 in (DPM Plate 22.2 C-4)  
 $V_{100} = 3630 (DRO)A = 726$  cf

## Comparison

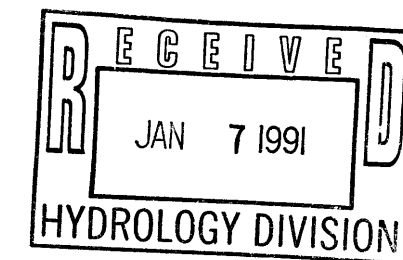
Basin "A"  
 $\Delta Q_{100} = 2.8 - 2.6 = 0.2$  cfs (decrease)  
 $\Delta V_{100} = 4,719 - 3,775 = 944$  cf (decrease)

Basin "B"  
 $\Delta Q_{100} = 0.7 - 0.7 = 0$  (No change)  
 $\Delta V_{100} = 1,104 - 987 = 117$  cf (decrease)

Basin "C"  
 $\Delta Q_{100} = 5.1 - 4.5 = 0.6$  cfs (decrease)  
 $\Delta V_{100} = 8,422 - 6,316 = 2,106$  cf (decrease)

Basin "D"  
 $\Delta Q_{100} = 0.4 - 0.7 = 0.3$  cfs (increase)  
 $\Delta V_{100} = 726 - 726 = 0$  (No change)

Total Site  
 $\Delta Q_{100} = 9.0 - 8.5 = 0.5$  cfs (decrease)  
 $\Delta V_{100} = 14,971 - 11,804 = 3,167$  cf (decrease)



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DRAINAGE PLAN, CALCULATIONS, DETAILS & SECTIONS  
FURR'S CAFETERIA NUMBER 164

DESIGNED BY	NO.	DATE	BY	REVISIONS	JOB NO.
J.G.M.					900962
DRAWN BY					DATE
S.G.H.					12-1990
APPROVED BY					SHEET
J.G.M.					5 OF 5