

# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 2, 1992

Dave Galloway Galloway, Romero & Associates 14202 East Evans Avenue Aurora, CO 80014

RE: ENGINEER CERTIFICATION FOR DIAMOND SHAMROCK AT SECOND AND MENAUL NW, (H-14/D71) ENGINEER CERTIFICATION STATEMENT DATED 8/26/92

Dear Mr. Galloway:

Based on the information provided on your submittal dated August 27, 1992, Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, C.E. Engineering Assistant

BJM/ses/WPHYD3572

cc: Alan Martinez

File



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 1, 1991

Dave Galloway Galloway, Romero & Associates 14202 East Evans Avenue Aurora, Colorado 80014

RE: DRAINAGE PLAN FOR DIAMOND SHAMROCK @ SECOND & MENAUL, NW (H-14/D71) ENGINEER'S STAMP DATED SEPTEMBER 11, 1991

Dear Mr. Galloway:

Based on the information provided on your submittal of September 12, 1991, the above referenced plan is approved for Building Permit.

Please be advised that developed runoff is allowed across property lines to the west.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E. Engineering Assistant

xc: Alan Martinez

BJM/bsj (WP+2946)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E. Assistant Director Public Works

**ENGINEERING GROUP** 

Telephone (505) 768-2500

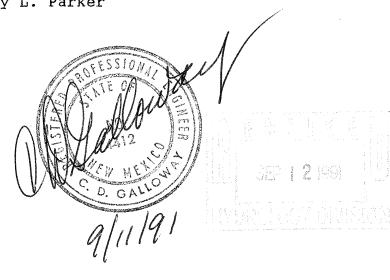
FINAL DRAINAGE REPORT
SECOND & MENAUL CORNERSTORE
NWC SECOND ST. NW & MENAUL BLVD. NW
CITY OF ALBUQUERQUE, NEW MEXICO
SEPTEMBER, 1991

#### Prepared For:

Diamond Shamrock Inc. 9702 Brockbank Dallas, TX 75220 (214) 357-7386 Attn: Jim Reed

#### Prepared By:

Galloway, Romero and Associates, Inc. 14202 E. Evans Ave. Aurora, CO 80014 (303) 745-7448 Attn: Larry L. Parker



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#### Introduction

This report is being prepared for Diamond Shamrock Inc., the developer of the site, to fulfill the drainage requirements of Albuquerque, New Mexico. The report analyzes offsite and onsite runoff from the minor (10 year frequency) and major (100 year frequency) storms and routes these flows through the site.

The 0.9379 acre site is part tracts A-1 & A-2, Block 2, Mandell Addition No. 2 and part of Mandell Addition No.2, City of Albuquerque, Bernalillo County, New Mexico. The site is bounded by Woodland Avenue N.W. on the north, by Second Street N.W. on the east, by Menaul Boulevard N.W. on the south and by C-1 zoned property on the west.

Currently a small stucco building and a wooden storage building occupy the extreme northeasterly corner of the site. With the exception of a small bare ground area surrounding these buildings, the remainder of the site is covered with asphalt and concrete paving. The site downward, from east to west, at slopes ranging from 0.8 to 2.5 percent with the majority of the sites runoff sheetflowing onto the C-1 zoned property to the west.

#### Design Criteria

This report was prepared using criteria as outlined in the City of Albuquerque's Development Process Manual, Chapter 22, "Drainage, Flood Control and Erosion Control."

Runoff for the minor and major storms, 10 and 100 year frequency, respectively, was calculated using the rational method. Times of concentration, upland method, was calculated for the individual basins. Because the hydraulic lengths are short, all times were small and a minimum time of 10 minutes was used. Rainfall intensity values were taken from the 6-hour/100 year frequency chart and were adjusted by the appropriate factors for storm reduction and dimensionless rainfall. A SCS hydrological soils group "B" was assumed for the site with rational formula C factors interpolated from plate 22.2.

Runoff calculations and applicable charts and graphs are included in the appendix of this report.

#### Existing Drainage

The existing site is divided into three drainage basins, A through C. Basin A is a 0.135 acre basin, at the northerly portion of the site, that primarily consists of rooftop, asphalt and bare ground areas. The 10 and 100 year runoff of 0.24 and 0.36 cfs, respectively, is largely unconcentrated and exits the site along the northerly property line, flowing into Woodland Avenue.

Basin B is a 0.730 acre basin, covered with asphalt and concrete paving, that consists of the majority of the site. The 10 and 100 year runoff of 2.28 and 3.47 cfs is largely unconcentrated and exits the site by sheetflowing onto the C-1 zoned property to the west.

Basin C is a 0.073 acre basin, along the southerly portion of the site, that consists of asphalt and concrete paved areas. The 10 and 100 year runoff of 0.23 and 0.35 cfs, respectively, is largely unconcentrated and exits the site along the southerly property line, flowing into Menaul Boulevard.

