



City of Albuquerque

June 28, 2000

Robert B. Ryals, P.E.
Ryals Engineering
4929 Idlewilde SE
Albuquerque, New Mexico

RE: Grading and Drainage Certification for Rapp Townhomes (H14/D84) Submitted for Release of Financial Guarantees, Engineer's Certification Stamp Dated 6/19/00.

Dear Mr. Ryals:

Based on the information provided, the above referenced plan is adequate to satisfy the Grading and Drainage Certification requirement per the Infrastructure List dated April 28, 1998 for the release of Financial Guarantees for the Rapp Townhomes.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Terri Martin, DRB 97-380, City Project # 588181
Tom Springer, Springer Development Inc.
←File→

RESUBMITAL

APPLICANT'S NAME: RAPP TOWN HOMES ZONE ATLAS/DRNG. FILE #: H-14/D84
DRB #: _____ EPC #: Z-97-31 WORK ORDER #: _____
LEGAL DESCRIPTION: LOT 5 WILCUT ADDITION & LOTS 19-22 CLANTON ADD.
CITY ADDRESS: A PORTION OF LOT 5 BLOCK 46 LOS TOMASES COUNTRY
ENGINEERING FIRM: RYALS ENG. CONTACT: BOB RYALS
ADDRESS: 5301 CENTRAL WEST #13 PHONE: 256-4701
OWNER: SPRINGER DEVELOPMENT CONTACT: JIM SPRINGER
ADDRESS: BOX 20826 PHONE: 292-8773
ARCHITECT: N.A. 87154 CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: MARTINEZ SURVEYING CONTACT: BOB MARTINEZ
ADDRESS: 3806 COLLISLE NE ALB. PHONE: 881-1170
CONTRACTOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:

- ☒ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

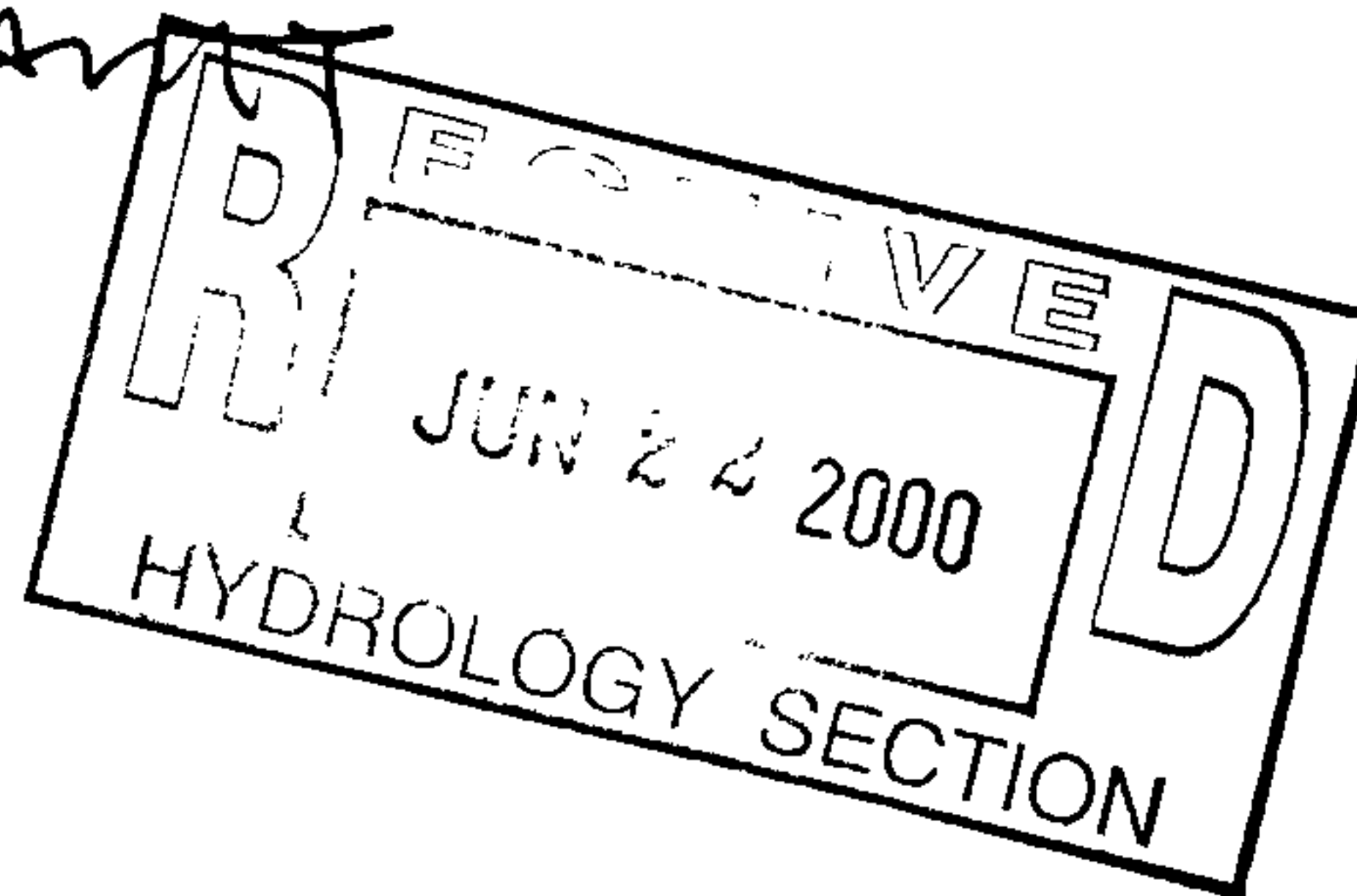
- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☒ SUBDIVISION CERTIFICATION
☒ OTHER _____ (SPECIFY)

