

- KEYED NOTES**
1. CONSTRUCT HANDICAP RAMP CASE III, PER COA STD DWG 2441
  2. CONSTRUCT 4' SIDEWALK
  3. PROPOSED PAVEMENT
  4. CONSTRUCT 6" HEADER CURB PER COA STD DWG 2415
  5. PAINTED STRIPING PER COA CRITERIA
  6. PROPOSED LANDSCAPING AREA BY OTHERS
  7. CONSTRUCT 6" CONCRETE TURN DOWN SIDEWALK
  8. CONSTRUCT ACCESSIBLE PARKING SPACES AT 2% SLOPE MAX. IN ALL DIRECTIONS
  9. CONSTRUCT 24" X 24" PIT 36" DEEP WITH 24" X 24" INLET GRATE TG = 57.81 INLET INV. = 54.81 SEE DETAIL A THIS SHEET
  10. CONSTRUCT PVC PIPE OPENING TO ALLOW FREE DISCHARGE FROM SUMP PUMP
  11. R & D EXISTING CONCRETE C & G CONSTRUCT VALLEY GUTTER PER COA STD DWG 2420
  12. RETAINING WALL - DESIGN BY OTHERS
- KEYED NOTES (CONT'D)**
13. HANDRAIL - SEE ARCHITECTURAL SITE PLAN
  14. EXISTING STANDARD C & G
  15. CONSTRUCT 15'X60' CONCRETE PAD BY OTHERS
  16. SIGN TO BE RELOCATED
  17. PROPOSED ROOF DRAIN LOCATIONS SEE ARCHITECTURAL PLANS
  18. GATE - SEE ARCHITECTURAL SITE PLAN

**GRADING AND DRAINAGE PLAN**  
**PROJECT DESCRIPTION:**  
Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Drainage Report outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the development of the property into a commercial warehouse. Concrete driveways, landscaping, utility, grading, and drainage improvements will be provided to support the project.

**EXISTING CONDITIONS:**  
The project site is approximately 0.35 acres in size and located at 524 Sixth St NW, south east of McKnight Ave and Sixth St intersection. The site is presently described as Block 7 of Bezemek Addition Lots 6 and 7. The site is bounded by a developed residential lot on the east, Sixth St on the west, on the north by McKnight Ave, and on the south by a developed commercial lot. The property is presently undeveloped and experiences no impact by off-site runoff. On-site topography illustrates a flat lot.

As shown by FIRM panel 35001C0332D, the project site is located within zone "x", designating areas determined to be inside a 500-year flood plain.

**PROPOSED CONDITIONS:**  
As shown by the Plan, the project consists of the development of the property into a commercial warehouse. Concrete pads, landscaping, and drainage improvements will be constructed as necessary to support the project. The Plan shows the elevations required to properly grade and construct the recommended improvements. The direction of the drainage flows are given by flow arrows.

The plan delineates the general runoff flow around the warehouse. The plan also delineates Basin 'A' and 'B'. Basin 'A' will discharge into Fifth St and Basin 'B' into Sixth St. The plan shows a proposed water block to split the on-site flows to the east and south. The site is graded such that flows from either direction will exit the site via proposed driveways. Runoff will then flow south on Sixth St to an existing drop inlet and will also flow south east on Fifth St to another existing drop inlet. The drop inlet on Sixth St is approximately 100 feet from the southwest property corner and the drop inlet on Fifth St is approximately 400 feet south. Drainage patterns are not being changed, thus an inflit site.

**CALCULATIONS:**  
The calculations contained herein define the 100-year/6-hour and 10-day design storms falling within the project area under existing and developed conditions. The hydrology is per "Chapter 22, Development Process Manual, Vol. 2", 1997 revision. Calculations are provided to demonstrate the capacity and function of all proposed storm drainage infrastructures.

- DRAINAGE PLAN NOTES**
1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
  2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
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PROJECT HYDROLOGY								
Chaparral Electric Warehouse								
ZONE:		2						
P <sub>6</sub> HOUR		2.35						
P <sub>10</sub> DAY		3.95						
UNDEVELOPED:								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE (LOTS 6 & 7)	0.35	0.00	0.00	0.32	0.03	1.21	1.15	0.035
DEVELOPED (PROPOSED):								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE (LOTS 6 & 7)	0.35	0.00	0.02	0.05	0.28	1.90	1.52	0.055

**CHAPARRAL WAREHOUSE**  
**GRADING & DRAINAGE PLAN**

**BRASHER & LORENZ**  
**CONSULTING ENGINEERS**  
2201 San Pedro NE Building 1 Suite 220  
Albuquerque, New Mexico 87110  
Ph: 505-888-6088 Fax: 505-888-6188

