

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 18, 2023

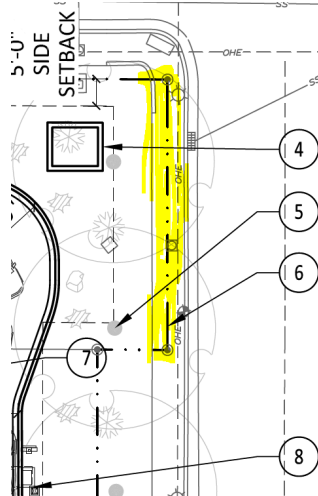
Brittney Myers
Aria Studio Consultants, Inc.
100 Gold Ave. SW
Albuquerque, NM 87102

Re: Tidal Wave Auto Spa
2601 2nd St. NW
Traffic Circulation Layout
Architect's Stamp 03-23-23 (H14-D071)

Dear Mr. Myers,

Based upon the information provided in your submittal received 03-27-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing access easements and rights of way width dimensions.
2. ADA curb ramps at both site accesses must be updated to current standards and have truncated domes installed.
3. Key not 16: please provide details for all proposed interior ADA ramps.
4. Key note 3: please provide extending sidewalk details. A minimum 4-foot wide pedestrian path should be shown around of the pole; show this dimension on the site plan to ensure that a minimum 4-foot wide path is obtained. Also, show the clear four foot around each obstacle on the public sidewalk off 2nd St. and at the corner of 2nd St. and Menaul Blvd. see attached.
5. Key note 3: if you are going to extend the sidewalk into the property, so, a sidewalk easement needs to be provided.
6. Since the property line located in the middle of the sidewalk off 2nd St. Please provide a sidewalk easement for this portion.



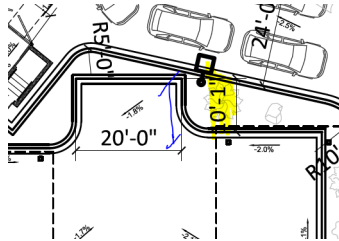
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7. For sidewalk easement please contact Carrie Mouck at 505.924.3996 e camouck@cabq.gov
8. Please clearly show this dimension, and note that A minimum 5 ft. keyway is required for dead-end parking aisles.



9. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
10. Bicycle racks shall be sturdy and anchored to a concrete pad.
11. A 1-foot clear zone around the bicycle parking stall shall be provided.
12. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
13. Provide a copy of Fire Marshal approval.
14. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
15. Please specify the City Standard Drawing Number when applicable.
16. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
17. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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4. The \$75 re-submittal fee.
for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

PO Box 1293 \ma via: email
C: CO Clerk, File

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Tidal Wave Auto Spa **Building Permit #** 03334 **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: Lot A2 Block 2 **City Address OR Parcel** 2601 2nd St NW

Subdivision Mandell Addn No 2

Applicant/Agent: Brittney Myers, ARIA **Contact:** _____

Address: 100 Gold Ave Suite 250, 87102 **Phone:** 910.988.7972

Email: brittney@ariascinc.com

Applicant/Owner: Tidal Wave Auto Spa **Contact:** Jason Skarsgard, Representative

Address: _____ **Phone:** 5058033757

Email: jason@skarsco.com

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: _____

RE-SUBMITTAL: YES NO

DEPARTMENT: X TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOOD PLAN DEVELOPMENT PERMIT APP.
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- X TRAFFIC CIRCULATION LAYOUT (TCL)
- ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DRB
- APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- X CONCEPTUAL TCL DRB APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOOD PLAN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 03/24/2023

LEGEND

- ALL GRAYED ELEMENTS ARE EXISTING TO REMAIN INCLUDING INNER ACCESS ROAD CURB AND GUTTER
- ALL VEGETATION SHOWN IS NEW; REFER TO LANDSCAPE PLAN
- ALL VEHICLES SHOWN TO DEMONSTRATE QUEUE
- ALL INDICATED SIGNAGE TO BE NEW IN ACCORDANCE WITH TRANSPORTATION REQUIREMENTS
- INDICATES EXISTING PROPERTY LINES
- INDICATES EXISTING MEETS AND BOUNDS

GENERAL NOTES

- ALL BUILDINGS, ENCLOSURES AND CANOPIES SHOWN ARE TO BE NEW CONSTRUCTION
- ALL NEW PAVING TO BE CONCRETE. REFER TO CIVIL PAVING PLAN. ALL CONCRETE PEDESTRIAN WALKS SHOWN WITH CONCRETE HATCH

KEYED NOTES

- EXISTING FIRE HYDRANT OFF SITE
- NEW ONE WAY SIGN
- JOG EXISTING SIDEWALK FOR ACCESSIBLE ROUTE AROUND EXISTING UTILITY POLE
- PROPERTY SIGNAGE
- LANDSCAPE SCREENING FOR HEADLIGHTS IN QUEUE
- PROPERTY LINES
- INDICATES 15' TALL PROPERTY SITE LIGHTING
- PAY KIOSK
- PROPOSED VEGETATION LAYOUT AS INDICATED
- CAN'T WASH LANE
- BICYCLE RACK
- PATCH AND REPAIR EXISTING SIDEWALK WHERE INDICATED AT DEMO EXTENTS. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STANDARDS
- ALL EXISTING CONDITIONS ARE SHOWN GRAYED
- MOTORCYCLE SPACE AND SIGNAGE
- EXISTING SIDEWALKS ALONG MENAUL AND 2ND ST TO REMAIN. PATCH AND REPAIR EXISTING SIDEWALK WHERE INDICATED AT DEMO EXTENTS
- NEW ACCESSIBLE SIDEWALK CONNECTION TO PUBLIC ROW
- ONE WAY DO NOT ENTER STRIPING
- NEW STOP STOP
- NEW DO NOT ENTER SIGN
- ADA SPACES, STRIPING AND SIGNAGE
- VACUUM CANOPIES
- GENERAL REFUSE NOTES:
 - GATE CODE TO BE PROVIDED TO SOLID WASTE TO ASSURE REFUSE ACCESS BY 5AM
 - NO EXISTING/NEW OVERHEAD WIRES OR OBSTRUCTIONS OVER REFUSE OR REFUSE SERVICE AREA
 - NO EXISTING TRASH SERVICE AT DEVELOPMENT; NEW TRASH SERVICE TO BE PROVIDED
 - DUMPSTER ONLY PROVIDED, NO TRASH COMPACTOR. NO RECYCLING REQUIRED DUE TO NO RECYCLABLE MATERIALS
 - 85' UNOBSTRUCTED APPROACH TO FRONT OF DUMPSTER