#### Developed Drainage

#### General Concept

One foot high water blocks have been provided along all street frontages per the City of Albuquerque's requirements. The high point of the developed site is the finished floor of the convenience store with the majority of the sites runoff freely discharging into the right-of-way through the curb cuts. Runoff to the C-1 zoned property to the west has been reduced.

#### Specific Details

The site is divided into six developed basins, A through F. Basin A is a 0.073 acre basin, along the westerly property line, that consists of car wash roof and landscaped areas. With the exception of the car wash downspouts, the 10 and 100 year runoff of 0.10 and 0.16 cfs, respectively, is unconcentrated and sheetflows off the site along the westerly property line.

Basin B is a 0.335 acre basin that consists of canopy roof, concrete paving and landscaped areas. The 10 and 100 year runoff of 0.78 and 1.19 cfs, respectively flows northerly to the curb cut and discharges into Woodland Avenue.

Basin C is a 0.072 acre basin, at the northeast corner of the site, that is entirely landscaped. The 10 and 100 year runoff of 0.08 and 0.12 cfs, respectively, is unconcentrated and sheetflows, northwesterly, off the site to Woodland Avenue.

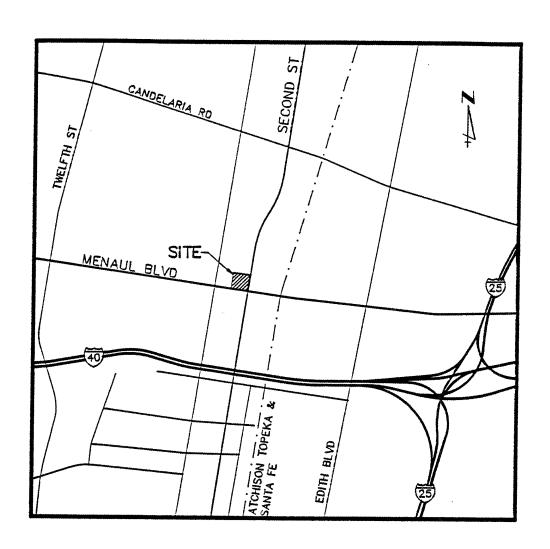
Basins D and E are narrow basins along Second Street that have been formed by the 1 foot waterblock requirement. The westerly limits of these basins are also ridge lines. Runoff falling west of this line flows inward towards the interior of the site, while runoff falling east of the ridge line sheetflows into Second Street. The 10 and 100 year runoff from Basin D is 0.02 and 0.03 cfs, respectively, while the 10 and 100 year runoff from Basin E is 0.04 and 0.07 cfs, respectively.

Basin F is a 0.407 acre basin that consists of landscaping, concrete paving, building and canopy roof. The 10 and 100 year runoff of 0.94 and 1.43 cfs, respectively flows southerly to the curb cut and discharges in Menaul Boulevard.