**PAUL T. BRASHER**  
NEW MEXICO  
7282  
REGISTERED PROFESSIONAL ENGINEER

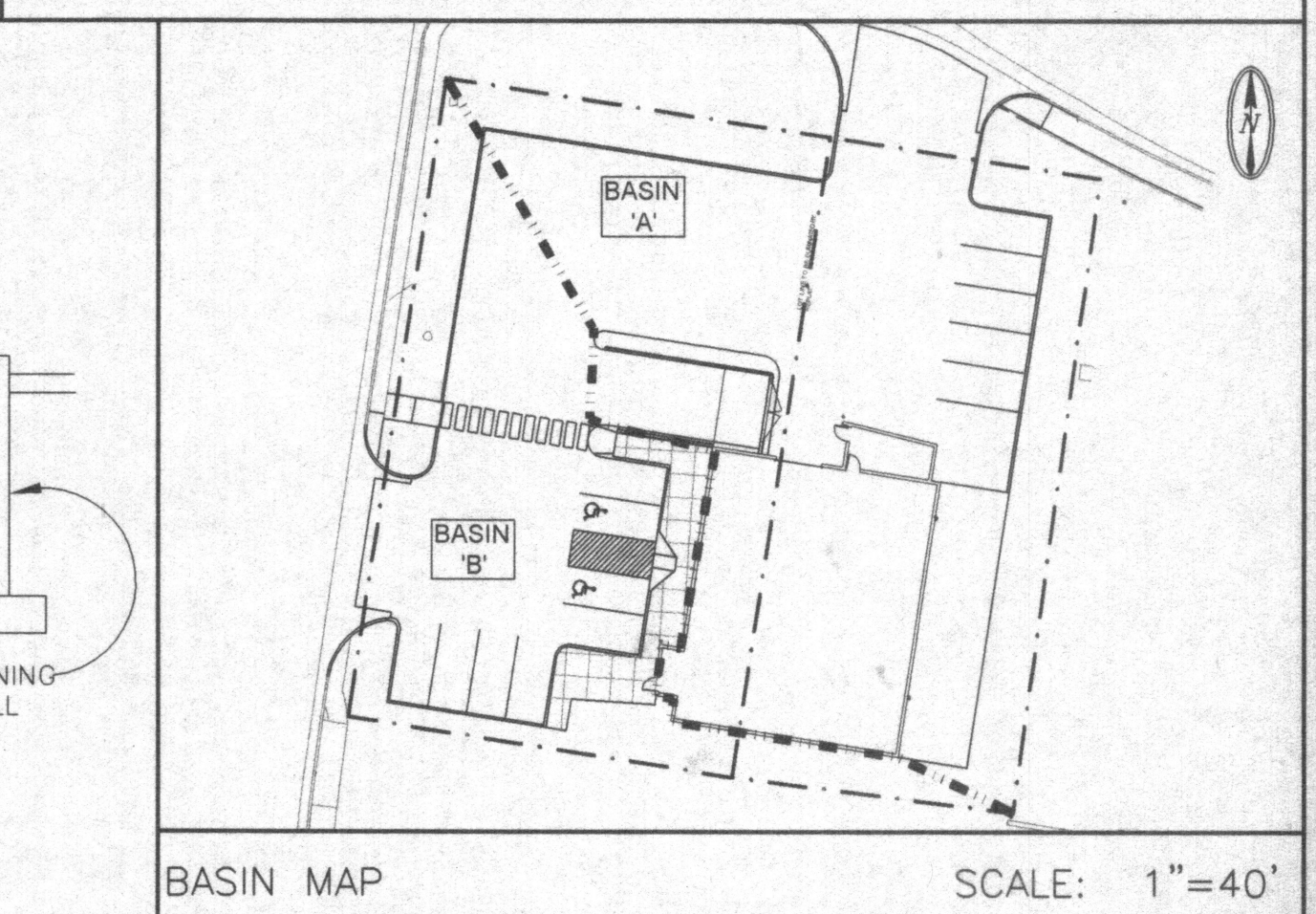
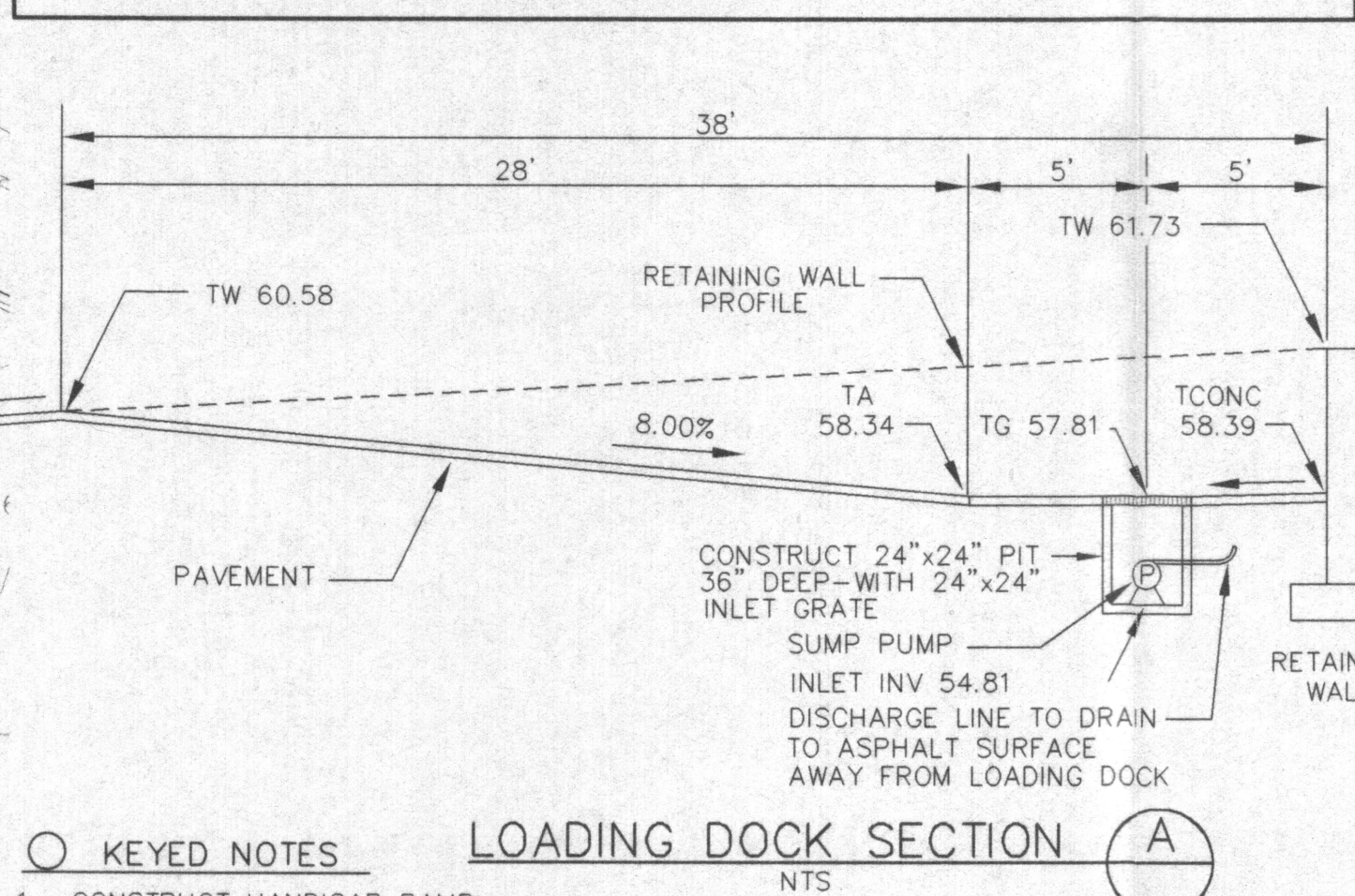