GENERAL INFORMATION

SITE HAS AN EXISTING GAS STATION AND PUMPS WITH AN ACCESSORY CAR WASH TUNNEL. ALL EXISTING STRUCTURES TO BE DEMOLISHED

IDO ZONE ATLAS: H-14-Z (NTS)



Legal Description: Tract A-2, Block 2 Madell Addition No 2
Address: 2601 2nd St NW

Variances requested: N/A

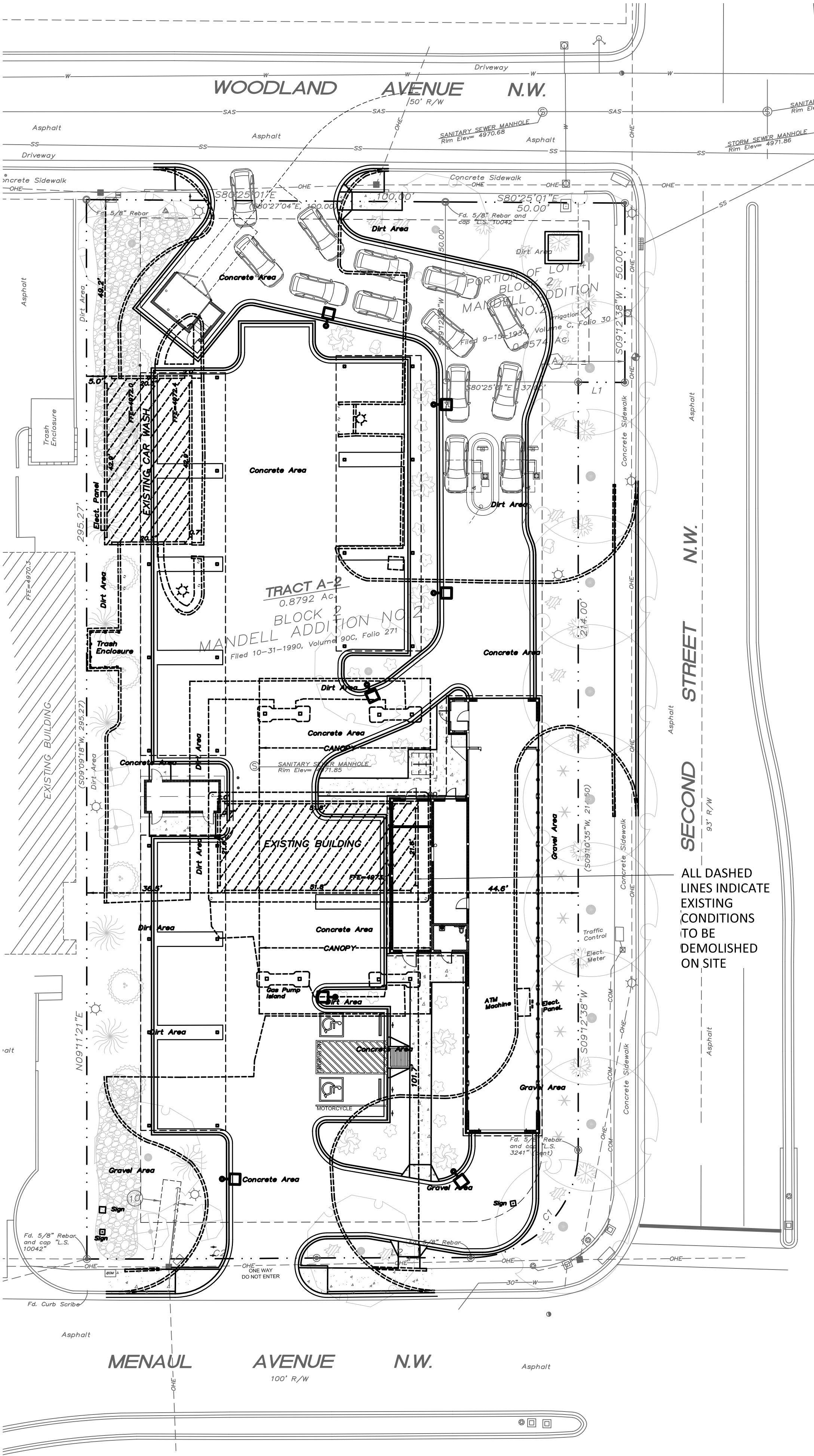
Type of Development: Auto Carwash Tunnel and Vacuums

Size of Development:
Lot Area: 0.8792 Acres
Auto Carwash Tunnel Area: 3,450sf

Parking Requirements: IDO TABLE 5-5-1
2 spaces/1000 sqft GFA of Retail, Office & Waiting Area
2 handicap accessible spaces provided
Motorcycle Parking: IDO TABLE 5-5-4, 1 space required per 1-25 vehicle
Bicycle Parking: IDO TABLE 5-5-5, 3 spaces required for non-residential

