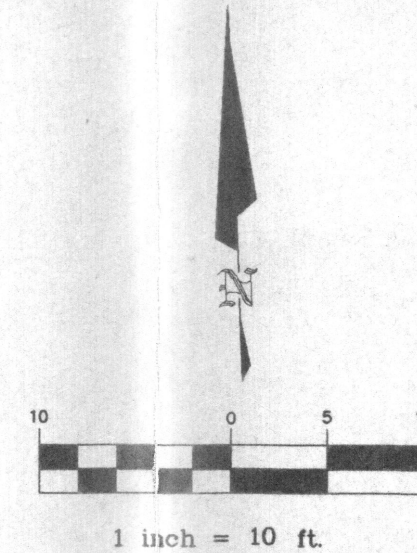


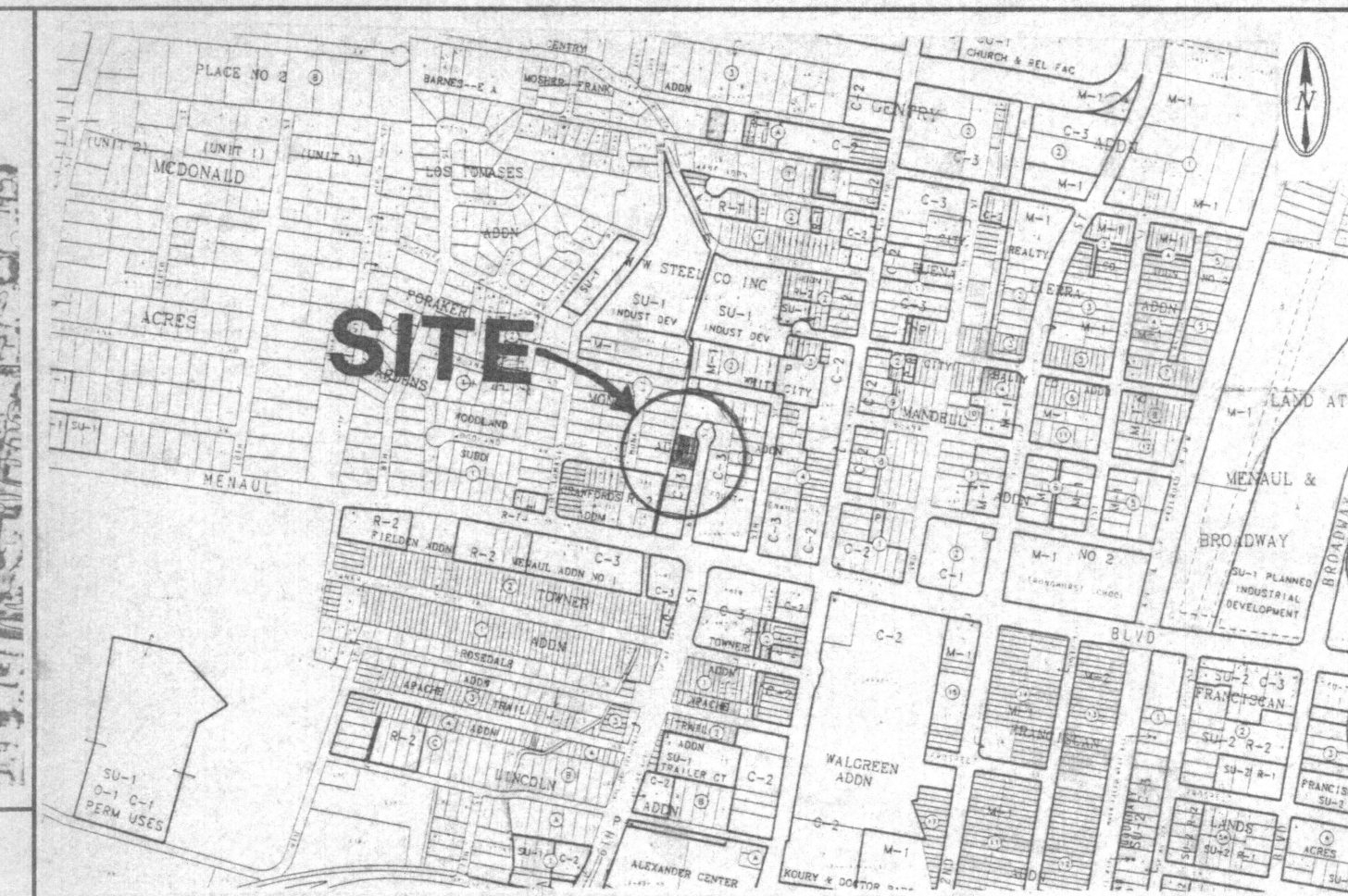
HYDROLOGY (HYMO)							
Precipitation Zone 2				P360 = 2.35 in			
Basin	Basin area (Ac)	Land Treatment (acre)	Ew	V100	Q100		
		A B C D	(in)	(af)	(cfs)		
Existing Conditions							
Site	0.31		0.31	1.13	0.03	0.97	
Developed Conditions							
Site	0.31	0.03	0.13	0.15	1.58	0.04	1.18