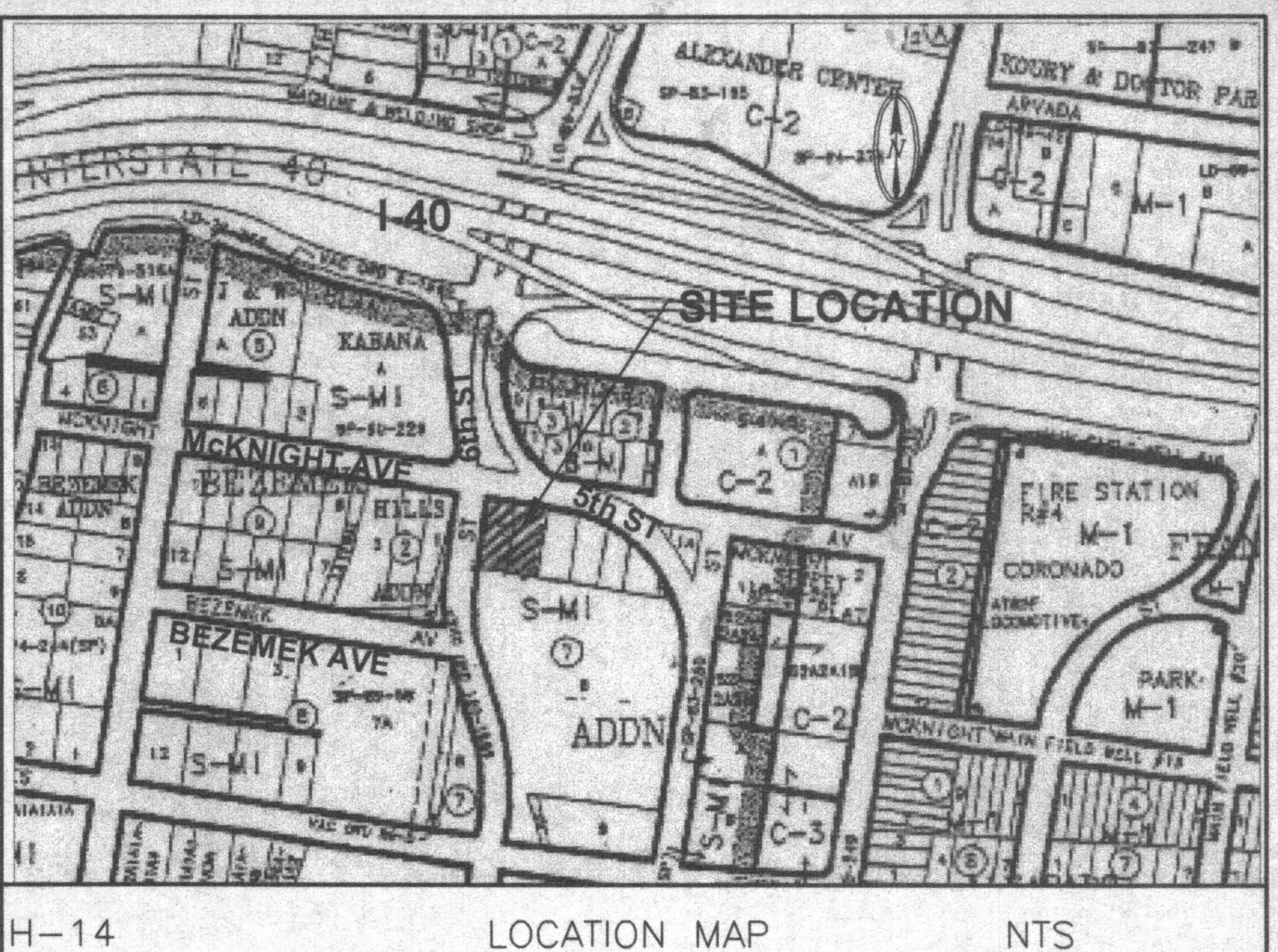
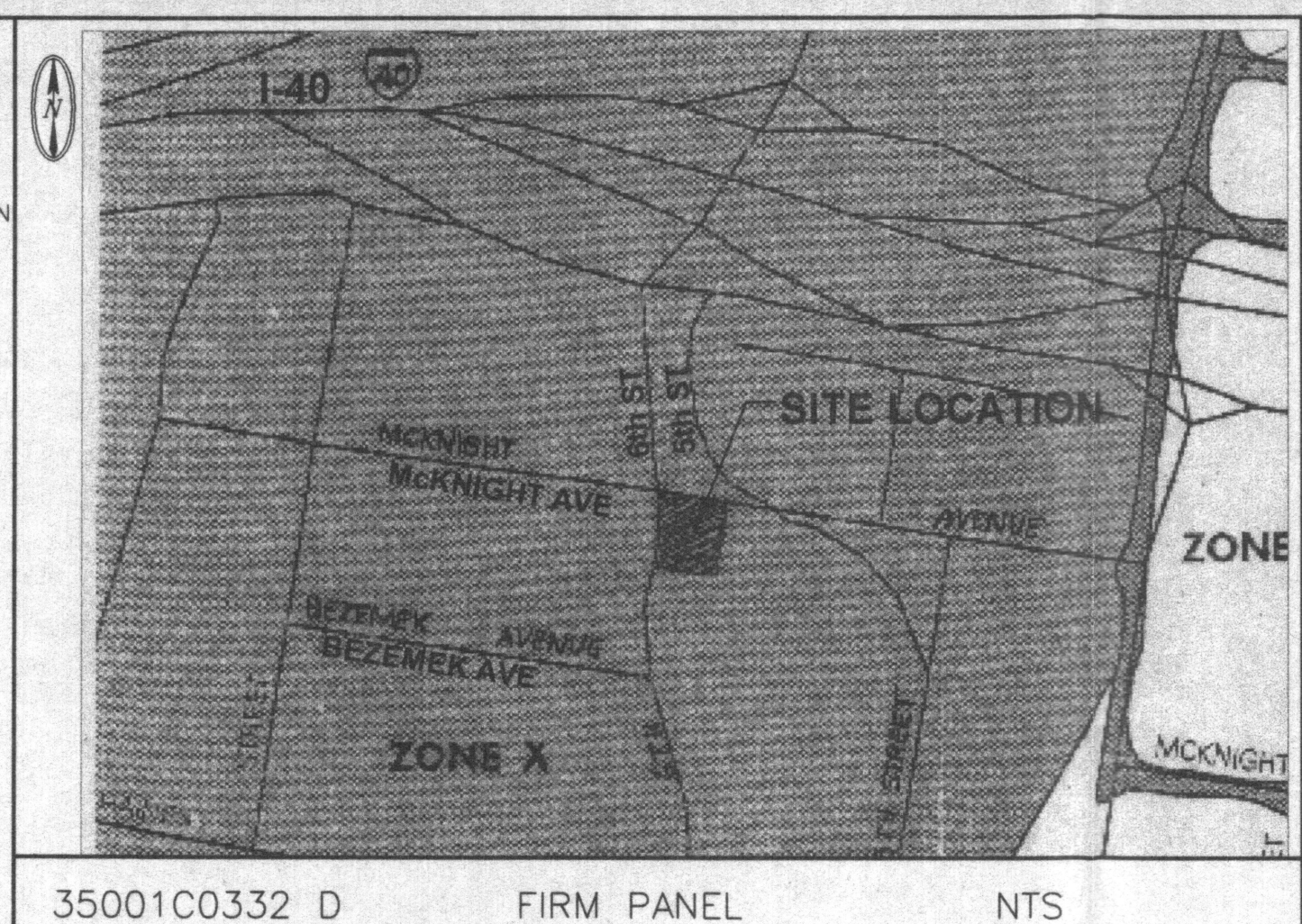
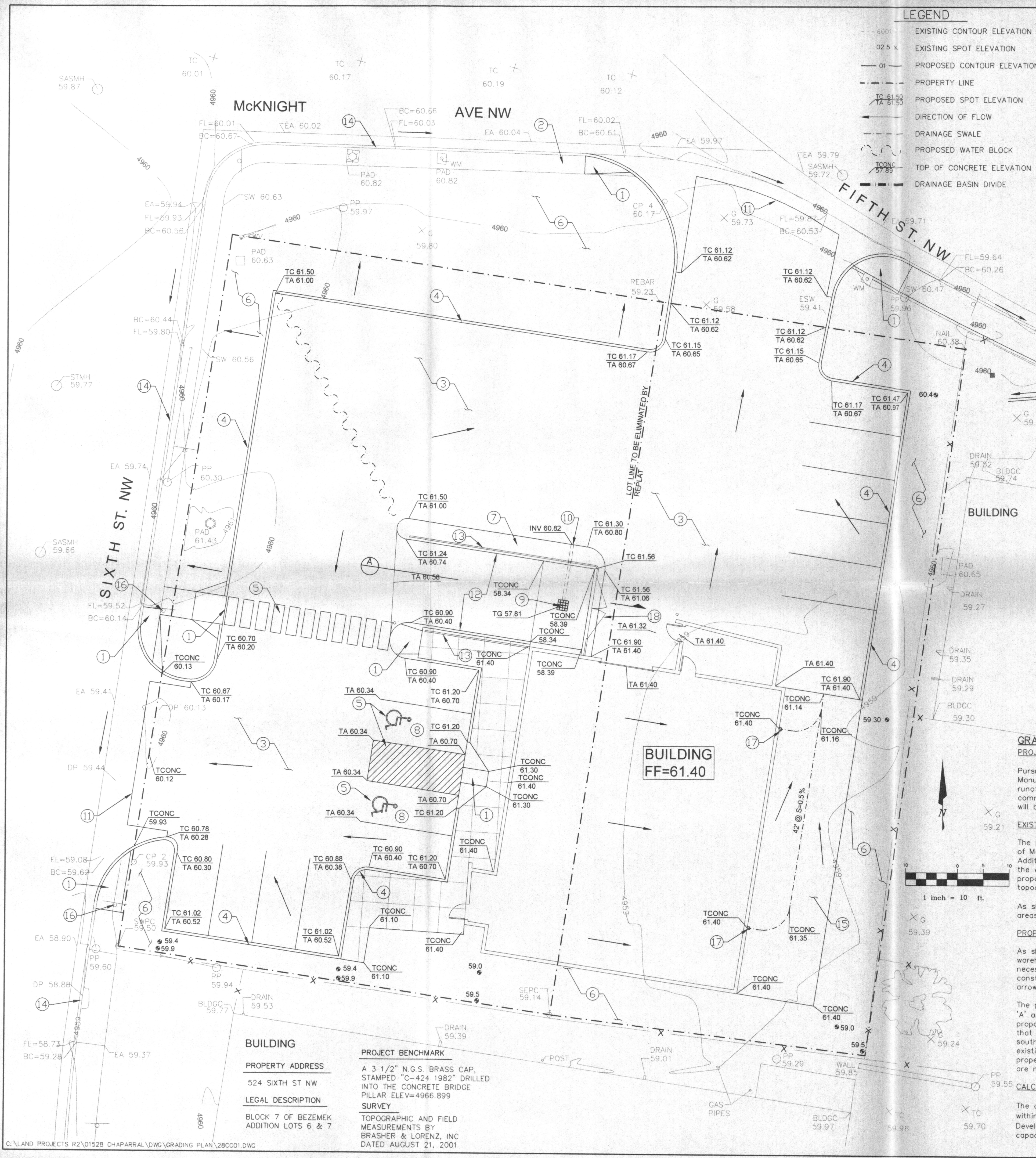
**DRAWN BY:** LAN  
**CHECKED BY:** D.A.L.  
**FILE:** 28CG01.DWG