DATE SUBMITTED: 6-16-00

BY: TOM SPRINGER
BT DOUG ZIMMERMAN

Revised 02/98

RELEASE OF FINANCIAL
COPIES





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 28, 1999

Robert B. Ryals, P.E.
Ryals Engineering
4929 Idlewilde SE
Albuquerque, New Mexico

***RE: Grading and Drainage Certification for Rapp Townhomes (H14/D84) Engineer's
Certification Stamp Dated 6/2/99.***

Dear Mr. Ryals:

Although the Certification statement on the above referenced plan is adequate, no As-Built elevations were provided. The plan, therefore, is unacceptable. Please provide the required As-Built elevations on the certification plan.

Done ✓
It is my understanding that this plan was submitted for Release of Financial Guarantees. If this is the case, please indicate that on the Drainage Information Sheet. Also, please provide the City Work Order number on the Drainage Information Sheet.

If you have any questions, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: File

Tierra Vida, Inc.
PO Box 20826
Albuquerque, New Mexico 87154
Tele: 505/292-8773
Fax: 505/298-4753

June 22, 2000

Ms. Terry Martin
Project Administrator – Design Review Division
City of Albuquerque
Plaza del Sol – Second Floor West
Albuquerque, New Mexico 87102

Dear Ms. Martin,

Enclosed are all of the requested documents and plans to complete the Rapp town home project.

If you have any questions please contact me at 480-1976.

Sincerely,



Douglas Zimmerman
Superintendent

cc: Tom Springer



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 28, 1999

Robert B. Ryals, P.E.
Ryals Engineering
4929 Idlewilde SE
Albuquerque, New Mexico

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If you have any questions, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Rapp Town Homes ZONE ATLAS/DRNG. FILE #: M-14-D-84
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: lots 1-7 Rapp Town Homes
CITY ADDRESS: _____
ENGINEERING FIRM: Ryals Engineering CONTACT: Bob Ryals
ADDRESS: 4929 Idlewild SE PHONE: 265-8267
OWNER: Spangler Development CONTACT: Tom Spangler
ADDRESS: _____ PHONE: 292-8773
ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