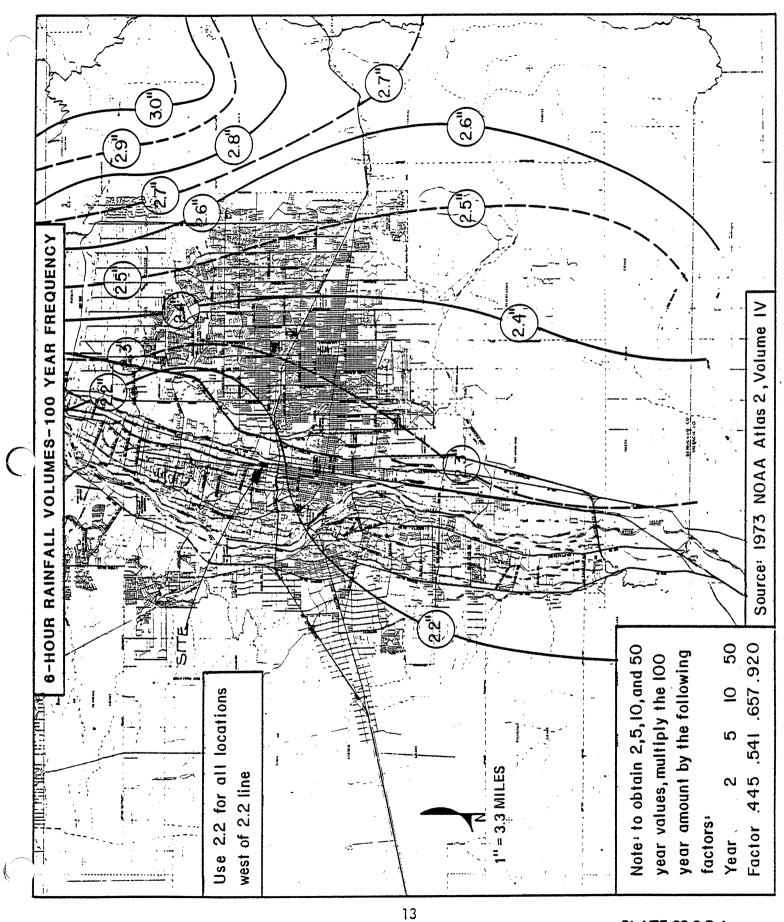
#### Conclusions

The drainage report and accompanying plan have been prepared under the criteria set forth in the City of Albuquerque's Development Process Manuel's Chapter of "Drainage, Flood Control and Erosion Control." Runoff from the minor and major storms are safely conveyed across and through the site. A one foot water block has been provided on all sides of the site that are adjacent to public right-of-way. Runoff that discharged onto the adjacent property to the west has been reduced.

APPENDIX

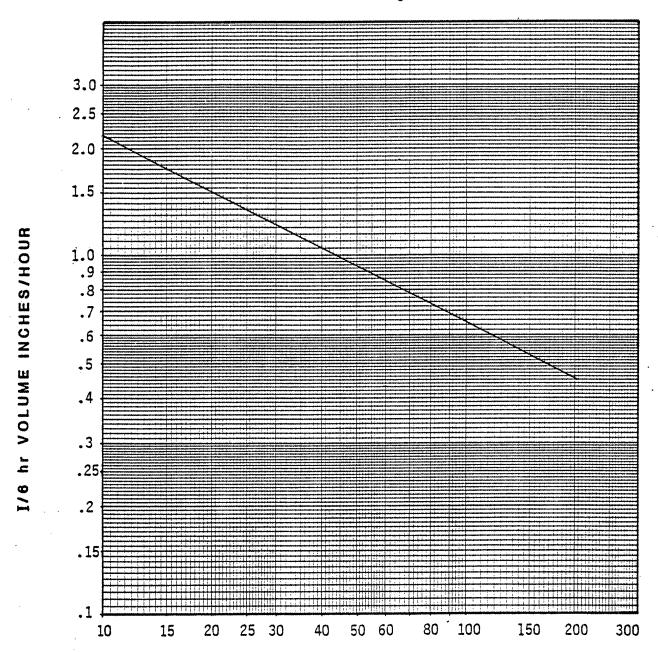


VICINITY MAP
SCALE: 1"=2000"



#### DIMENSIONLESS RAINFALL INTENSITIES

 $I=(6-hr. rain)6.84 t_c^{-0.51}$ 

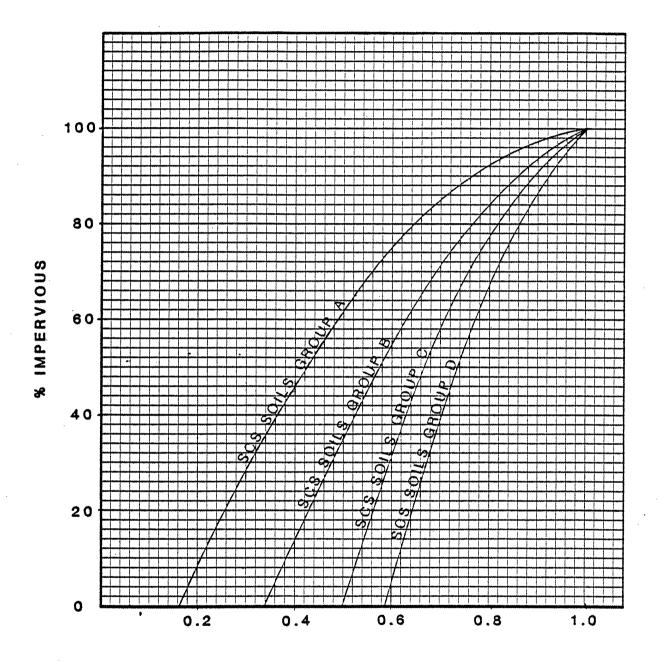


Tc (min)