**DATE:** SEPTEMBER, 2001  
**SHEET 1 OF 1**









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- LOADING DOCK SECTION A**
- KEYED NOTES (CONT'D)**
13. HANDRAIL - SEE ARCHITECTURAL SITE PLAN
  14. EXISTING STANDARD C & G
  15. CONSTRUCT 15'x60' CONCRETE PAD BY OTHERS
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**GRADING AND DRAINAGE PLAN**

**PROJECT DESCRIPTION:**

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Drainage Report outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the development of the property into a commercial warehouse. Concrete driveways, landscaping, utility, grading, and drainage improvements will be provided to support the project.

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PROJECT HYDROLOGY								
Chaparral Electric Warehouse								
ZONE:	2							
P <sub>100</sub> YEAR	2.35							
P <sub>10</sub> DAY	3.95							
UNDEVELOPED:								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE (LOTS 6 & 7)	0.35	0.00	0.00	0.32	0.03	1.21	1.15	0.035
DEVELOPED (PROPOSED):								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE (LOTS 6 & 7)	0.35	0.00	0.02	0.05	0.28	1.90	1.52	0.055

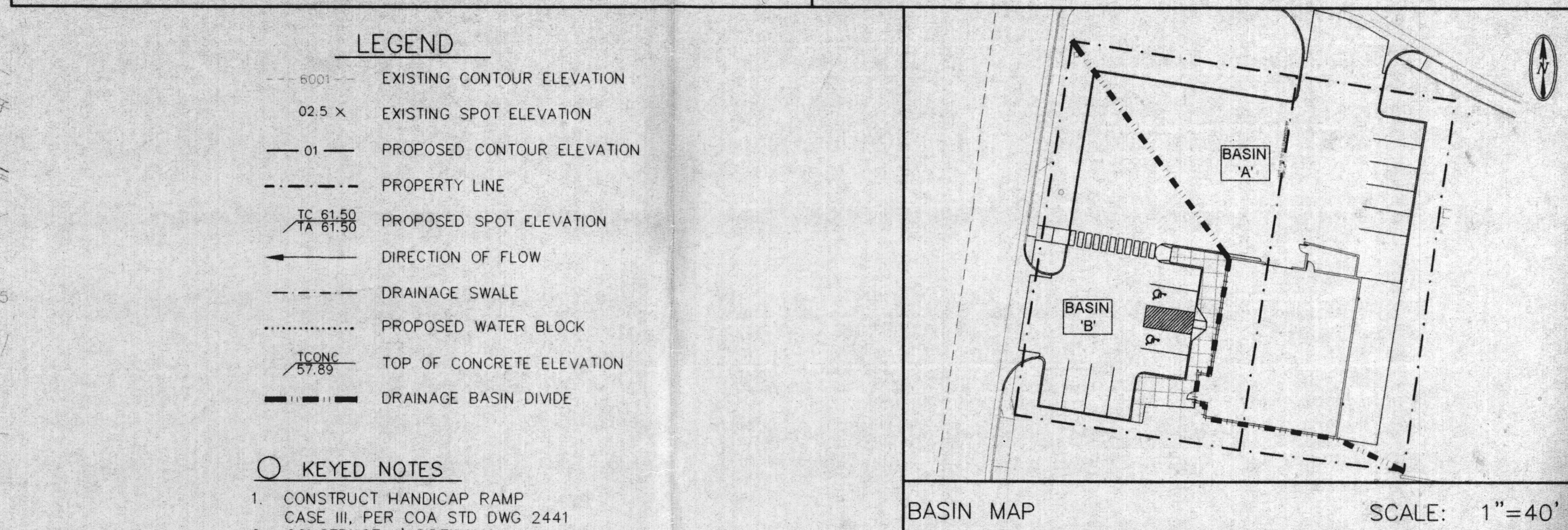
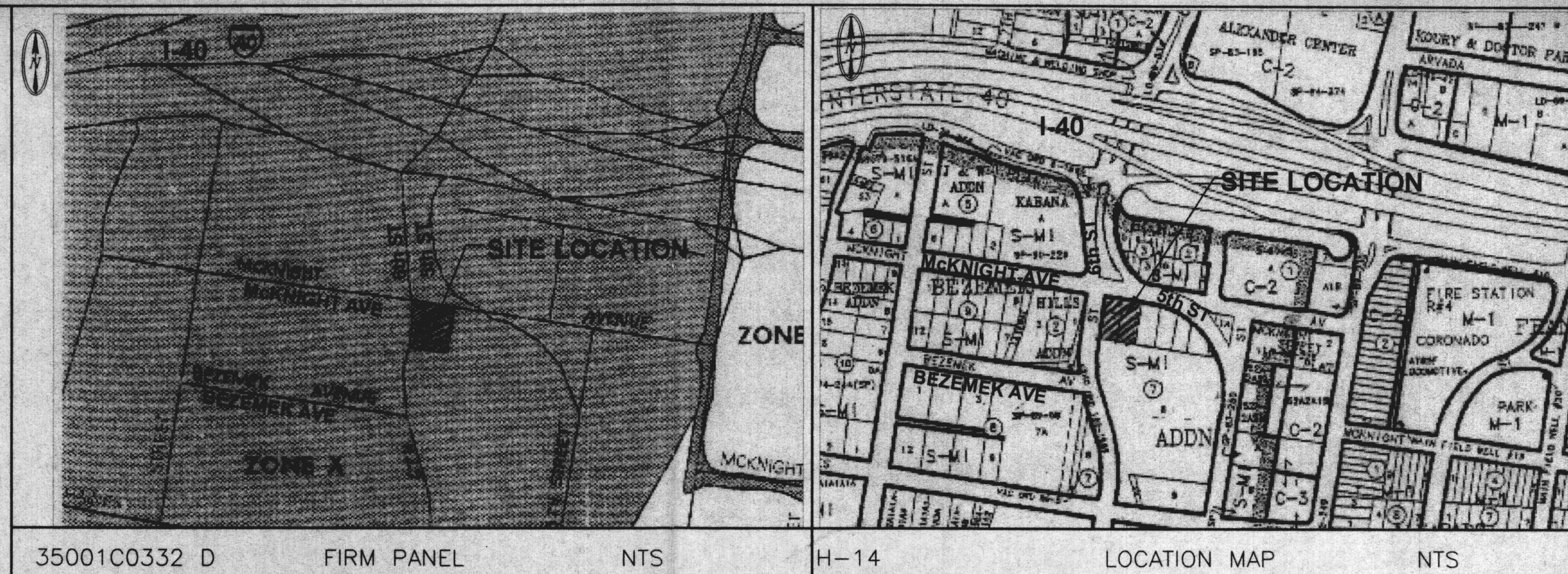
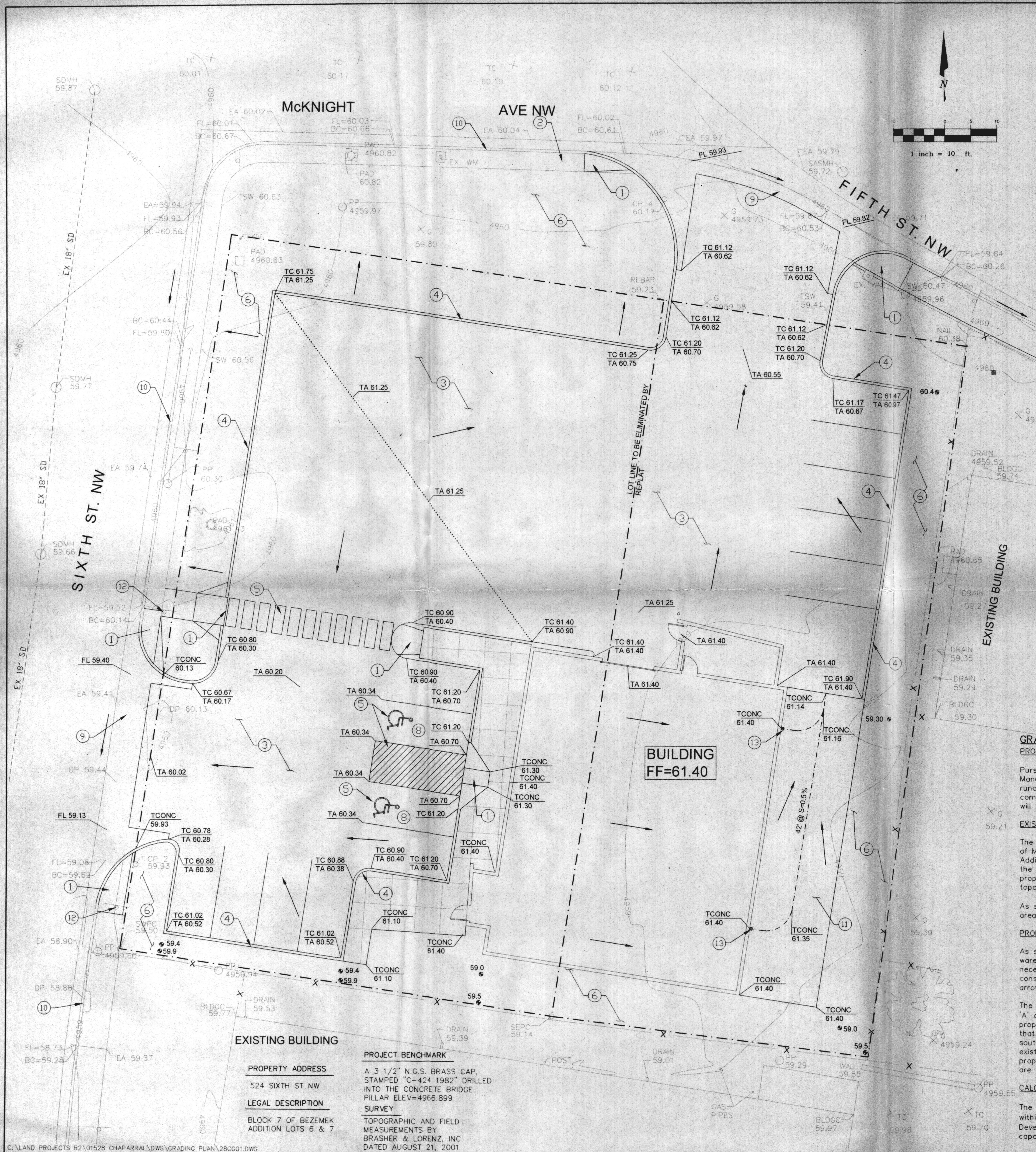
## CHAPARRAL WAREHOUSE

### GRADING & DRAINAGE PLAN

**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 220  
Albuquerque, New Mexico 87110  
Ph: 505-888-6088 Fax: 505-888-6188

DRAWN BY: LAN	DATE: SEPTEMBER, 2001
CHECKED BY: D.A.L.	
FILE: 28C001.DWG	SHEET 1 OF 1





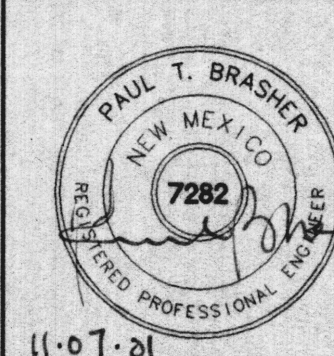
- LEGEND**
- 6001 - EXISTING CONTOUR ELEVATION
  - 02.5 x - EXISTING SPOT ELEVATION
  - 01 - PROPOSED CONTOUR ELEVATION
  - - PROPERTY LINE
  - TC 61.50 - PROPOSED SPOT ELEVATION
  - - DIRECTION OF FLOW
  - - DRAINAGE SWALE
  - - PROPOSED WATER BLOCK
  - TC 61.50 - TOP OF CONCRETE ELEVATION
  - - DRAINAGE BASIN DIVIDE
- KEYED NOTES**
1. CONSTRUCT HANDICAP RAMP CASE III, PER COA STD DWG 2441
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PROJECT HYDROLOGY									
Chaparral Electric Warehouse									
ZONE:	2								
P10 HOUR	2.35								
P10 DAY	3.95								
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
SITE (LOTS 6 & 7)	0.35	0.00	0.00	0.32	0.03	1.21	1.15	0.035	
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BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
SITE (LOTS 6 & 7)	0.35	0.00	0.02	0.05	0.28	1.90	1.52	0.055	

REVISION NO. 1. REMOVED DOCK. DAL 11-07-2001

## CHAPARRAL WAREHOUSE

### GRADING & DRAINAGE PLAN



### BRASHER & LORENZ

#### CONSULTING ENGINEERS

2201 San Pedro NE Building 1 Suite 220  
Albuquerque, New Mexico 87110  
Ph: 505-888-6088 Fax: 505-888-6188

DRAWN BY: LAN  
CHECKED BY: D.A.L.  
FILE: 28C001.DWG  
DATE: SEPTEMBER, 2001  
NOV 15 2001  
HYDROLOGY SECTION



I, the undersigned, being a Professional Engineer in the State of New Mexico, do hereby certify that the as-built information shown hereon is based on actual field measurements and visual inspections performed by Brasher and Lorenz, Inc. I further certify that the as-built condition of the site as of March 22, 2002 is in substantial compliance with the approved Grading and Drainage Plan prepared by Brasher & Lorenz, Inc., dated November 7, 2001. This certification is limited to on-site grading and drainage improvements and does not extend to the structural integrity of the materials used or the workmanship of the contractor. Any future modifications to the site improvements shall render this certification null and void.