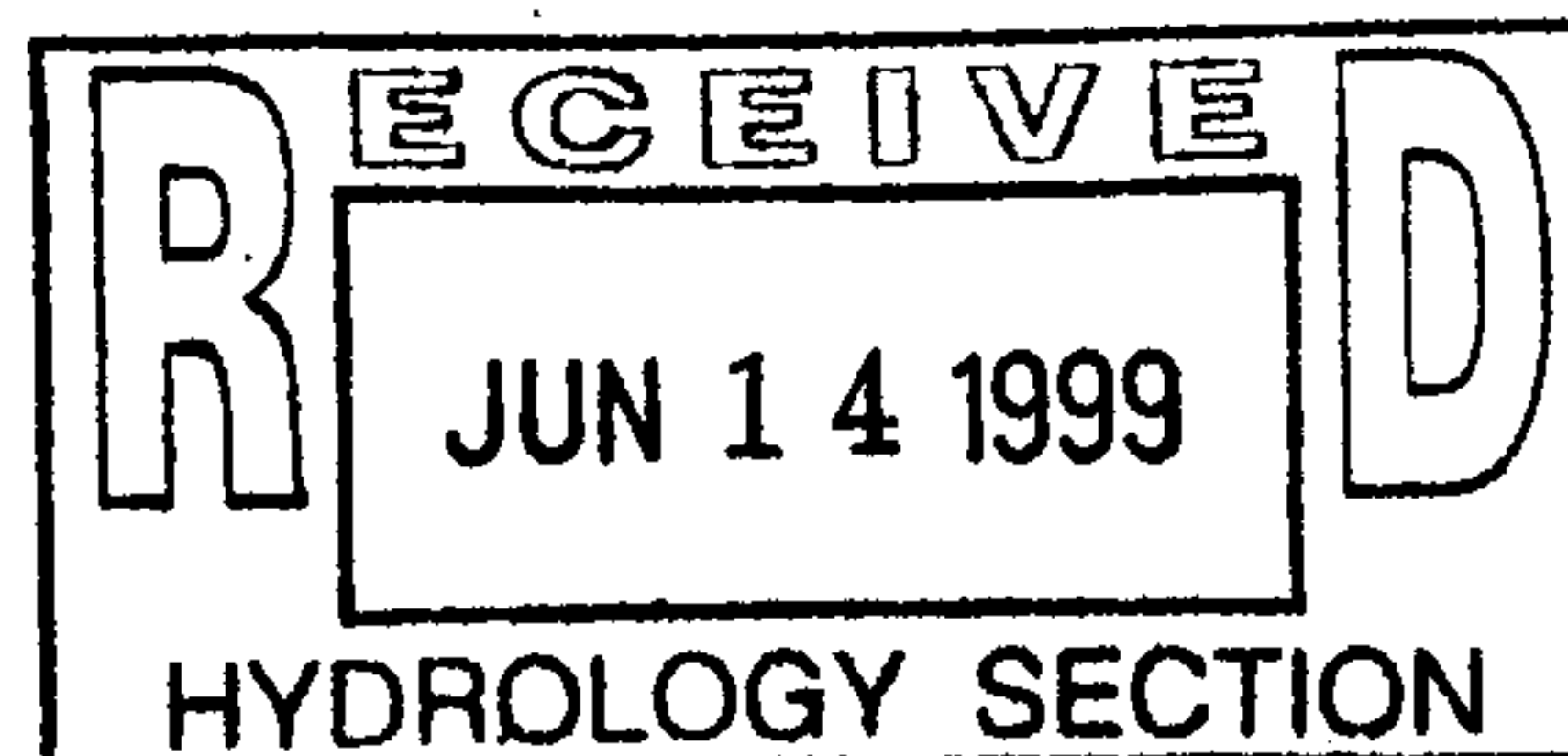
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☒ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 6/14/95BY: Robert Ryals

DRAINAGE INFORMATION SHEET

RESUBMITTAL

PROJECT TITLE: RAPP TOWNHOMES ZONE ATLAS/DRNG. FILE #: H-14
DRB #: _____ EPC #: Z-97-31 WORK ORDER #: _____
LEGAL DESCRIPTION: Lot 5, Wilcut Addition & Lots 19-22, Glenhaven Addition and
CITY ADDRESS: a portion of Lot 5, Block 16, Los Tomases Compound
ENGINEERING FIRM: Ryals Engineering CONTACT: Robert Ryals
ADDRESS: 5301 Central NE #913 PHONE: 256-4701
OWNER: Springer Development, Inc. CONTACT: Tom Springer
ADDRESS: P.O. Box 20826 PHONE: 292-8773
ARCHITECT: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: Martinez Surveying CONTACT: Bob Martinez
ADDRESS: 3806 Carlisle, NE, Alb., NM PHONE: 888-1170
CONTRACTOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