ALTHOUGH THE TOPOGRAPHY SHOWN HEREON DOES NOT REFLECT RECENT DEVELOPMENT THE DRAINAGE BASINS REMAIN ESSENTIALLY UNCHANGED

FLOODWAY & OFFSITE DRAINAGE MAP

1"=500'



H-14

LOCATION MAP

1"=750'

GRADING AND DRAINAGE PLAN

SCOPE:

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage plan outlines the drainage management criteria for controlling developed runoff from the project site. The property is to be developed as an one story warehouse, with associated paving, landscaping, utility, grading, and drainage improvements.

EXISTING CONDITIONS:

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As shown by the attached Floodway Panel, this site does lie, within designated 500 year flood hazard zone.

PROPOSED CONDITIONS:

As shown by the Plan, the project consists of the development of the property into an one story warehouse building. The Plan shows the elevations required to properly grade and construct the required improvements. The direction of drainage flows are given by flow arrows and the project hydrology is tabulated for both existing and developed conditions. This is an infill site and the drainage basin is completely developed for the most part.

All drainage flows will be managed on-site by surface improvements: flows will discharge to Sixth Street NW, which conveys flows to an existing drop inlet located on Sixth Street NW. Existing storm drains are located in Sixth Street which intercept all developed runoff to be discharge by the site.

EROSION CONTROL:

Temporary erosion control will be required along the project boundaries during construction to prevent the discharge of sediment into the public street system and adjoining private property. The contractor should construct a ditch dike system (see Detail 'A') along the north, south, and east property lines to effectively retain all runoff generated by the project. Care should be taken to provide ponding areas at the site perimeter, away from the buildings.

CALCULATIONS:

The calculations shown hereon define the 100-year/6-hour design storm falling within the project area under existing and developed conditions. The hydrology is per "Section 22.2, Part A, Development Process Manual, Vol. 2," dated January 1993.

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
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LEGEND

- 5001 — EXISTING CONTOUR ELEVATION
- 02.5 X — EXISTING SPOT ELEVATION
- 01 — PROPOSED CONTOUR ELEVATION
- — — — — PROPERTY LINE
- 01.5 — PROPOSED SPOT ELEVATION
- ← — DIRECTION OF FLOW
- — — — — DRAINAGE SWALE
- — — — — DRAINAGE BASIN DIVIDE

PROPERTY ADDRESS

North Sixth St.

LEGAL DESCRIPTION

Lot 6 & 7, Monk Addition

PROJECT BENCHMARK

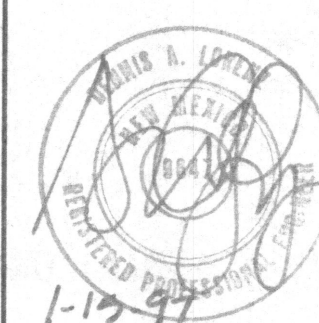
TBM: SW property corner, #3 rebar
Elevation 4964.28 feet