Steven K. Morrow / NMPE 13679

3/26/02  
Date

McKNIGHT

AVE NW

FIFTH ST. NW

SIXTH ST. NW

BUILDING  
FF=61.40  
61.39

EXISTING BUILDING

PROPERTY ADDRESS  
524 SIXTH ST NW

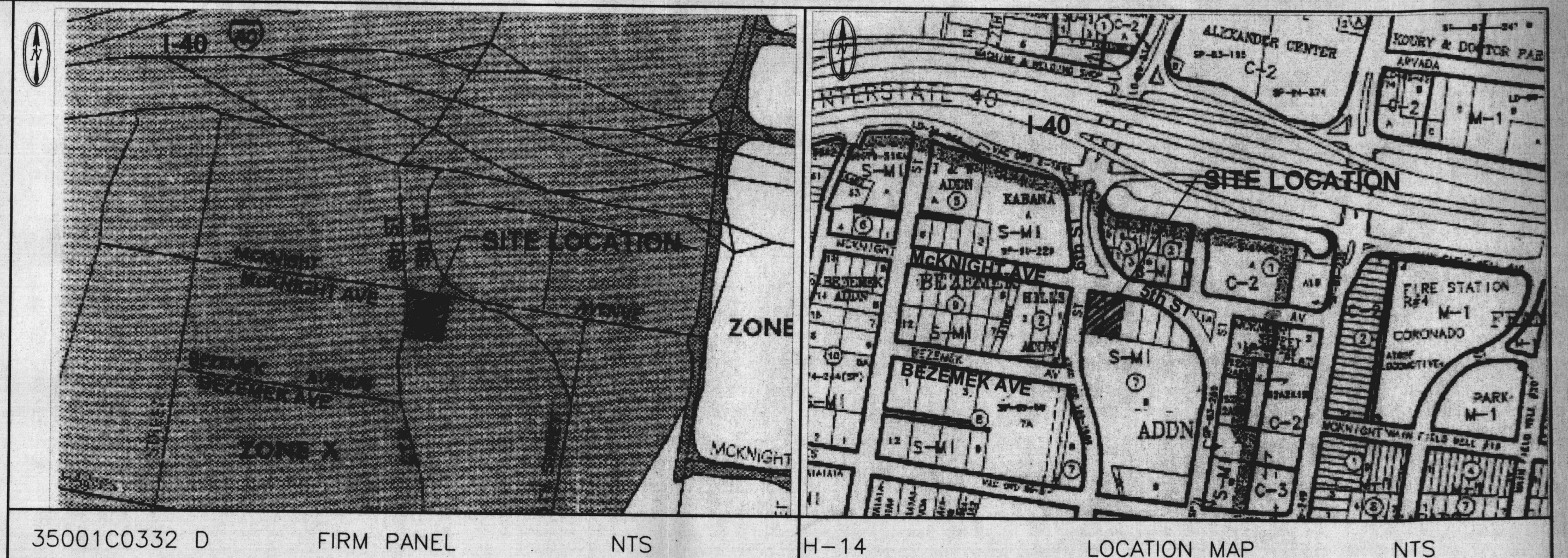
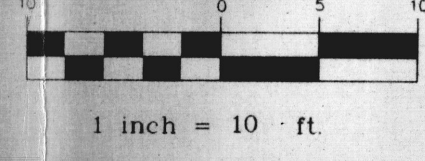
LEGAL DESCRIPTION  
BLOCK 7 OF BEZEMEK  
ADDITION LOTS 6 & 7

PROJECT BENCHMARK

A 3 1/2" N.G.S. BRASS CAP,  
STAMPED "C-424 1982" DRILLED  
INTO THE CONCRETE BRIDGE  
PILLAR ELEV=4966.899

SURVEY

TOPOGRAPHIC AND FIELD  
MEASUREMENTS BY  
BRASHER & LORENZ, INC  
DATED AUGUST 21, 2001



35001C0332 D FIRM PANEL NTS H-14 LOCATION MAP NTS

### LEGEND

- 6001 EXISTING CONTOUR ELEVATION
- 02.5 x EXISTING SPOT ELEVATION
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- DRAINAGE SWALE
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- CONSTRUCT ACCESSABLE PARKING SPACES AT 2% SLOPE MAX. IN ALL DIRECTIONS
- R & D EXISTING CONCRETE C & G CONSTRUCT VALLEY GUTTER PER COA STD DWG 2420 EXISTING DRIVEPAD REMAINS (STD CITY DRIVEPAD)
- EXISTING STANDARD C & G
- CONSTRUCT 15'x60' CONCRETE PAD BY OTHERS
- SIGN TO BE RELOCATED
- PROPOSED ROOF DRAIN LOCATIONS SEE ARCHITECTURAL PLANS
- CURB NOT CONSTRUCTED
- RAMP NOT CONSTRUCTED BECAUSE EXISTING DRIVEPAD REMAINS
- CMU WALL NOT CONSTRUCTED
- NEW STANDARD 24' DRIVEPAD RAMP NOT CONSTRUCTED BECAUSE ENTRANCE WAS REPLACED BY NEW STD. COA DRIVEPAD.

### GRADING AND DRAINAGE PLAN

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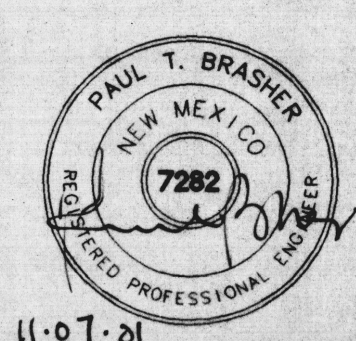
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REV. NO 2 ADDED REFUSE ENCLOSURE DAL 12-19-01								
REVISION NO 1. REMOVED DOCK DAL 11-07-2001								

## CHAPARRAL WAREHOUSE

### GRADING & DRAINAGE PLAN



**BRASHER & LORENZ**  
CONSULTING ENGINEERS

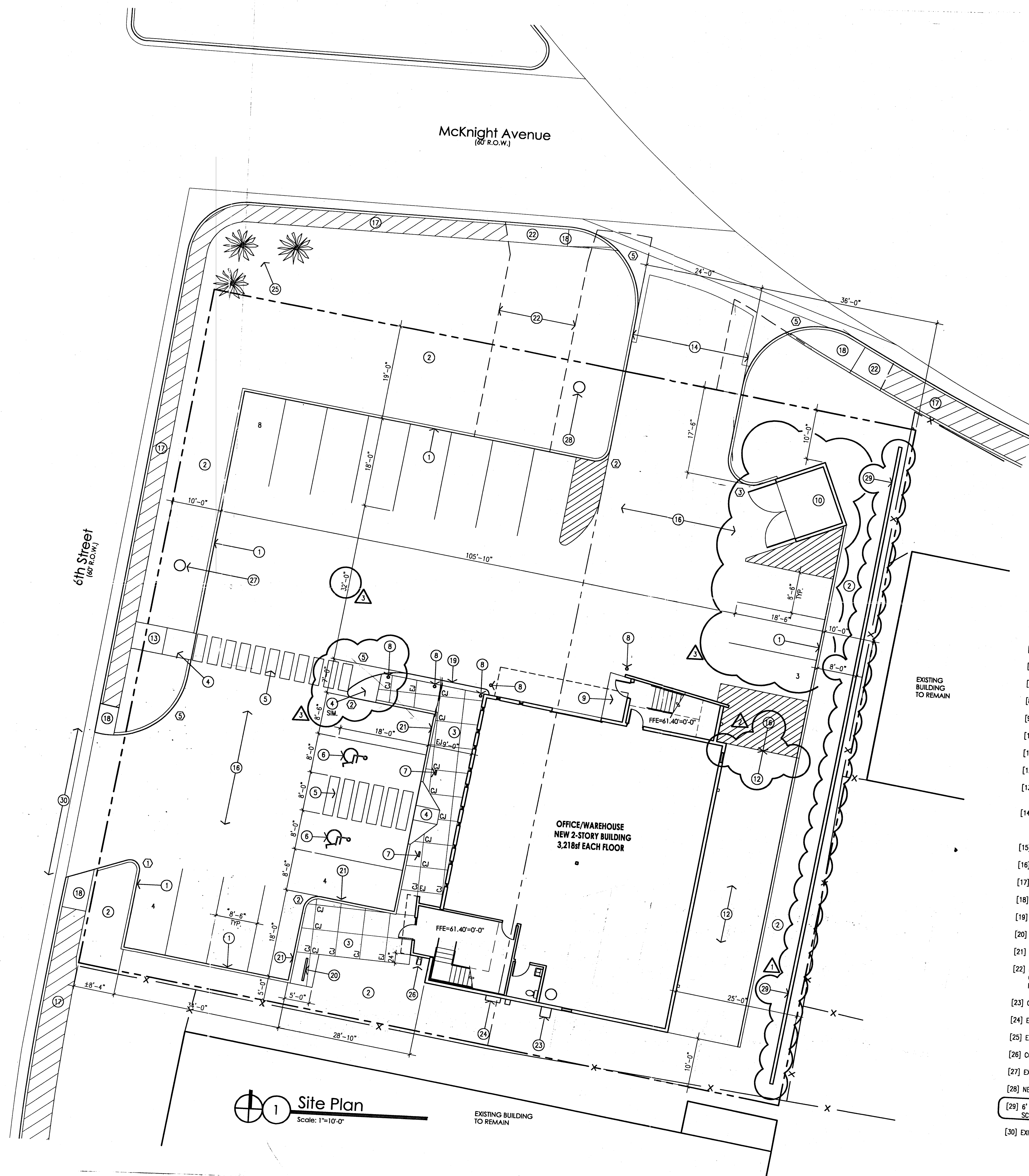
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DRAWN BY: LAN  
CHECKED BY: D.A.L.  
FILE: 28CG01.DWG

DATE: SEPTEMBER, 2001  
SHEET 1 OF 1  
MAR 26 2002

HYDROLOGY SECTION





#### KEYED NOTES

- [1] NEW CONCRETE CURB, TYPICAL. SEE 10/A102
- [2] LANDSCAPE BUFFER. SEE LANDSCAPE PLAN
- [3] CONCRETE SIDEWALK. SEE 7/A102. SEE 11,12/A102 FOR EXPANSION JOINT AND CONTROL JOINT DETAILS
- [4] HC RAMP. SEE 4/A102
- [5] HC AISLE STRIPING. SEE 5/A102
- [6] HC PAVEMENT SIGN. SEE 2/A102
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#### LEGAL DESCRIPTION

BLOCK 7 OF BEZEMEK ADDITION LOTS 6 AND 7

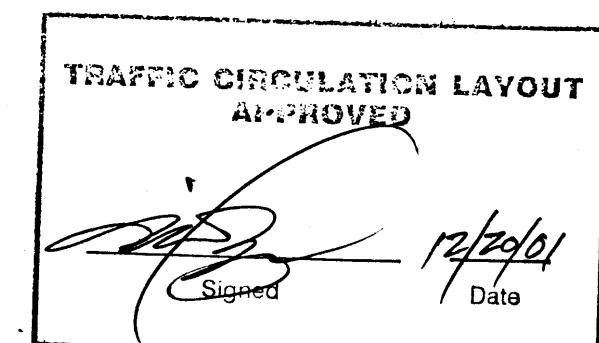
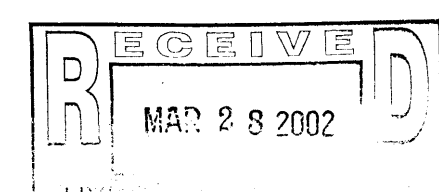
#### PARKING CALCULATIONS

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WAREHOUSE: 2,567 NEW SF/500 = 9

TOTAL PARKING REQUIRED = 19 SPACES  
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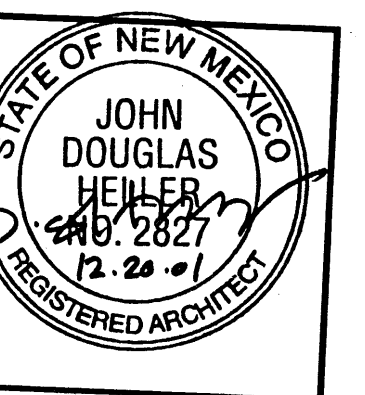


revision	by	date	rev
PER C.O.A. TRANSPORTATION REVIEW	JDH	12/20/01	1
PER ARCHITECT'S REVIEW	JDH	12/10/01	2
PER CITY REVIEW	JDH	12/10/01	3



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Architecture P.C.