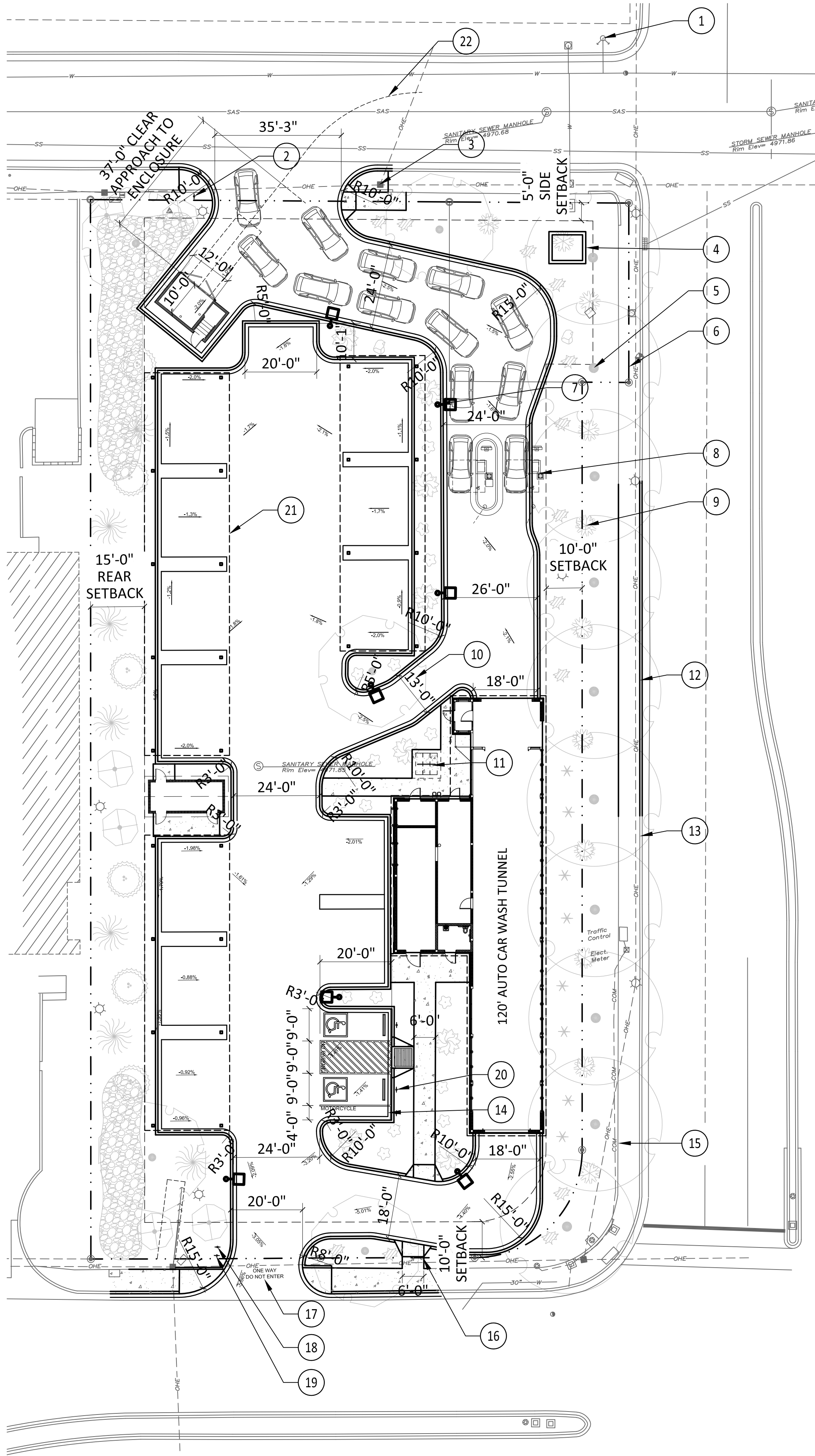
Executive Summary:

- General Project Location: Corner SE lot of 2nd St and Menaul Blvd
- Development Concept: Project scope to include construction of a new car wash tunnel, accessory vacuum building, (3) accessory canopies with vacuuming stalls for vehicles and associated site and landscape work for new site development.
- Traffic Circulation Concept: Customers will enter north of the site from Woodland Ave NW and be queued to pay at the kiosk station. If circumstances disallow them use of the wash tunnel, vehicles exit prior to the tunnel from the "can't wash lane" and exit the site from the south along with freshly washed vehicles.
- Impact on adjacent sites: The unpaid queue for cars allows for ~13 vehicles to be queued within the property lot.
- TIS or previously approved plans: N/A
- Variances: N/A



A2 DEMOLISHED EXISTING CONDITIONS
1" = 20'

Approved for access for a single trash enclosure by the Solid Waste Department. **The owner is aware if the dumpster is blocked by the vehicles in the que when the refuse driver arrives they will have to pay for the driver to return. The Solid Waste Department must have access to the trash enclosure from 5AM to 8PM. Hazard Route Only**Herman Gallegos 03-24-23 *Herman Gallegos*



A1 TRAFFIC CONTROL LAYOUT
1" = 20'



STUDIO CONSULTANTS, INC
100 Gold Ave. SW, Suite 205,
Albuquerque, NM 87102
Daniel@ariasinc.com
(505) 506-2314
ARCHITECT



Civil:
RESPEC
7770 Jefferson St NE
Suite #200
Albuquerque, NM 87109

Landscape:
The Hilltop
Landscape Architects
and Contractors
7909 Edith Blvd NE,
Albuquerque, NM 87113

Structural:
Walla Engineering, LTD
6501 Americas Pkwy #301,
Albuquerque, NM 87110