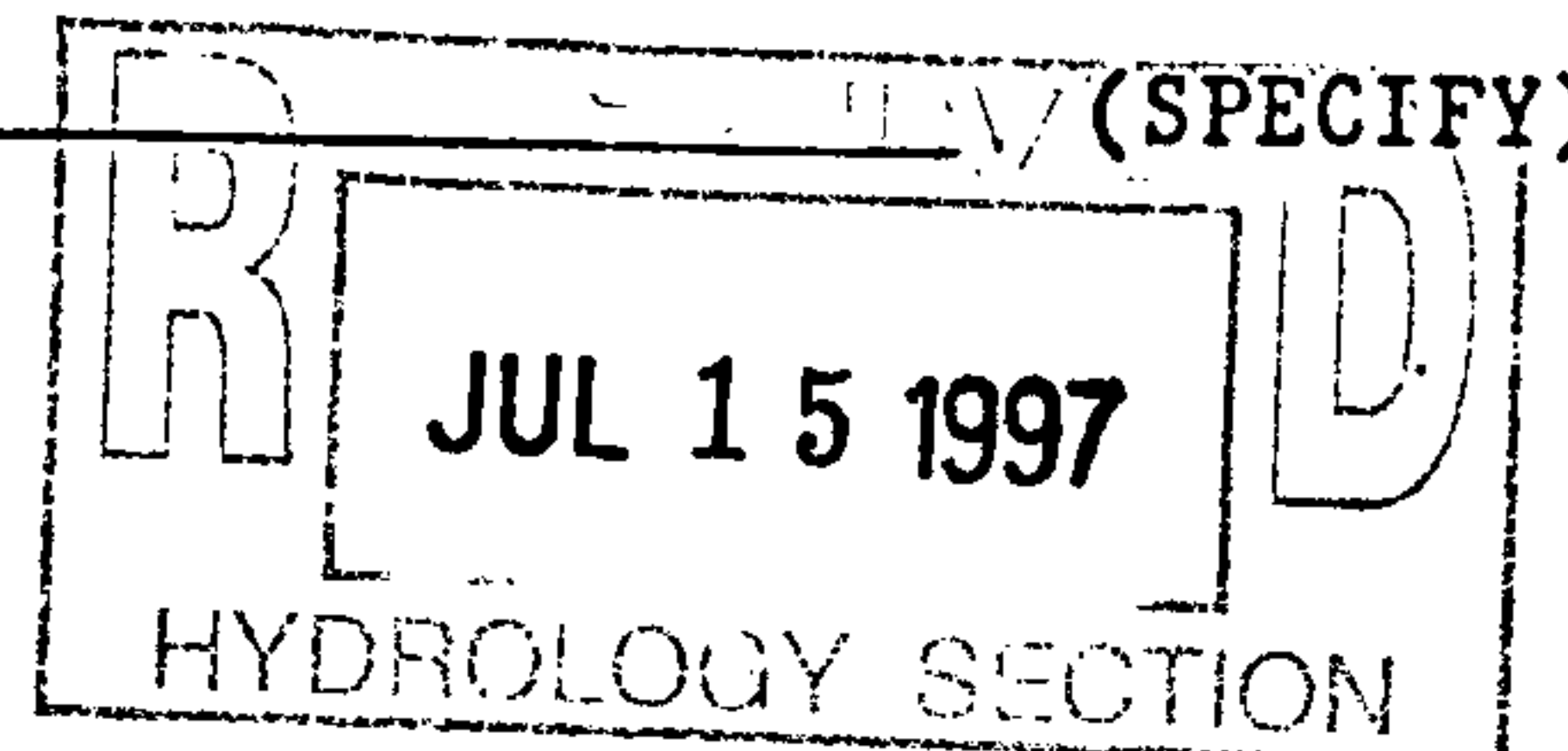
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☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 7-14-97BY: [Signature]

RYALS engineering & construction services

5301 Central Ave. NE * Suite 913 * Albuquerque, New Mexico 87108

Phone (505) 256-4701

Fax (505) 266-6448

July 11, 1997

Lisa Ann Manwill, P.E.
Engineering Associate, Hydrology
Public Works Department
City of Albuquerque
P.O. Box 1293
Albuquerque, N.M.