1104 Hermosa Drive SE  
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505 268 4244 (f)



job number	01-26
drawn by	JDH
project manager	Douglas Heller
date	November 6, 2001

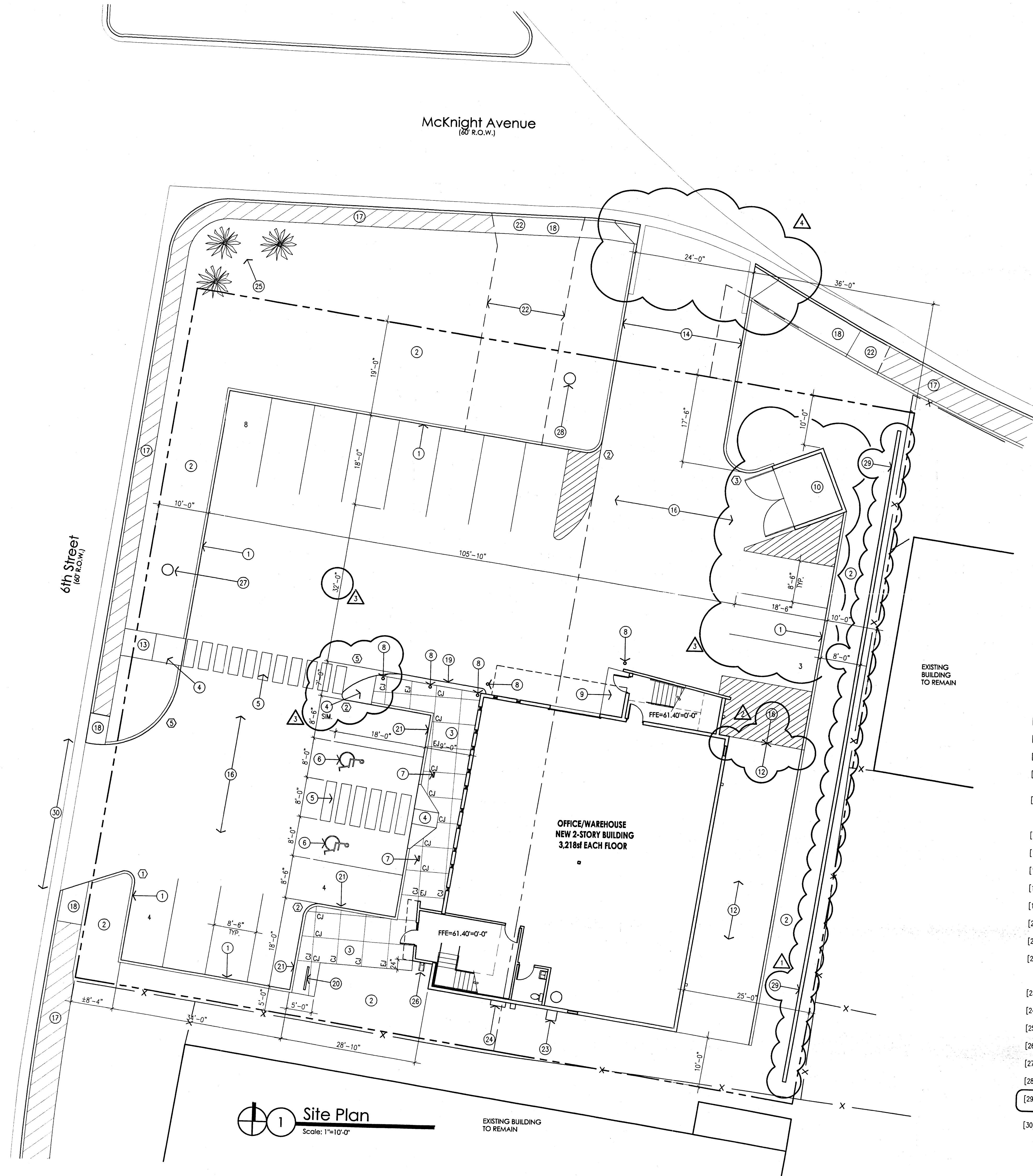
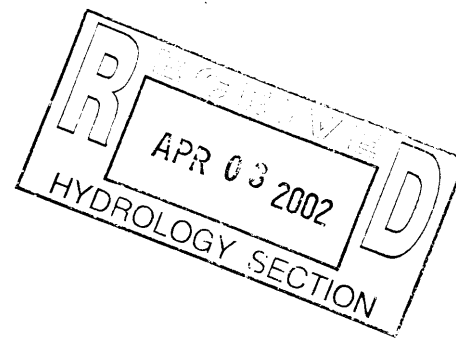
project file  
**Chaparral Electric Warehouse**  
524 McKnight Avenue NW  
Albuquerque, NM

sheet file  
**Site Plan**

sheet-

A101





1 Site Plan  
Scale: 1"=10'-0"

EXISTING BUILDING  
TO REMAIN

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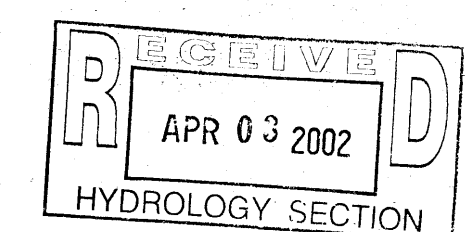
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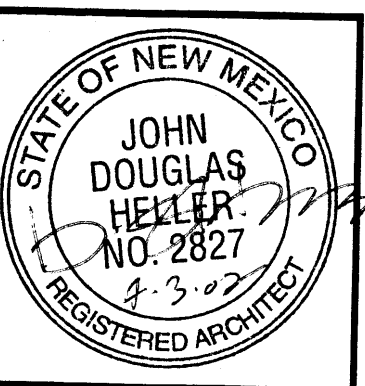
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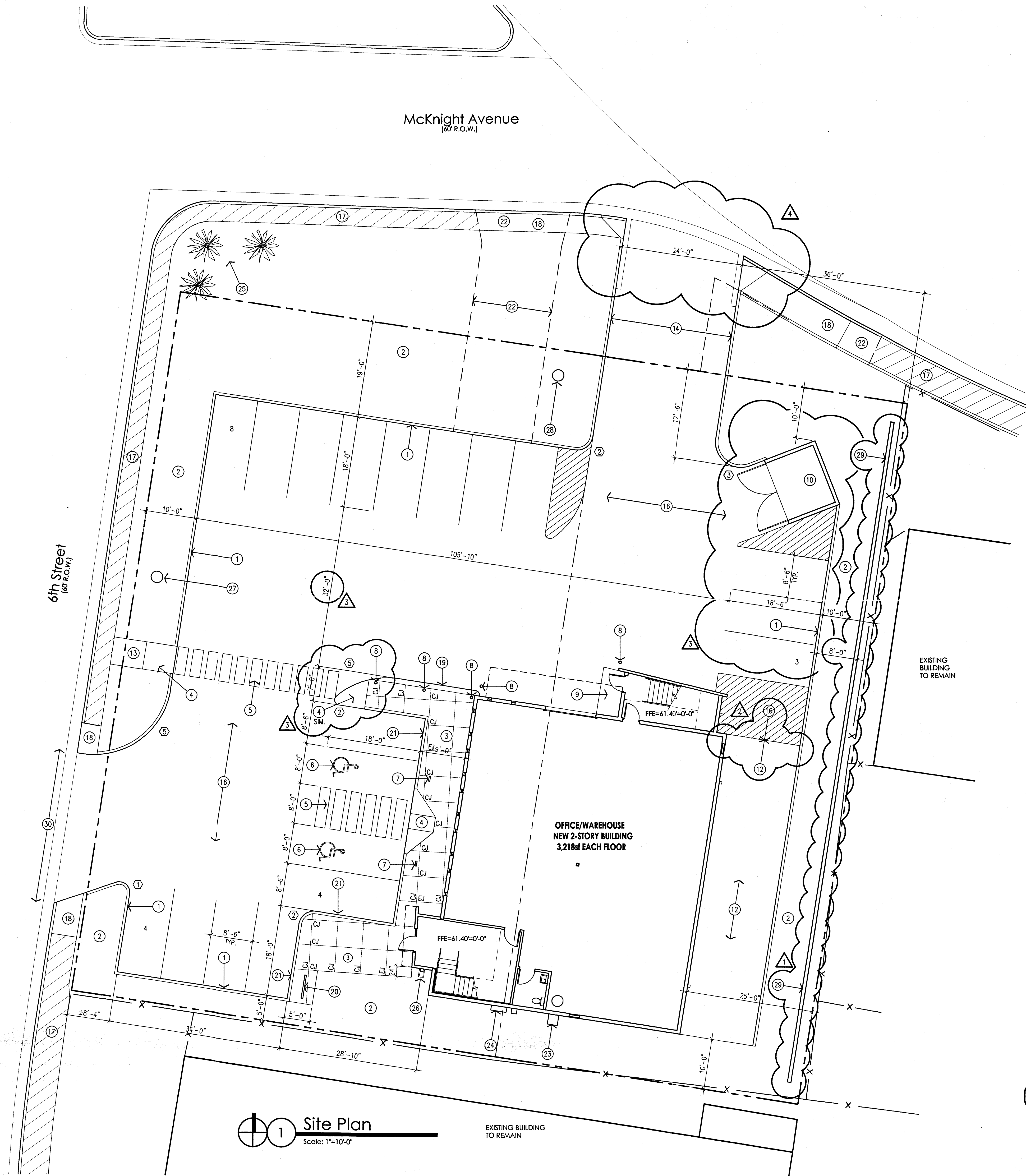
job number	0128
drawn by	JDH
project manager	Douglas Heller
date	November 6, 2001