MEP:
BG Buildingworks
7007 Wyoming Blvd NE # F2,
Albuquerque, NM 87109

CONSULTANTS

TIDAL WAVE
AUTO SPA
120 LEFT ENTRY
STD

2601 2nd St NW
Albuquerque, NM 87107
OWNER

MARK DATE DESCRIPTION



Architect/Engineer Stamp

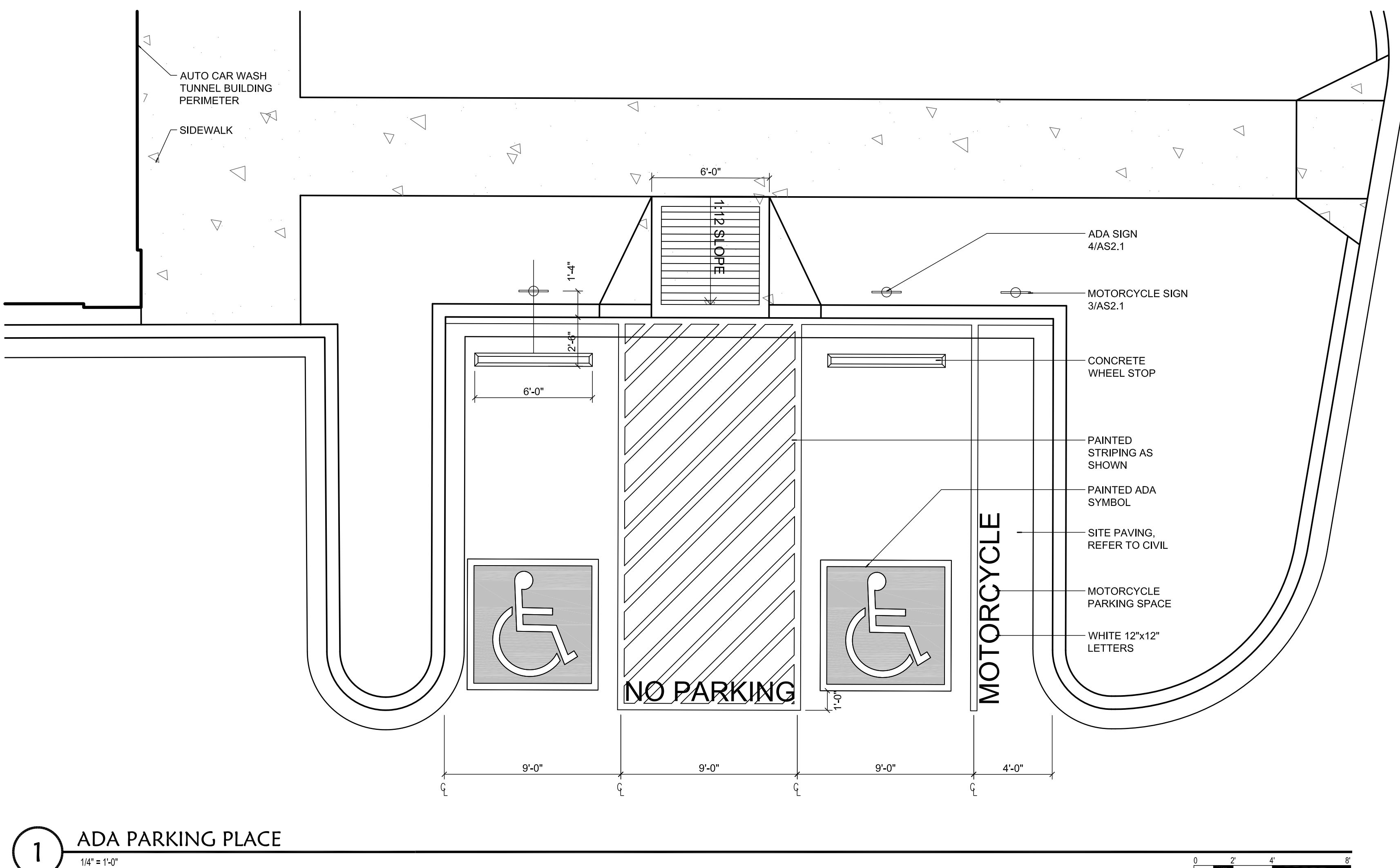
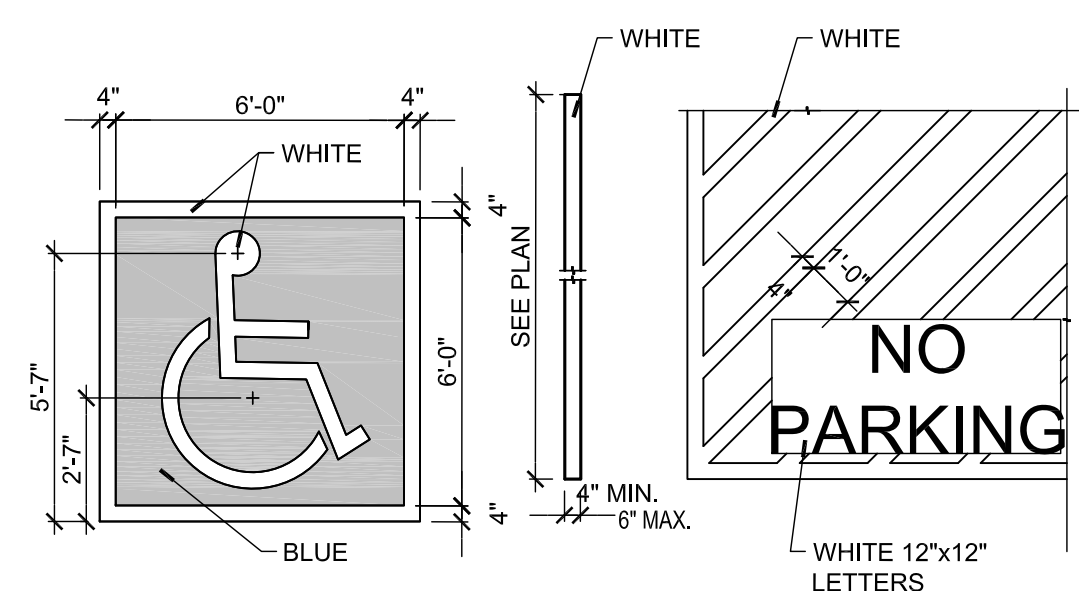