RE: RAPP TOWNHOMES, (H-14-D84)


Dear Lisa:

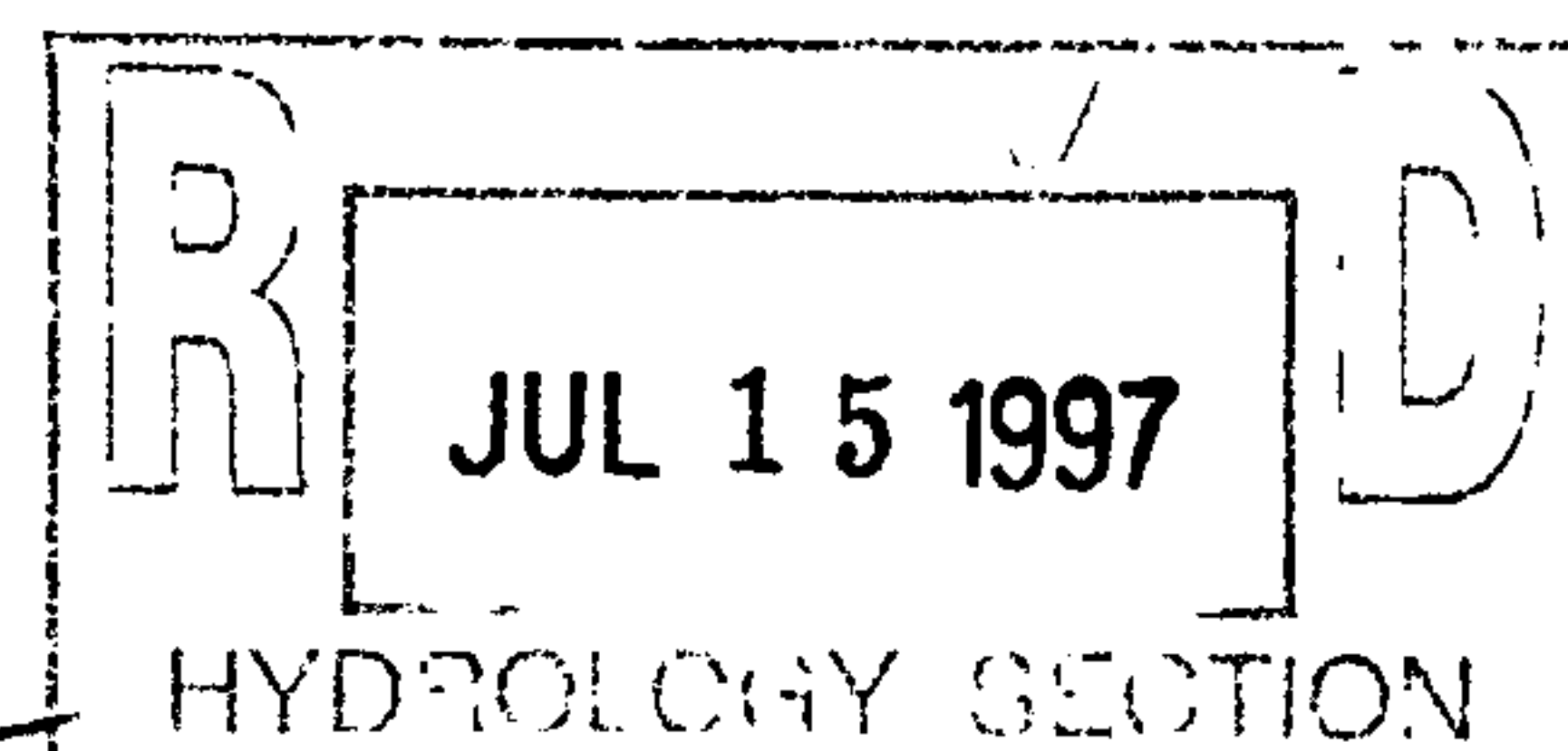
This letter is in response to your comments dated July 2, 1997, regarding the above referenced drainage plan submittal.