project title  
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524 McKnight Avenue NW  
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sheet title  
**As-Built Site Plan**

sheet-

A101





**1 Site Plan**  
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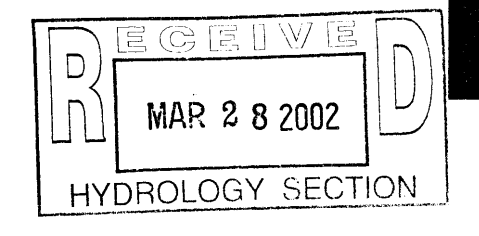
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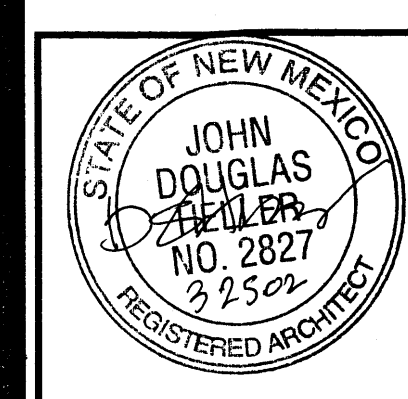
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GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL / LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

ABBREVIATIONS

A = AIR LINE	FG = FINISHED GRADE	R/W = RIGHT-OF-WAY
AD = AREA DRAIN	FH = FIRE HYDRANT	S = SLOPE
AIP = ABANDONED IN PLACE	FL = FLOW LINE	SAS = SANITARY SEWER
BLDG = BUILDING	G = GAS PPE	SD = STORM DRAIN
BM = BENCHMARK	GM = GAS METER	STA = STATION
CATV = CABLE TELEVISION LINE	GV = GATE VALVE	STD = STANDARD
CIP = CAST IRON PIPE	HI PT = HIGH POINT	SW = SIDEWALK
CMP = CORRUGATED METAL PIPE	INV = INVERT ELEVATION	T = TELEPHONE
CMPA = CORRUGATED METAL PIPE ARCH	LF = LINEAL FEET	TA = TOP OF ASPHALT PAVEMENT
CO = CLEANOUT	LP = LIGHT POLE	TAC = TOP OF ASPHALT CURB
COA = CITY OF ALBUQUERQUE	L/S = LANDSCAPING	TC = TOP OF CONCRETE SLAB (PAVEMENT)
CONC = CONCRETE	MH = MANHOLE	TCC = TOP OF CONCRETE CURB
CL = CENTERLINE	NG = NATURAL GROUND	TG = TOP OF GRATE
DIA = DIAMETER	OE = OVERHEAD ELECTRIC LINE	TS = TOP OF SIDEWALK
DIP = DUCTILE IRON PIPE	OT = OVERHEAD TELEPHONE LINE	TW = TOP OF WALL
DTL = DETAIL	PB = ELECTRICAL PULL BOX	TYP = TYPICAL
DWG = DRAWING	PCC = PORTLAND CEMENT CONCRETE	TB = TELEPHONE BOX
E = ELECTRIC LINE	PP = POWER POLE	UE = UNDERGROUND ELECTRIC
ELEC. = ELECTRIC	PROP = PROPOSED	UT = UNDERGROUND TELEPHONE
ELEV = ELEVATION	PVC = POLYVINYL CHLORIDE PIPE	W = WATER
EX = EXISTING	RCP = REINFORCED CONCRETE PIPE	WM = WATER METER
FF = FINISHED FLOOR ELEVATION	RD = ROOF DRAIN	WV = WATER VALVE

SO-19 FORM

NOTICE TO CONTRACTOR

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED WITHIN THE CITY RIGHT-OF-WAY SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH C.O.A. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER SERVED.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☐ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☐ BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☐ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED, INSPECTED AND APPROVED PRIOR TO FINAL ACCEPTANCE.

APPROVALS	ENGINEERS	DATE	
<del>ACE</del> /DESIGN			
INSPECTOR			
<del>ACE</del> /FIELD			

LEGEND

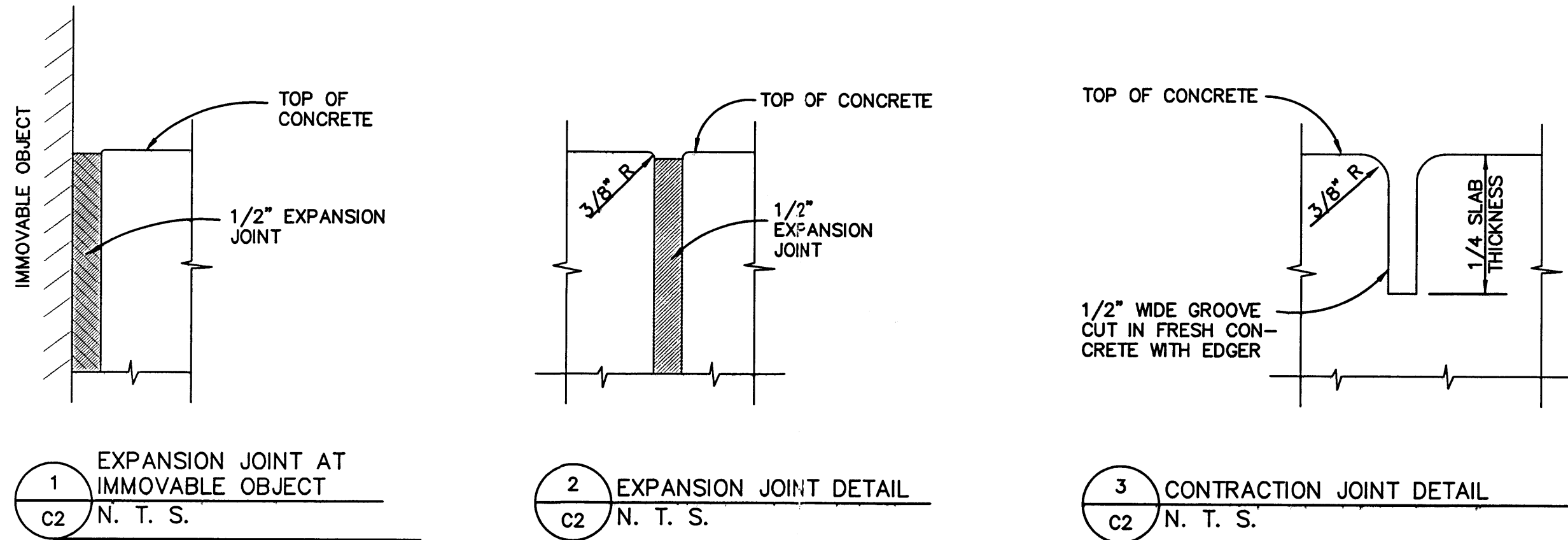
FND. CHIS. +	→	DOWN GUY	GM	GAS METER	■	EX SD INLET
o NS	☆	LIGHT POLE	CH	EX FIRE HYDRANT	■	PROP SD INLET
o	□	UTILITY PEDESTAL	●	PROP FIRE HYDRANT	CONCRETE	
△	—OH—	OVERHEAD UTILITY	W	EX WATER VALVE	STOP	EX STOP SIGN
c/c	—W-S-G-E—	UTILITY (WATER, SEWER, ELEC., GAS, ETC.)	W	PROP WATER VALVE	⊙	EX WATER METER
36.74	— — — —	FIBER OPTIC COMMUNICATION 4" CONDUIT	⊙	EX SD MANHOLE	⊙	PROP WATER METER
36.74	□ TP	TELEPHONE RISER	o	PROP SD MANHOLE	→	INGRESS/EGRESS
—5160—	o FP	FLAG POLE	⊙	EX SAS MANHOLE	⊙	PROPOSED TREE
⚡	o V	VENT	●	PROP SAS MANHOLE	●	EXIST. TREE