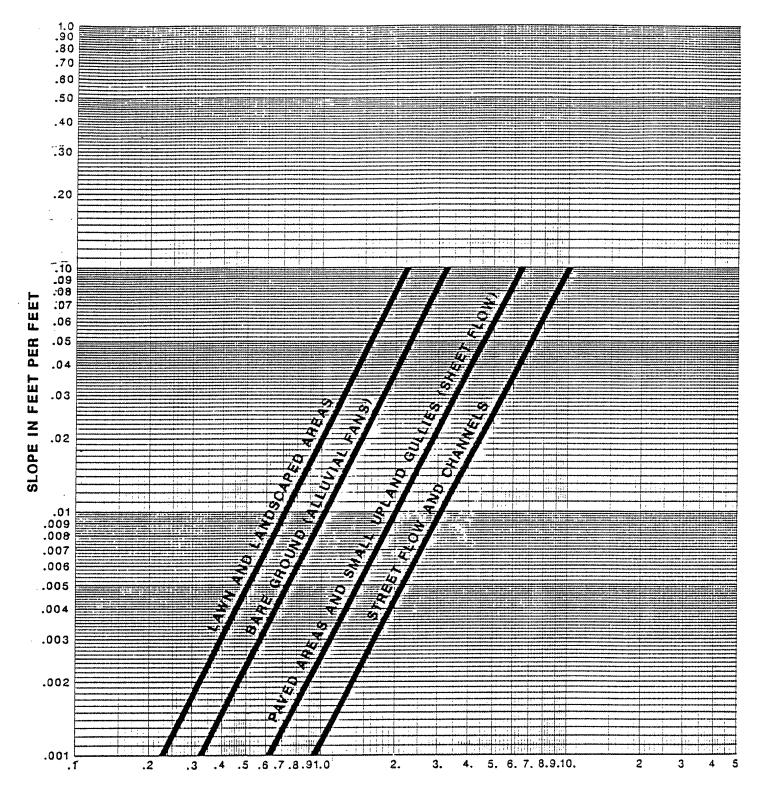
note: To get actual intensities, multiply rainfall volume from plate D-1 by value from curve. Use reduction factors on Plate D-1 for other than 100-yr.

#### DRAINAGE CRITERIA

### DETERMINATION OF RATIONAL FORMULA 'C' FACTOR



'C' FACTOR



VELOCITY IN FEET PER SECOND

# VELOCITIES FOR UPLAND METHOD OF ESTIMATING To

Plate 22.2 B-1

5/88

EXISTING

10 & 100 YEAR

MThere values must be substantiated with additional computations or use of appropriate charts, etc.