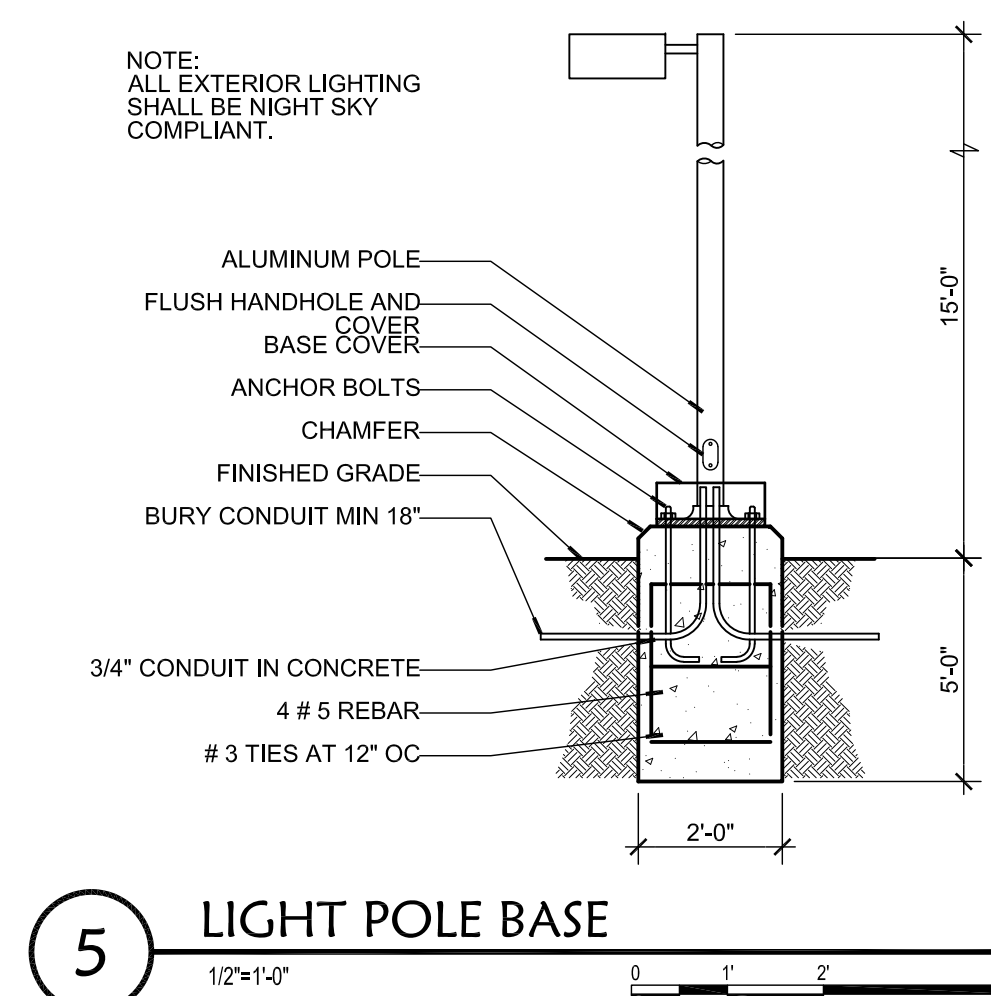
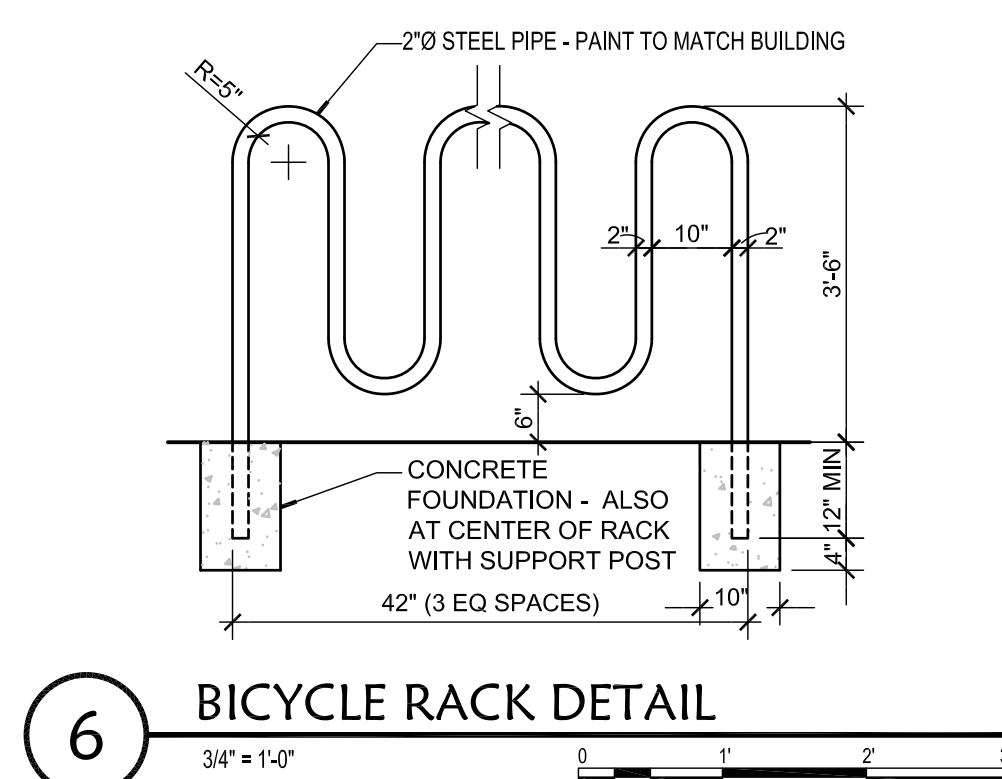
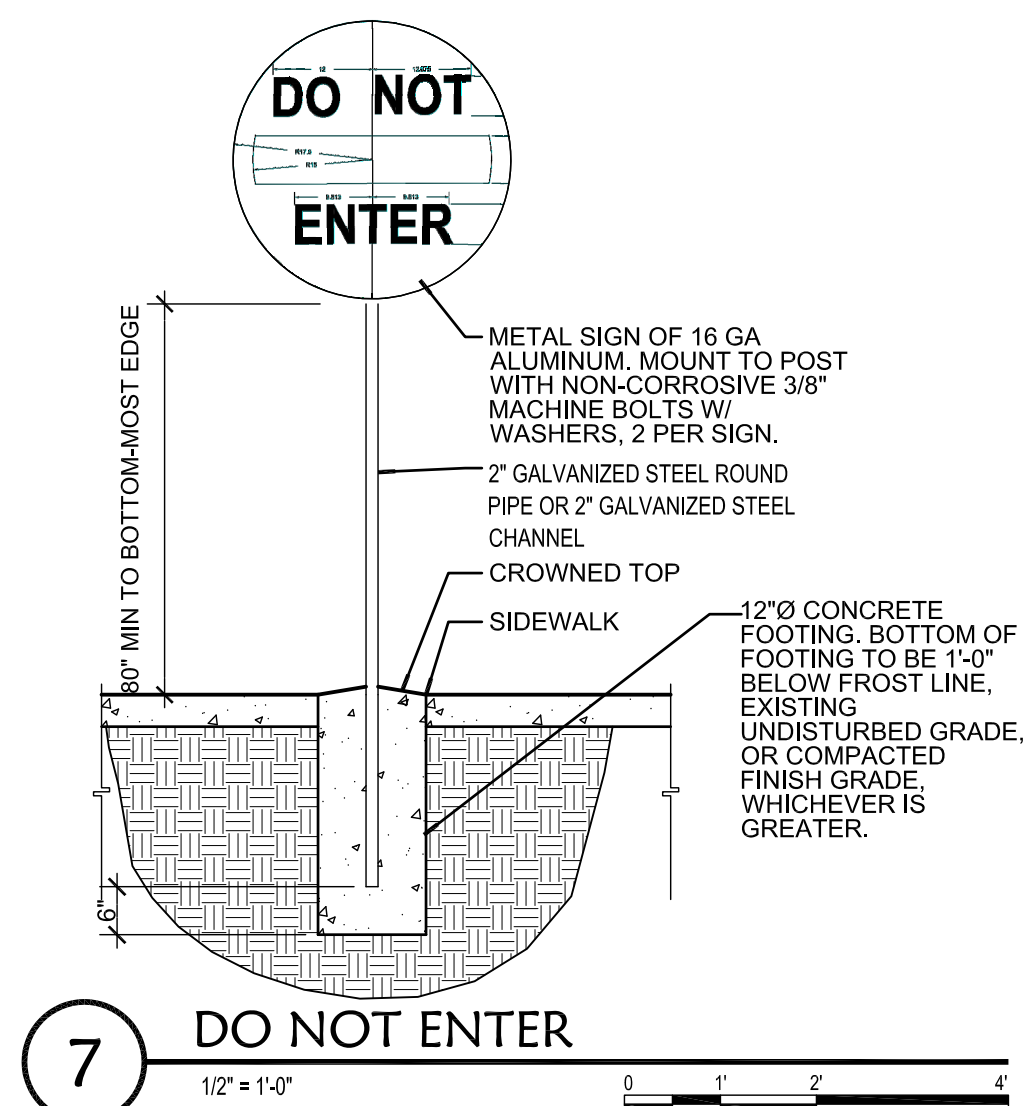
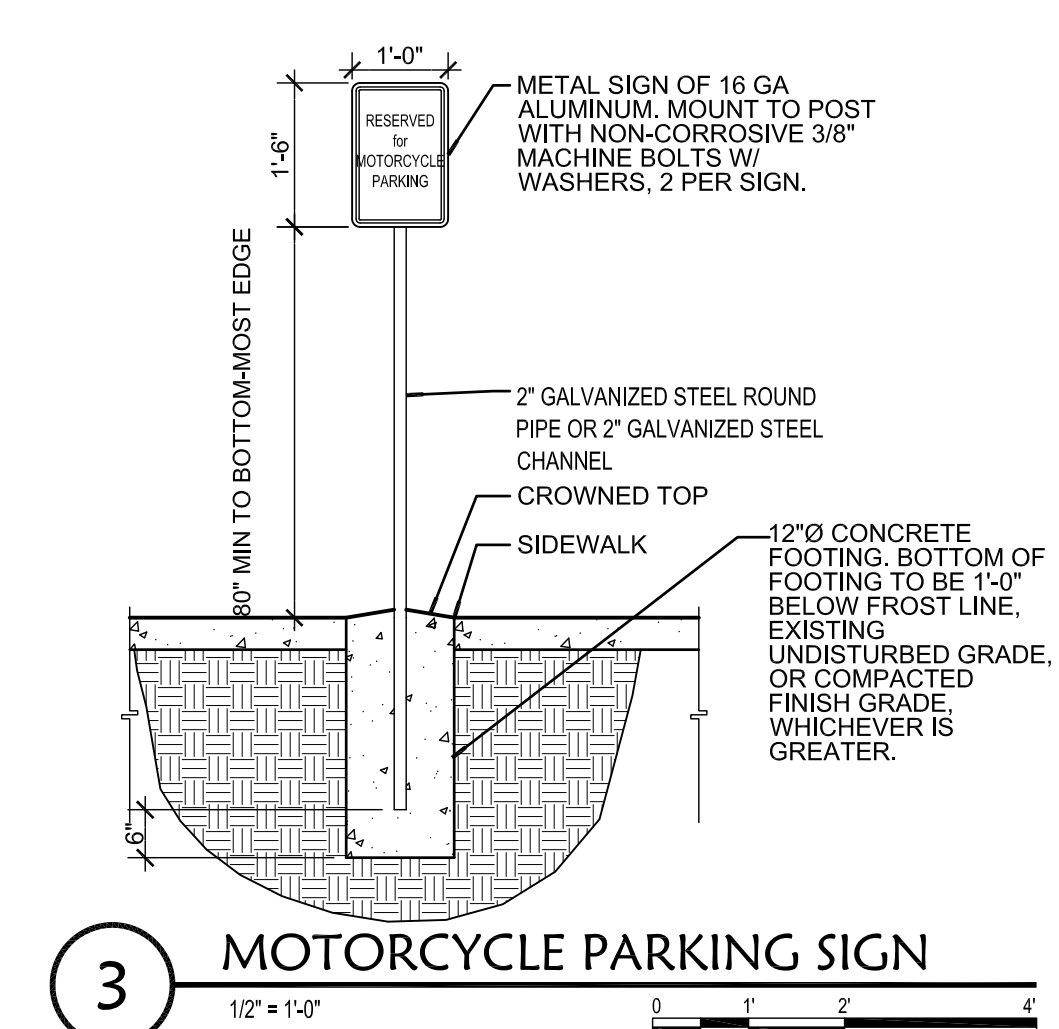