SURVEY

Topographic and Field Measurement by
Marquez Inc.
Dated September, 1996

HERB GROSSMAN
GRADING & DRAINAGE PLAN
PROJECT # 4496

REVISION DATE



rick bennett
architect

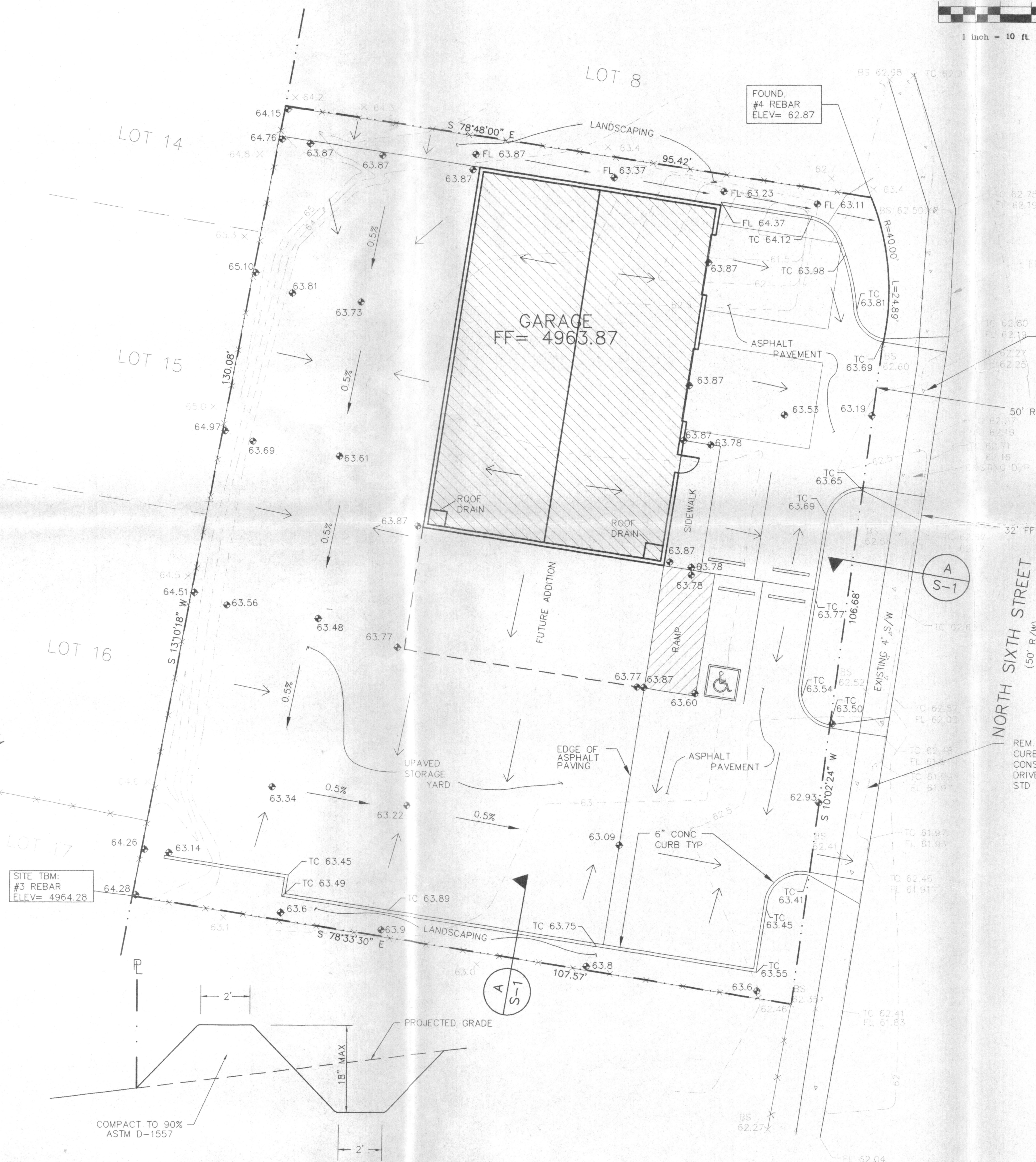
118 Park Avenue SW
Albuquerque, New Mexico 87102
(505) 242-1859

DATE

7-24-96

SHEET NUMBER

S-1

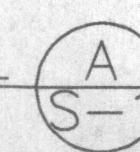


SITE TBM:
#3 REBAR
ELEV= 4964.28

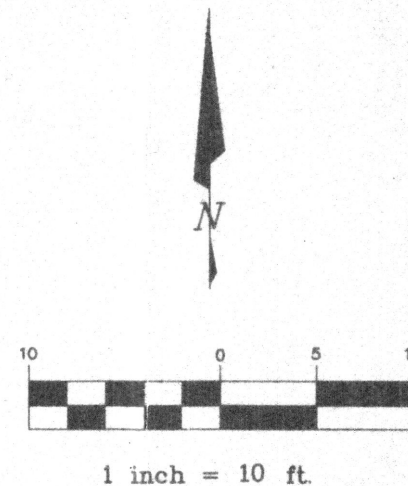
COMPACT TO 90%
ASTM D-1557

TEMPORARY EROSION CONTROL BERM DETAIL

NTS



HYDROLOGY (HYMO)							
Precipitation Zone 2				P360 = 2.35 in			
Basin	Basin	Land Treatment (acre)		Ew	V100	Q100	
	area (Ac)	A	B C D	(in)	(af)	(cfs)	
Existing Conditions							
Site	0.31		0.31	1.13	0.03	0.97	
Developed Conditions							
Site	0.31	0.03	0.13	0.15	1.58	0.04	1.18



FLOODWAY & OFFSITE DRAINAGE MAP

1"=500'

H-14

LOCATION MAP

1"=750'

GRADING AND DRAINAGE PLAN

SCOPE:

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage plan outlines the drainage management criteria for controlling developed runoff from the project site. The property is to be developed as an one story warehouse, with associated paving, landscaping, utility, grading, and drainage improvements.