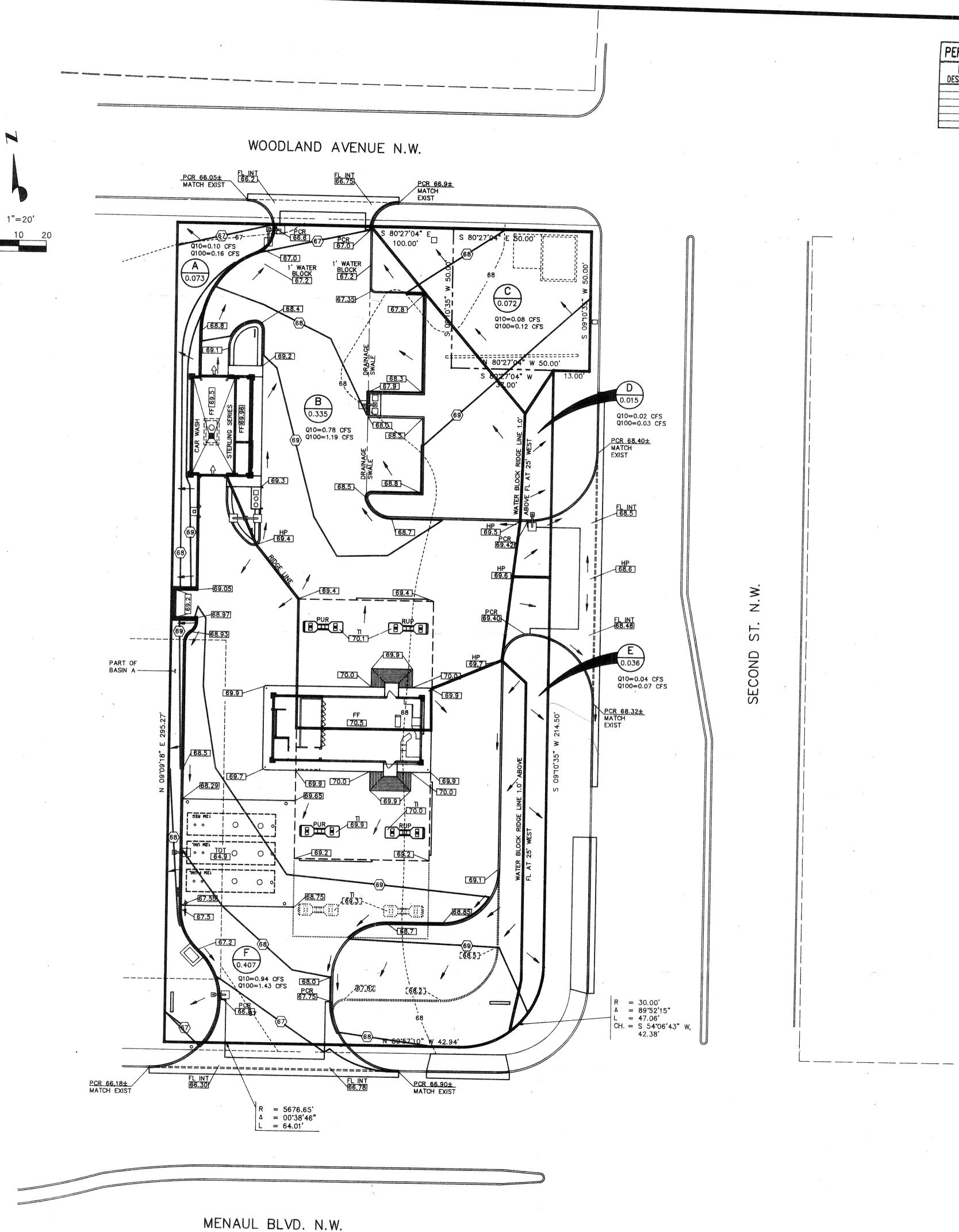
A.6

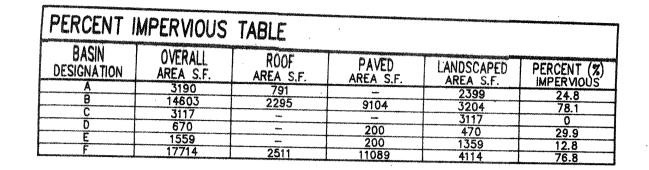
August, 1969

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| SUBMITTED BY   |  | Firm)   | DATE       | <u> </u> | RIMOFF<br>(Rat 10             | UNOFF COMPUTATIONS<br>(Rational Hethod) | AT10HS<br>thod)               |                         |                | 1420<br>Auro<br>(303)<br>(303) | 2 East Evar<br>ra. Colora<br>1745-7448<br>1745-7480 | 14202 East Evans Avenue<br>Aurora. Colorado 80014<br>(303) 745-7446<br>(303) 745-7480 Fax | PAGE OP   |   |
| Design<br>* Point  | Area<br>Designation                            | A<br>(Acres)  | ၁          | A · Č    | I A·ē                         | to<br>(min)                             | <br> <br> <br> <br> <br> <br> | Q=<br>(EA-ë) i i<br>cfe | Slop•<br>(S) % | Length<br>L<br>(***)           | VEL" V  | (min)   | Remarks   |   |
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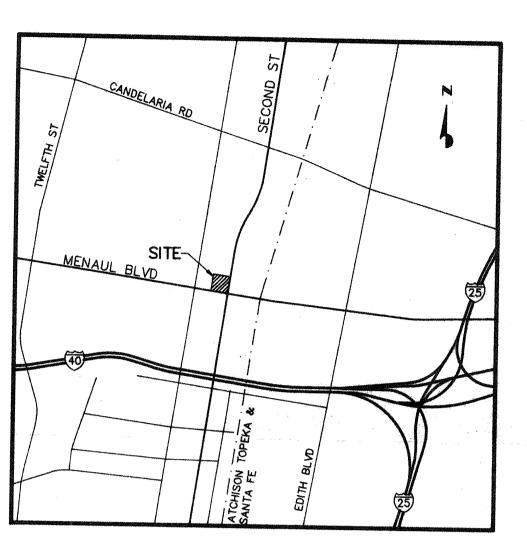
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| Galloway, Romero & Associates<br>Design Engineering Planning   | PAGE  | S.<br>E                       |          |       |         |      |   |              |          |        |  | DEVELOPED            | Form         |      |   |       |       |   |  |
| Galloway, Romero &<br>Design Engineering Planning  | 14202 East Evans Avenue<br>Aurora. Colorado 80014<br>(303) 745-7446<br>(303) 745-7480 Fax | .t<br>(min)                   |          |       |         |      |   |              |          |        |  | 1                    |              |      |   |       |       |   |  |
| alloway  | 22 East Eva<br>210, Colora<br>1) 745-7448<br>1) 745-7480                                  | VEL."<br>V<br>fps             |          |       |         |      |   |              |          |        |  | 100 YEAR             |              |      |   |       |       |   |  |
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| OUERQUE  | Y<br>(Engineering Firm)   | Area<br>Designation           | А        | A     |         | 7    |   | D            | ) L      | η      | Ų  | must be substa       |              |      |   |       |       |   |  |
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NOTICE: THIS DOCUMENT IS THE PROPERTY OF DIAMOND SHAMROCK. NETHER THIS DOCUMENT NOR ANY DATA OR INFORMATION HEREIN SHALL BE COPIED OR REPRODUCED IN ANY MANNER, LOANED OR OTHERWISE DISPOSED OF, OR USED FOR ANY PURPOSE WHATSOEVER, WITHOUT THE PRIOR WRITTEN PERMISSION OF DIAMOND SHAMROCK. IF THIS DOCUMENT IS LOANED BY OR WITH THE AUTHORITY OF DIAMOND SHAMROCK, THE BORROWER, IN CONSIDERATION OF SUCH LOAN, AGREES TO THE FOREGOING CONDITIONS AND TO RETURN THIS DOCUMENT UPON REQUEST OR UPON COMPLETION OF THE SPECIFICALLY AUTHORIZED WORK FOR WHICH IT WAS USED.