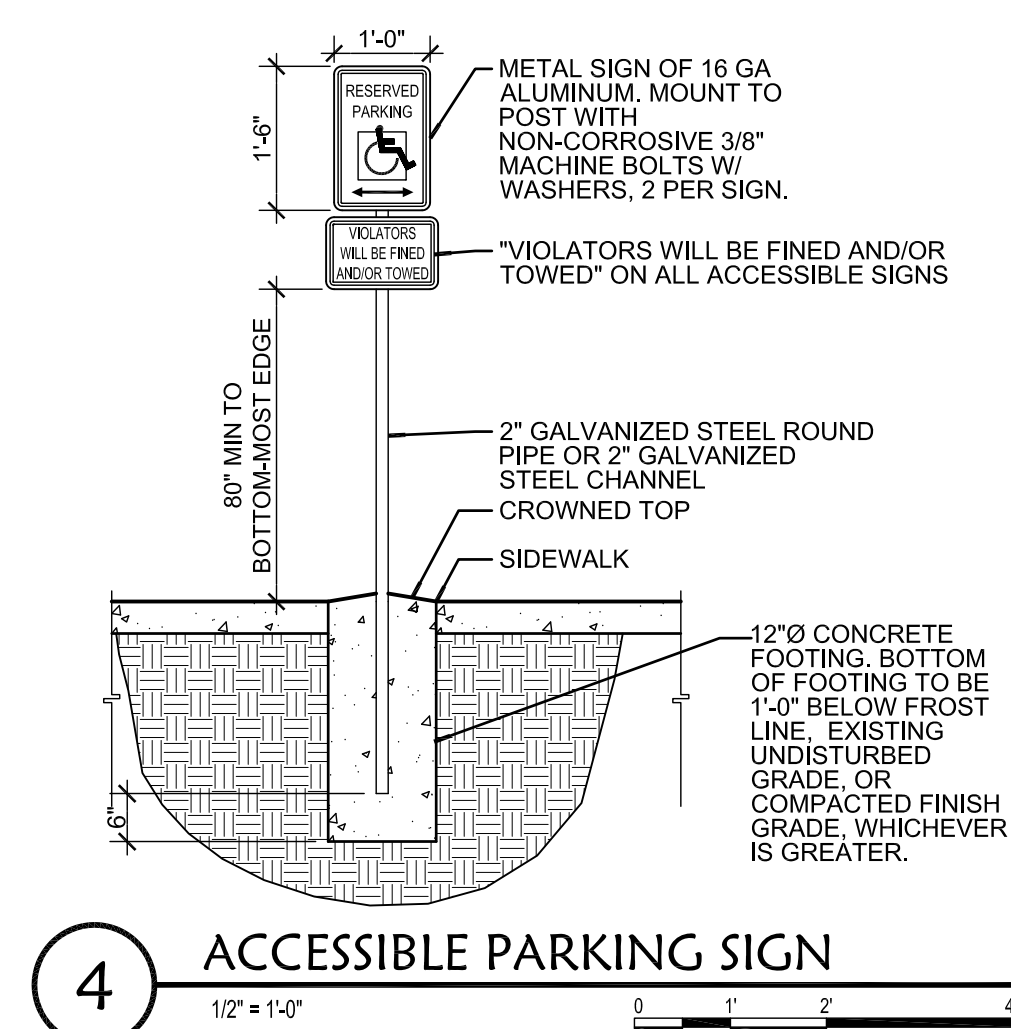
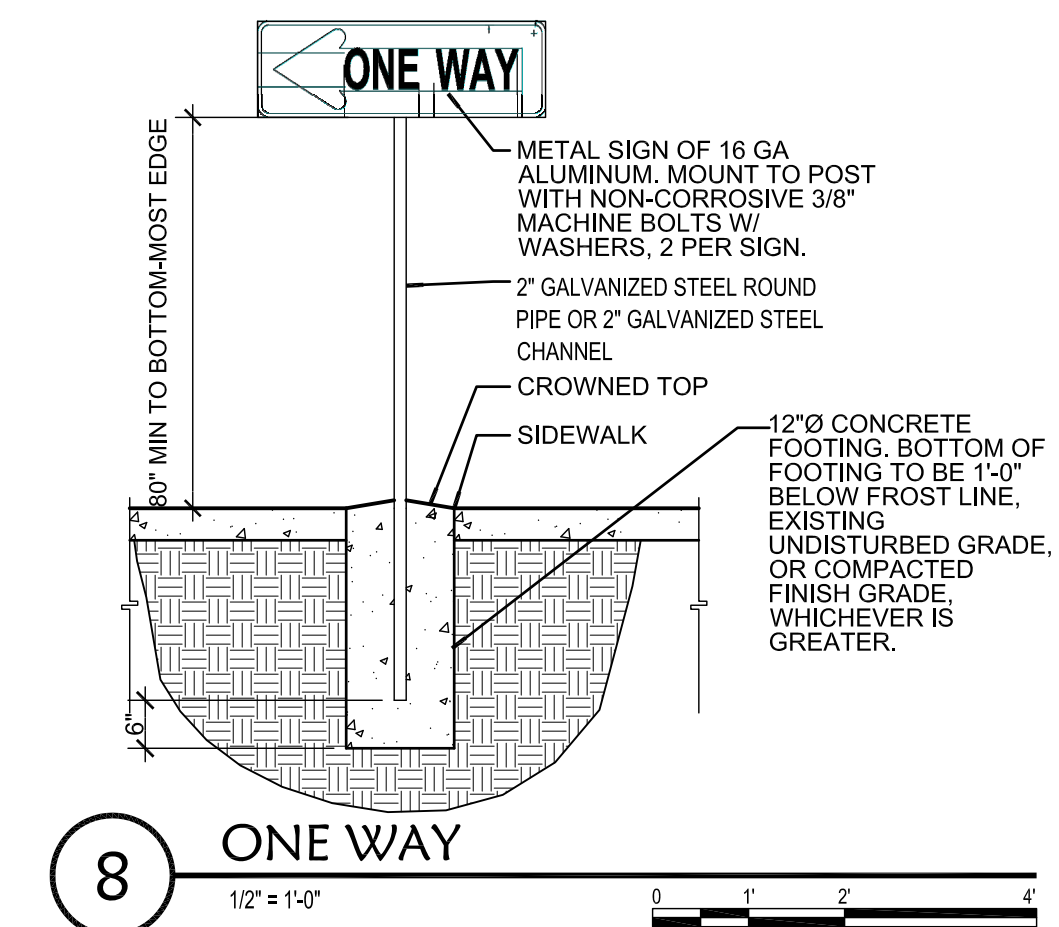
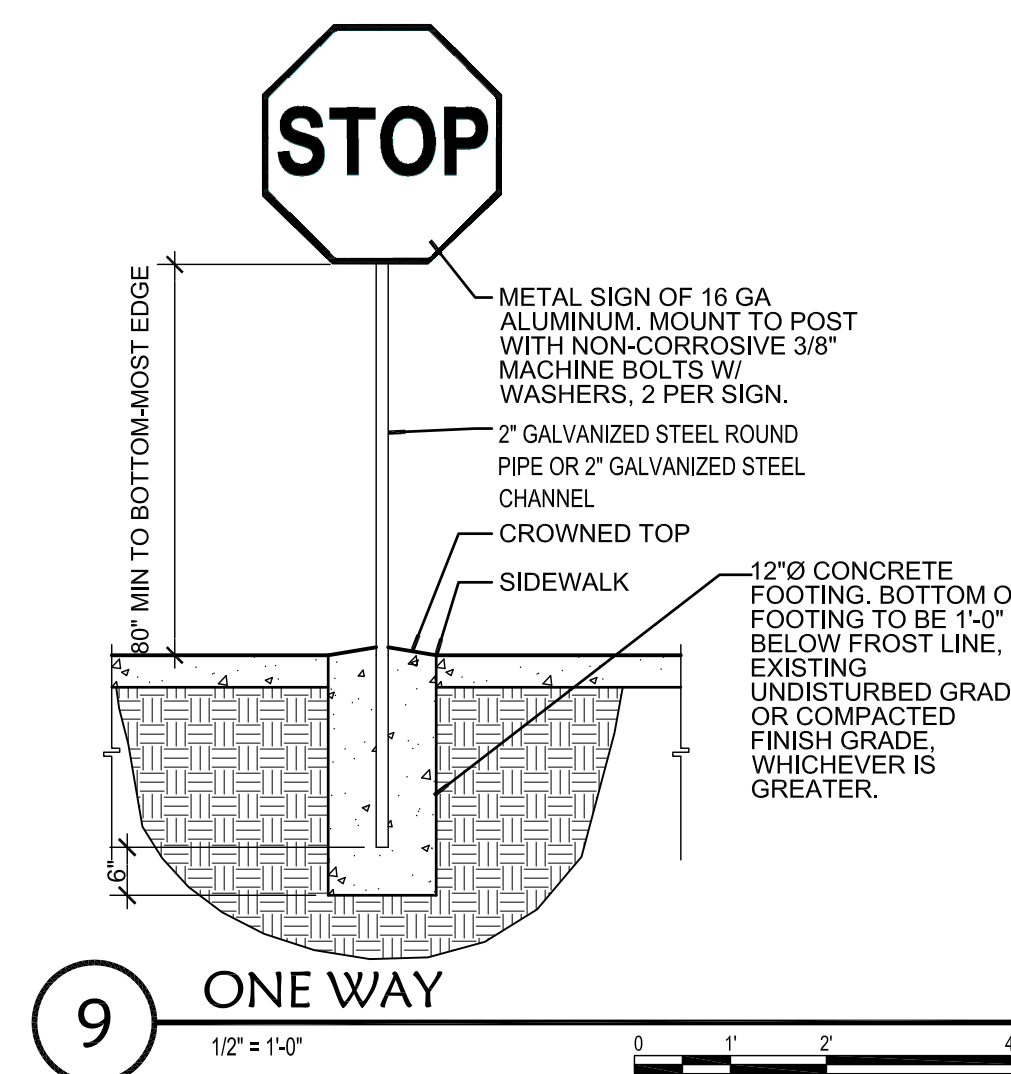
PROJECT DATE: 03/23/23