1. Engineers' stamp has been dated
2. The vicinity map has been corrected
3. Calculations have been revised to eliminate credit for rear yard ponding. It was the intent of the original submittal to demonstrate that existing volume and peak discharge rates would not be increased by the proposed development. Since current City policy does not allow rear yard ponding of developed flows, the grading plan has been revised to direct all developed flows to Cordova. The flow rate would increase from 1.006 cfs to 1.889 cfs and the volume would increase from 1,316 cubic feet to 2,786 cubic feet. The volume increase would raise the Los Tomases surge pond water surface elevation by .03'.
4. Has been corrected
5. French drains have been deleted
6. Bench mark has been added
7. O.K.

Based on the negligible effect of this development on the existing downstream drainage system, I am requesting the plan be approved as revised by this submittal.

Sincerely,


Robert B. Ryals, P.E.





CITY OF
Albuquerque
Public Works Department
July 2, 1997

Martin J. Chavez, Mayor

Robert E. Gurulé, Director

Robert Ryals, P.E.
Ryals Engineering
5301 Central NE
Suite 913
Albuquerque, NM 87108

RE: RAPP TOWNHOMES (H14-D84). GRADING AND DRAINAGE PLAN FOR PRELIMINARY PLAT, FINAL PLAT, BUILDING PERMIT, AND GRADING PERMIT APPROVALS. ENGINEER'S STAMP IS NOT DATED.

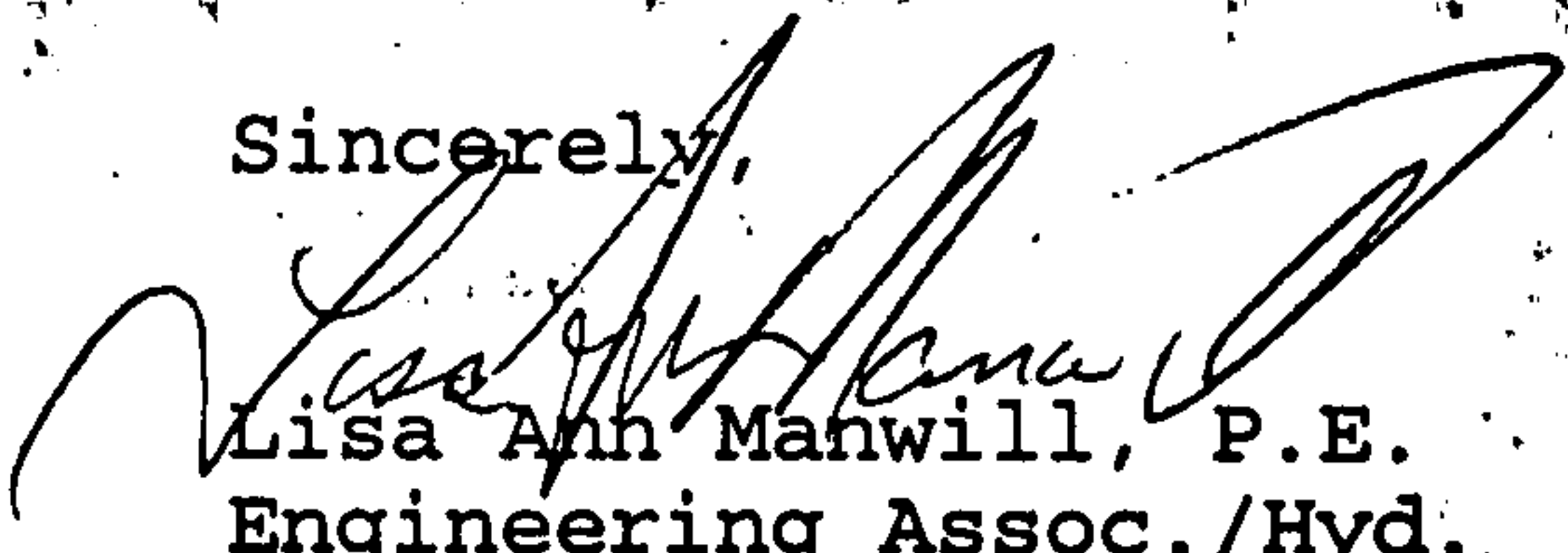
Dear Mr. Ryals:

Based on the information provided on your June 25, 1997 submittal, I offer the following comments:

1. Date the Engineer's stamp.
2. I believe you have labeled the vicinity map incorrectly. This project is in zone H-14 not J-14.
3. You can not "take credit" for back yard ponds.
4. No developed flow may enter a back yard pond.
5. French drains are not allowed in the City of Albuquerque.
6. I was unable to locate the benchmark information.
7. I only need one copy of your plan sheet.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


Lisa Ann Manwill, P.E.
Engineering Assoc./Hyd.

C: Andrew Garcia
File

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

PROJECT TITLE: RAPP TOWNHOMES ZONE ATLAS/DRNG. FILE #: H-14/84
DRB #: _____ EPC #: Z-97-31 WORK ORDER #: _____
LEGAL DESCRIPTION: Lot 5, Wilcut Addition & Lots 19-22, Glenhaven Addition and
CITY ADDRESS: a portion of Lot 5, Block 16, Los Tomases Compound
ENGINEERING FIRM: Ryals Engineering CONTACT: Robert Ryals
ADDRESS: 5301 Central NE #913 PHONE: 256-4701
OWNER: Springer Development, Inc. CONTACT: Tom Springer
ADDRESS: P.O. Box 20826 PHONE: 292-8773
ARCHITECT: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: Martinez Surveying CONTACT: Bob Martinez
ADDRESS: 3806 Carlisle, NE, Alb., NM PHONE: 888-1170
CONTRACTOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____

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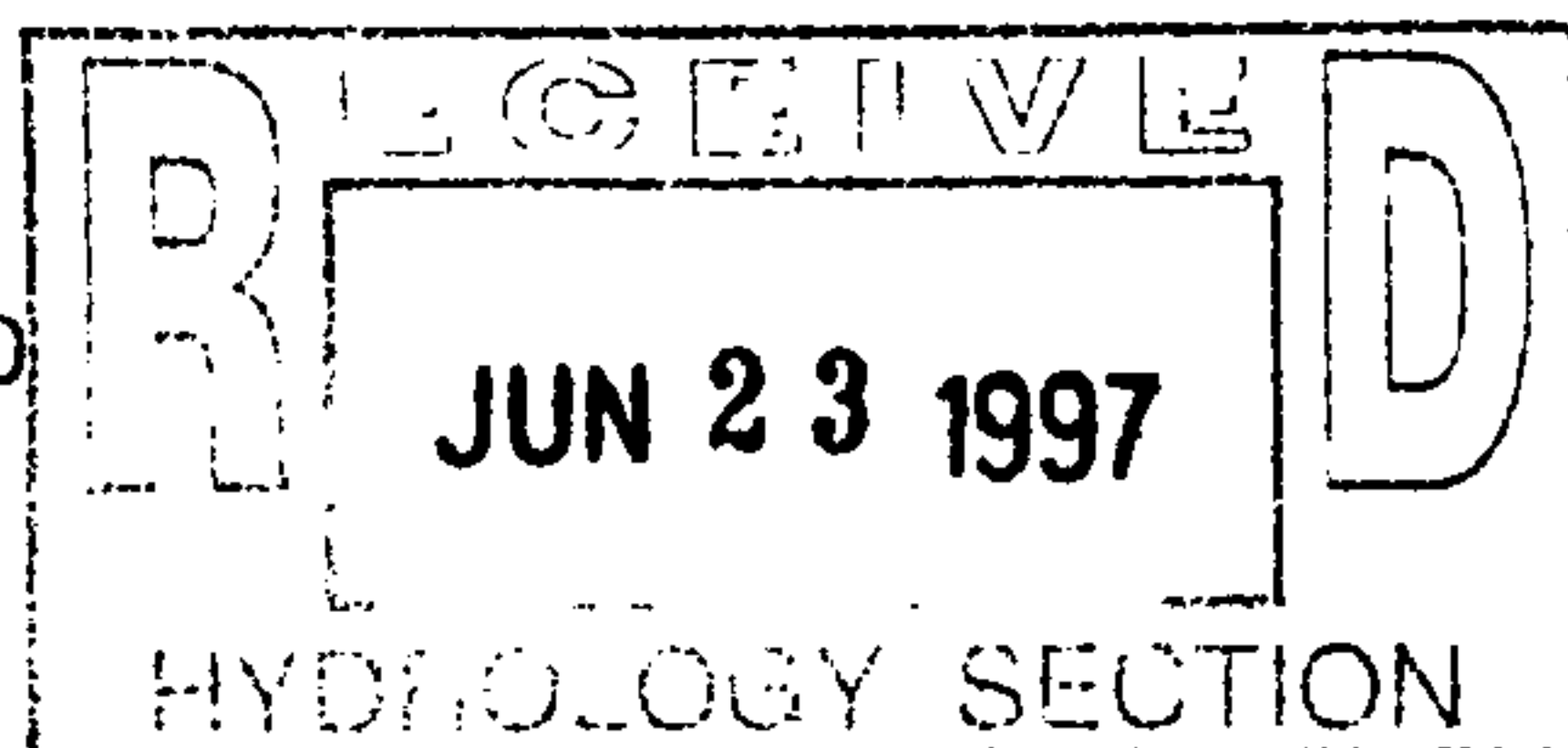
☐ DRAINAGE REPORT
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☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: _____