VICINITY MAP

EAD

PROPOSED CONTOUR

EXISTING CONTOUR

PROPOSED SPOT ELEVATION

SPOT ELEVATION FOR FUTURE EXPANSION

EXISTING SPOT ELEVATION

BASIN DESIGNATION

BASIN AREA IN ACRES

Q10 10 YEAR RUNOFF IN CFS

DRAINAGE BASIN BOUNDARY LINE

FLOW ARROW

FF FINISHED FLOOR

FL FLOWLINE

TO TOP OF ISLAND

TOT TOP OF TANK

HP HIGH POINT

LP LOW POINT

NOTE

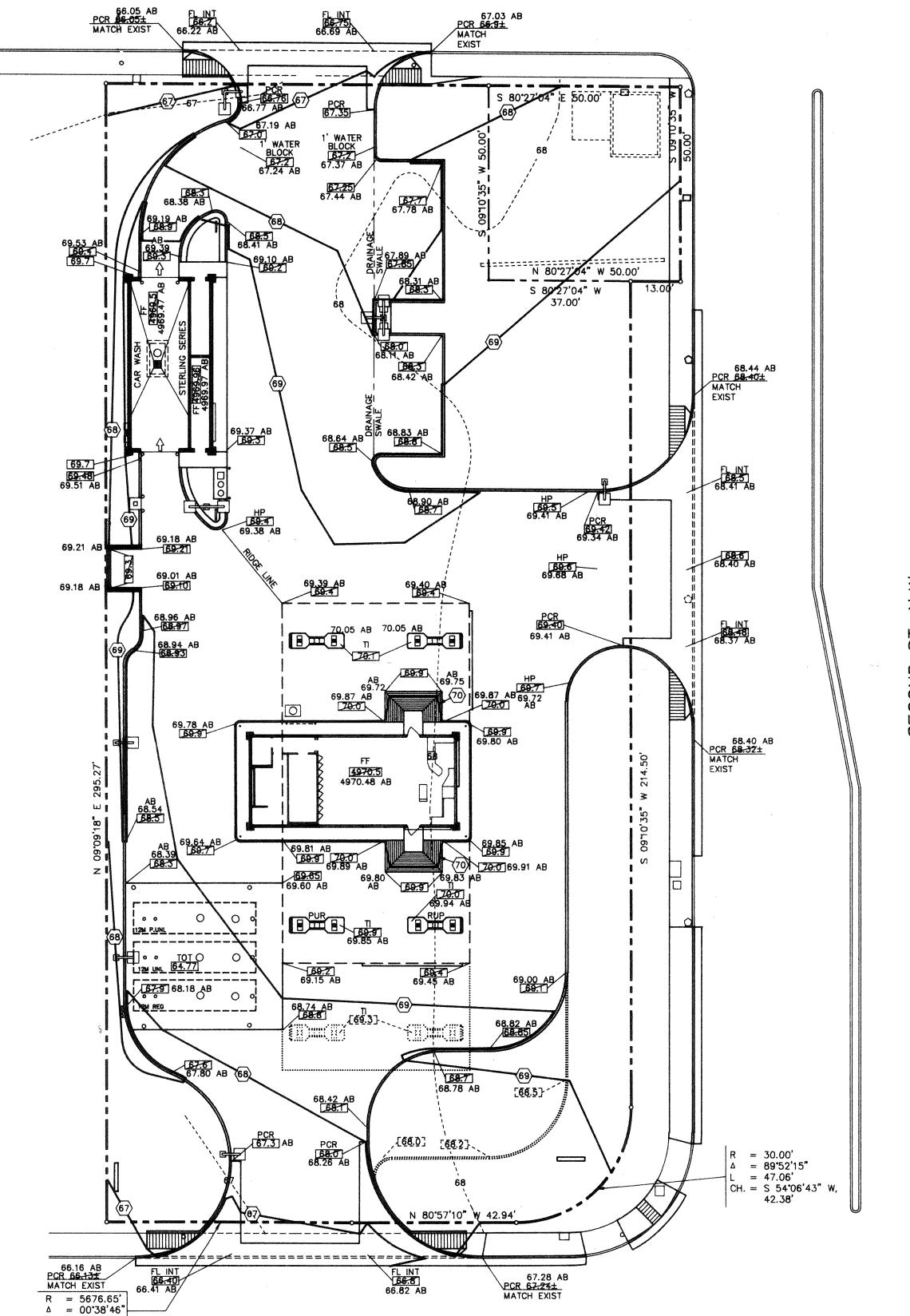
1. ELEVATIONS SHOWN HEREON ARE REFERENCED TO N.S.S. MONUMENT "A-438", A STAINLESS ROD LOCATED IN THE NORTHWEST QUADRANT OF MENAUL BLVD. NW AND THE A.T & S.F. RAILROAD TRACK INTERSECTION. ELEVATION = 4972.670.