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CALCULATIONS:

The calculations shown herein define the 100-year/6-hour design storm falling within the project area under existing and developed conditions. The hydrology is per "Section 22.2, Part A, Development Process Manual, Vol. 2," dated January 1993.

LEGEND

- 5001 — EXISTING CONTOUR ELEVATION
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- 01 — PROPOSED CONTOUR ELEVATION
- — — — — PROPERTY LINE
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PROPERTY ADDRESS

North Sixth St.

LEGAL DESCRIPTION

Lot 6 & 7, Monk Addition

PROJECT BENCHMARKS

TBM: SW property corner, #3 rebar
Elevation 4964.28 feet
COA BM: NM47-13 EL. 4968.39
SURVEY

Topographic and Field Measurement by
Marquez Inc.
Dated September, 1996

HERB GROSSMAN
GRADING & DRAINAGE PLAN
PROJECT # 4496

REVISION DATE

10-24-96 9-17-96

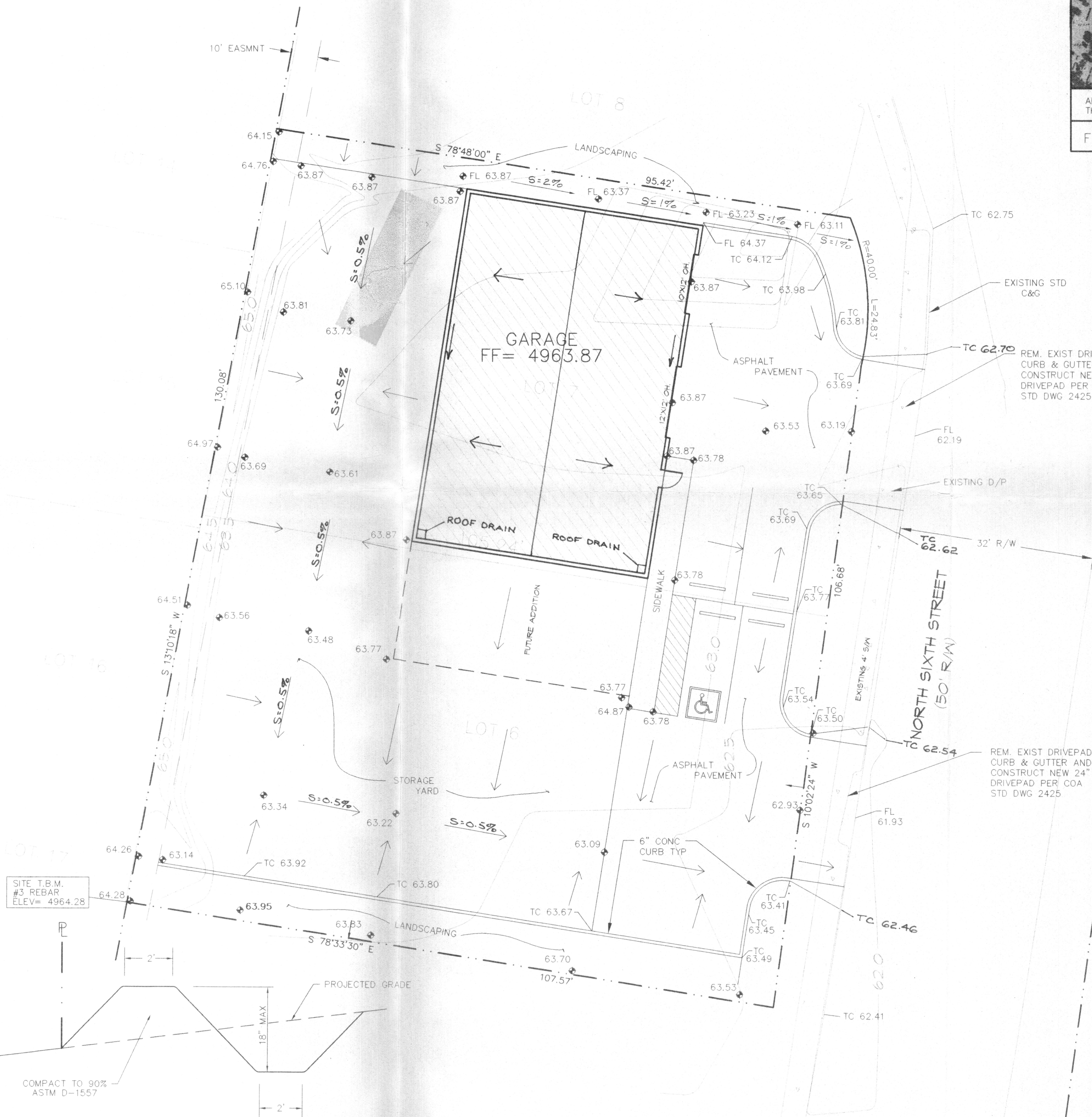
rick bennett
architect
1118 Park Avenue SW
Albuquerque, New Mexico
87102
(505) 242-1859