BY: _____

TEET & S MUL

Hudson townhomes
C-74-40; 16 July 87



Martin J. Chávez, Mayor

Robert Ryals, P.E.
Ryals Engineering
5301 Central NE
Suite 913
Albuquerque, NM 87108

**RE: RAPP TOWNHOMES (H14-D84). GRADING AND DRAINAGE PLAN FOR
PRELIMINARY PLAT, FINAL PLAT, BUILDING PERMIT, AND GRADING PERMIT
APPROVALS. ENGINEER'S STAMP DATED JULY 11, 1997.**

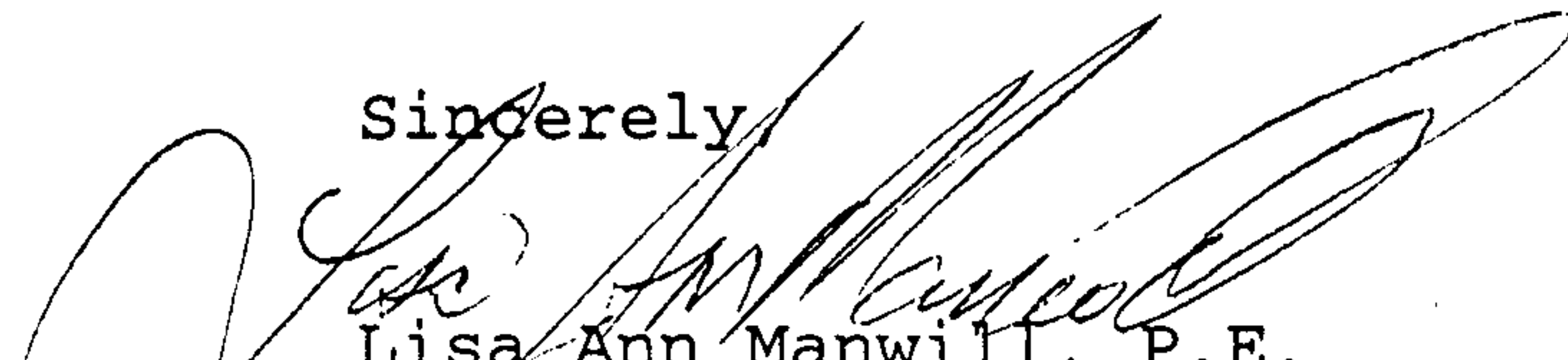
Dear Mr. Ryals:

Based on the information provided on your July 15, 1997 submittal, the above referenced project is approved for Preliminary Plat, Final Plat, and Building Permit.

An Engineer's Certification will be required prior to Certificate of Occupancy approval.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



Lisa Ann Manwill, P.E.
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103