SITE DEVELOPER - MR JIM REED
DIAMOND SHAMROCK
9702 BROCKBANK
DALLAS, TX 75220
(214) 357-7386

| RE  | /ISIONS   |   |                                      |  |  |              |               |
|-----|---|---|--------------------------------------|--|--|--------------|---------------|
| Vo. | Description                                       |   |                                      | Des.   | By Dr                                    | n. By        | Date          |
|     |   |   |                                      |  |  |              |               |
|     |   |   |                                      |  |  |              |               |
|     | 9   | OND SHAMROCK 830 COLONADE BLVD., ANTONIO, TEXAS 78230 | Design<br>14202<br>Aurora<br>Tel. (3 | Engineer<br>East Eva<br>Coloradi<br>(03) 745-<br>303) 745- | ing Plan<br>ans Aven<br>o 80014<br>-7448 | nning<br>nue | <u>clates</u> |
|     | PROFESSION AND AND AND AND AND AND AND AND AND AN | GRADING & DRAINA                                      |                                      |  | G  |              |               |
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| K,  |   |   |                                      |  |  |              |               |
|     | O. GALLOW   | Designed By: LLP Date:  Drawn By: CJH/RDG Scale:      | SEPT, 1991<br>1"=20'-0"              |  |  |              |               |

# WOODLAND AVENUE N.W.

1"=20'