DATE

7-24-96

SHEET NUMBER

S-1



SITE T.B.M.
#3 REBAR
ELEV= 4964.28

COMPACT TO 90%
ASTM D-1557

PROJECTED GRADE

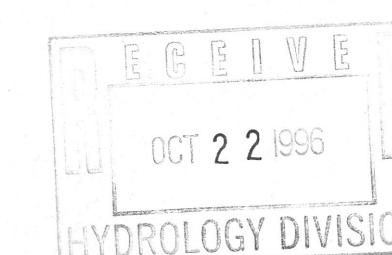
TEMPORARY EROSION CONTROL BERM DETAIL

NTS

A
S-1

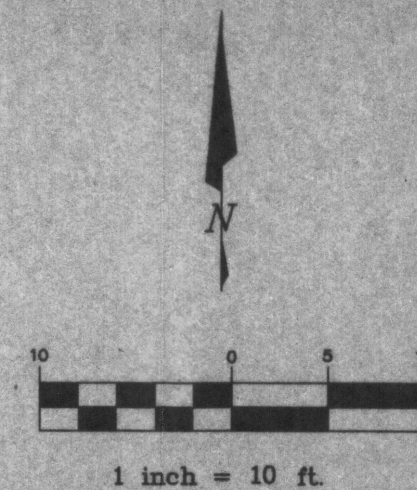
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Consulting Engineers
2201 San Pedro NE Building 1 Suite 210
Albuquerque, New Mexico 87110
Ph. 505-888-6088 Fax: 505-888-6188

HYDROLOGY (HYMO)							
Precipitation Zone 2				P360 = 2.35 in			
Basin	Basin area (Ac)	Land Treatment (acre)				Ew (in)	Q100 (cfs)
		A	B	C	D		
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Site	0.31			0.31		1.13	0.03
Developed Conditions							
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FLOODWAY & OFFSITE DRAINAGE MAP 1"=500' H-14 LOCATION MAP 1"=750'

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- ... — PROPERTY LINE
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- — DRAINAGE SWALE
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PROPERTY ADDRESS

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LEGAL DESCRIPTION

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PROJECT BENCHMARK

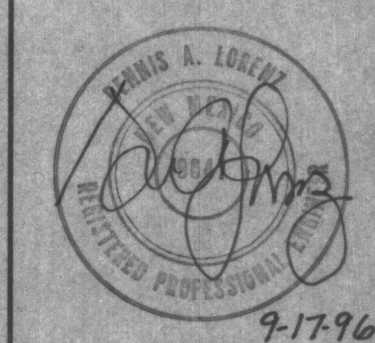
TBM: SW property corner, #3 rebar
Elevation 4964.28 feet

SURVEY

Topographic and Field Measurement by
Marquez Inc.
Dated September, 1996

HERB GROSSMAN
GRADING & DRAINAGE PLAN
PROJECT # 4496

REVISION DATE



rick bennett
architect
118 Park Avenue SW
Albuquerque, New Mexico
(505) 242-1051

DATE

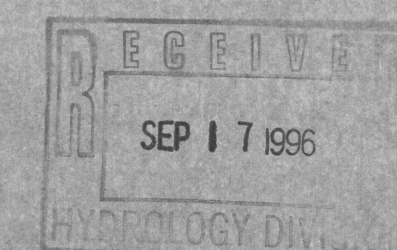
7-24-96

SHEET NUMBER

S-1

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Ph: 505-888-6088 Fax: 505-888-6188

8/30/96-DWG 9/11/96 1"=10'

TEMPORARY EROSION CONTROL BERM DETAIL

NTS

(A)
S-1