PROJECT NUMBER: 2213

DRAWN BY: BEM

TRAFFIC CONTROL
LAYOUT

AS101



STUDIO CONSULTANTS, INC
100 Gold Ave. SW, Suite 205,
Albuquerque, NM 87102
Daniel@ariascinc.com
(505) 506-2314
ARCHITECT



CONTRACTOR

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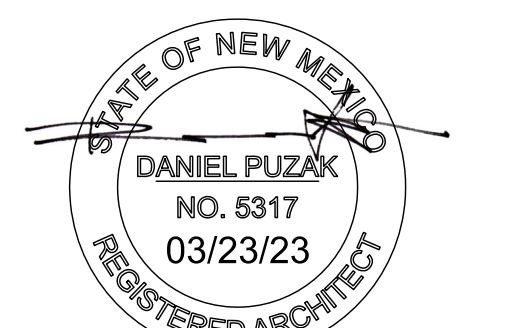
CONSULTANTS

**TIDAL WAVE
AUTO SPA
120 LEFT ENTRY
STD**

2601 2nd St NW
Albuquerque, NM 87107

OWNER

MARK	DATE	DESCRIPTION
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Architect/Engineer Stamp

PROJECT DATE: 03/23/23

PROJECT NUMBER: 2213

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TRAFFIC CONTROL LAYOUT

AS501