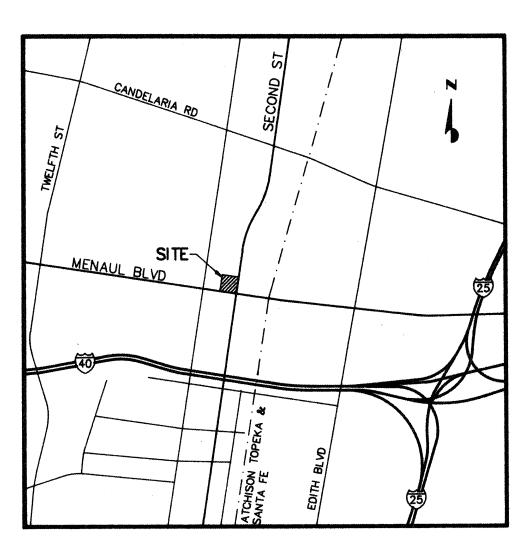
**GENERAL NOTES:** 

- ALL PHASES OF WORK UNDER THIS CONTRACT SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE ITEMS OF THE STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION SPECIFICATIONS AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION: FINAL DECISIONS OR JUDGEMENTS ON MATTERS NOT SPECIFICALLY COVERED BY THE ABOVE STATEMENT SHALL BE MADE BY THE DAIMOND SHAMROCK ENGINEER.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL BUILDING CODES AND REGULATIONS, AS WELL AS OTHER SAFETY CODES AND INSPECTION PROVISIONS APPLICABLE TO THIS PROJECT.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS: AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNERS AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT. EXCEPTIONS FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNERS OR ENGINEER.
- 4. BIDDERS ARE HEREBY NOTIFIED TO MAKE A THOROUGH REVIEW OF THE JOB SITE AND SOIL BORING INFORMATION PROVIDED BY OWNER. NO ADDITIONAL PAYMENT SHALL BE MADE FOR ROCK, SAND, GRAVEL, OR OTHER CONDITIONS ENCOUNTERED IN ANY WORK IMPLIED BY THESE DRAWINGS.
- 5. ALL WASTE MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND IT SHALL BE HIS SOLE RESPONSIBILITY TO DISPOSE OF THIS MATERIAL OFF THE LIMITS OF THE SITE TO PROPERTY WHERE THE CONTRACTOR HAS THE CONSENT OF THE OWNERS. NO WASTE MATERIAL SHALL BE PLACED IN EXISTING LOWS THAT WILL BLOCK OR ALTER THE FLOW LIMITS OF EXISTING NATURAL DRAINAGE.
- CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE SPECIFIED ON PLANS. ALL EXPOSED EDGES OF CONCRETE SHALL HAVE A 3/4-INCH CHAMFER. REINFORCING STEEL BE GRADE 60 MINIMUM.
- CONTRACTOR IS REQUIRED TO VERIFY PROJECT ELEVATIONS. "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY VERTICAL AND HORIZONTAL ALIGNMENT.
- EXISTING ABOVE GROUND UTILITIES HAVE BEEN PLOTTED BY DIRECT FIELD INVESTIGATION (ON SURVEY PERFORMED BY OTHERS). UNDERGROUND UTILITIES HAVE BEEN COMPILED FROM VARIOUS SOURCES AND REQUIRE VERIFICATION BY THE CONTRACTOR TO ESTABLISH THEIR EXACT LOCATION AND DEPTH PRIOR TO SETTING ANY FINISH CONCRETE GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING ABOVE GROUND OR UNDERGROUND UTILITIES, INCLUDING THOSE NOT SHOWN ON DRAWINGS. DEAD UTILITY LINES SHALL BE SUITABLY CAPPED.
- ANY EXISTING SITE IMPROVEMENTS OR UTILITY REMOVED, DAMAGED OR UNDERCUT BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE OWNER AND APPROVED BY THE RESPECTIVE UTILITY AT THE CONTRACTORS EXPENSE.
- 10. FOR LOCATION OF UNDERGROUND ELECTRIC, GAS, TELEPHONE AND WATER FACILITIES CALL THE LOCAL UTILITY LOCATION 48-HOURS BEFORE BEGINNING ANY EXCAVATION.
- .11. WHEN SEWER LINES ARE INSTALLED IN THE VICINITY OF WATER MAINS, SUCH INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE STATE DEPARTMENT OF HEALTH "RULES AND REGULATIONS FOR PUBLIC WATER SYSTEM." (LATEST REVISION)
- 12. (A) HEAD-IN PARKING PLACES SHALL BE 9' X 20' WITH PAINTED WHITE STRIPES. (B) PARALLEL PARKING SPACES SHALL BE 10' X 25' STRIPED WITH WHITE PAINT.
- 13. ALL AREAS DESIGNATED FOR GRASS WITHIN THE PROPERTY LINES AND THE R.O.W. SHALL BE SODDED SOLID WITH NATIVE GRASS, UNLESS OTHERWISE SPECIFIED.
- 14. ALL DIMENSIONS ARE TO BE MEASURED FROM BACK OF CURB.
- 15. GENERAL CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL TREES, INDICATED ON OR OFF THE SURVEY, WITHIN THE DESIGNATED LANDSCAPE AREAS OF THE SITE PLAN INCLUDING THE RIGHT-OF-WAY. TREES LOCATED WITHIN THESE LANDSCAPED AREAS ARE TO BE REVIEWED WITH THE LOCAL DIAMOND SHAMROCK

ENGINEERS AS BUILT CERTIFICATION THIS IS TO CERTIFY THAT THE DIAMOND SHAMROCK SITE AT 2601 SECOND STREET N.W. WAS CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING & DRAINAGE PLAN.

NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

productives consistential experimental control of the control of t



| LEGEND  |                                     |
|---------|-------------------------------------|
| <u></u> | PROPOSED CONTOUR                    |
| 64      | EXISTING CONTOUR                    |
| 64.0    | PROPOSED SPOT ELEVATION             |
| <u></u> | SPOT ELEVATION FOR FUTURE EXPANSION |
| 64.0    | EXISTING SPOT ELEVATION             |
| FF      | FINISHED FLOOR                      |
| FL      | FLOWLINE                            |
| π       | TOP OF ISLAND                       |
| тот     | TOP OF TANK                         |
| HP      | HIGH POINT                          |
| LP      | LOW POINT                           |
| AB      | AS BUILT                            |

1. ELEVATIONS SHOWN HEREON ARE REFERENCED TO N.S.S. MONUMENT "A-438", A STAINLESS ROD LOCATED IN THE NORTHWEST QUADRANT OF MENAUL BLVD. NW AND THE A.T & S.F. RAILROAD TRACK INTERSECTION. ELEVATION = 4972.670.

> AUG 27 199 SITE DEVELOPER - MR JIM REED
> DIAMOND SHAMROCK
> 9702 BROCKBANK
> DALLAS, TX 75220

AS BUILT

REVISIONS Des. By Drn. By Date No. Description LLP JMK 10/9/91 LLP RDG 12/20/91 LLP LLP 6/12/92 1 PER JIM REED 2 PER CITY AND ADDED NEW CAR WASH 3 PER JIM REED LLP CJH 8/25/92 4 AS BUILT INFORMATION Galloway, Romero & Associates

DIAMOND SHAMROCK 9830 COLONNADE BLVD. SAN ANTONIO, TEXAS 78230

14202 East Evans Avenue Aurora, Colorado 80014 Tel. (303) 745-7448 Fax. (303) 745-7480

GRADING & DRAINAGE PLAN DIAMOND SHAMROCK # 1215 2601 SECOND ST. N.W.

ALBUQUERQUE, NEW MEXICO

CJH/RDG/ELS Scale:

Date:

SEPT, 1991

1"=20'-0"

Disk File: 12805AB

SP-3

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MENAUL BLVD. N.W.

L = 64.01'