CIVIL GENERAL NOTES  
CHAPARRAL ELECTRIC CO., INC WAREHOUSE  
ALBUQUERQUE, NEW MEXICO

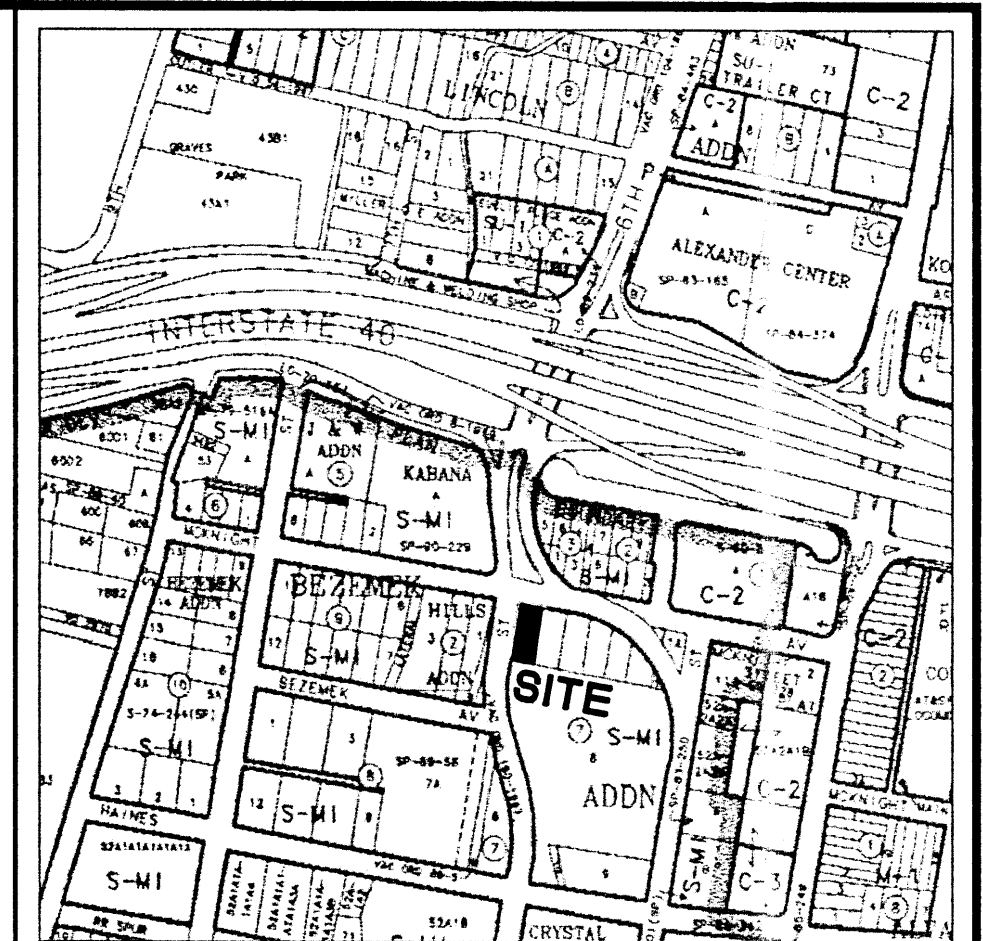
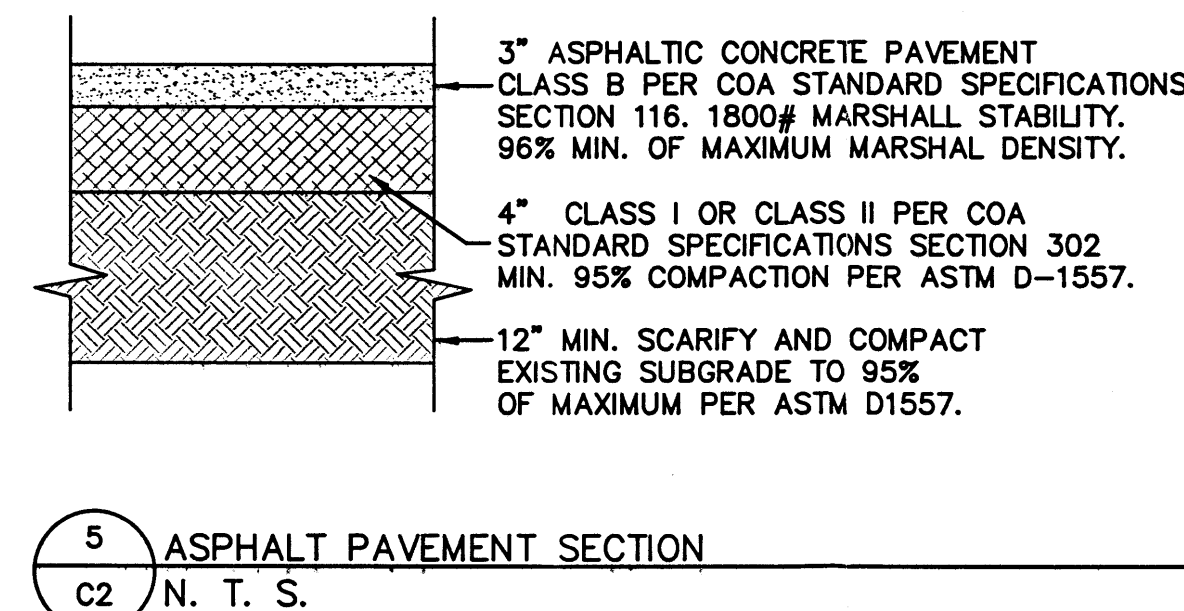
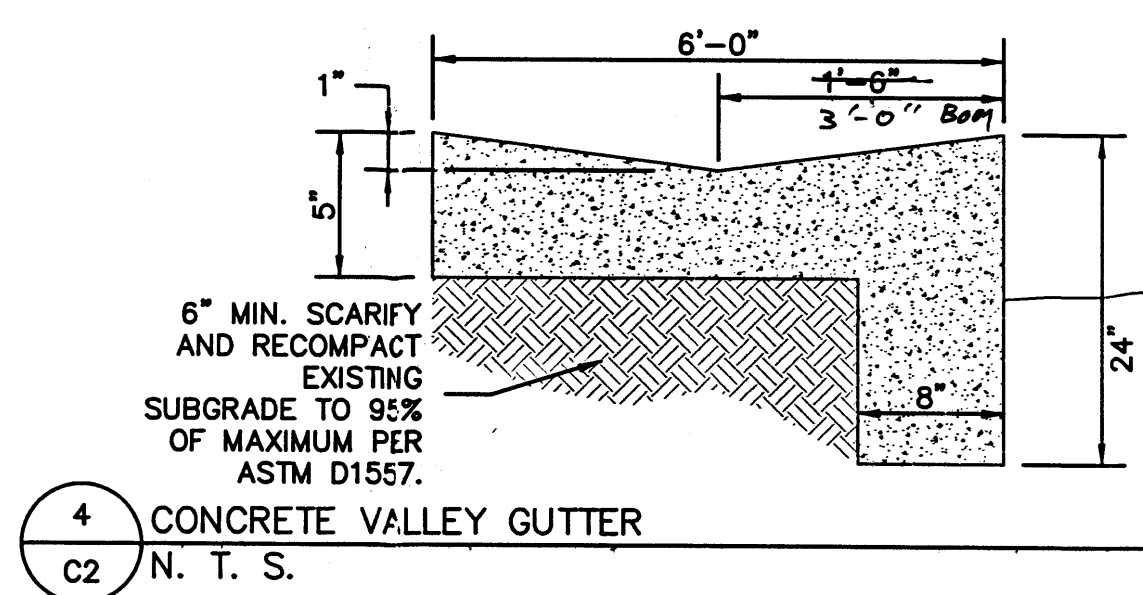


REVISION	DATE	DESCRIPTION
FILE NAME: GRADE 12/18/00		SHEET C1 of 2





- CONSTRUCTION NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMOVABLE OBJECTS AND AT PERPENDICULAR CURBS PER DETAIL THIS SHEET
  2. PROVIDE CONTRACTION JOINTS @ 6' O.C. PER DETAIL THIS SHEET



VICINITY MAP H-14

## LEGAL DESCRIPTION

LOT 7, BLOCK 7, BEZEMEK ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

## ACS BENCHMARK

ACS MONUMENT "24-J14", LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF FOURTH STREET AND CONSTITUTION AVENUE, ELEVATION = 4958.37.

## SURVEY NOTES

FIELD SURVEY BY: CARTESIAN SURVEYS  
P.D. BOX 44414  
RIO RANCHO, NM 87174

SURVEY DATE: DEC. 2000  
PHONE: (505) 896-3050  
FAX: (505) 891-0244

THE RECORD INFORMATION SHOWN HEREON WAS FROM THE PLAT ENTITLED "PLAT OF BLOCK 7, BEZEMEK ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO", FILED APRIL 23, 1943 IN VOLUME D, FOLIO 24.

LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION SUPPLIED TO THE SURVEYOR OR ENGINEER BY THE APPROPRIATE UTILITY COMPANIES. NEITHER THE ENGINEER NOR SURVEYOR GUARANTEES THESE LOCATIONS NOR THE FACT THAT SOME UTILITIES MIGHT BE LEFT OUT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.

THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE OWNER AS SUCH.

## FLOODPLAIN

THE PROPERTY SHOWN HEREON LIES WITHIN ZONE X (AREAS OF 500 YEAR FLOOD) PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 35001C0332 D; EFFECTIVE DATE SEPTEMBER 20, 1996 AS SHOWN ON THIS SHEET.

# DRAINAGE REPORT AND TRAFFIC CIRCULATION LAYOUT

## TRAFFIC CIRCULATION LAYOUT

THE PROPOSED DEVELOPMENT IS A STORAGE WAREHOUSE FOR CHAPARRAL ELECTRIC CO., INC. WHOSE PRIMARY BUSINESS IS LOCATED ACROSS THE STREET AT THE SOUTHWEST CORNER OF 6TH STREET AND MCKNIGHT AVENUE. THEREFORE, THE PARKING REQUIREMENTS FOR THE BUSINESS HAVE BEEN ADDRESSED ON THE ADJACENT SITE. THIS SITE IS STRICTLY FOR THE USE OF ITS EMPLOYEES AS THEY ENGAGE IN ACTIVITIES AROUND THE WAREHOUSE. AS A RESULT, DESIGNATED PARKING SPACES AND CIRCULATION IS NOT INCLUDED ON THIS PLAN. THERE IS AMPLE ROOM IN FRONT OF THE BUILDING TO MANEUVER SERVICE VEHICLES AND FORK LIFTS. THERE IS ALSO AN EXISTING 30 FOOT DRIVE PAD LOCATED AT THE SOUTHWEST CORNER OF THE SITE WHICH CONTINUES TO SERVE AS THE INGRESS/EGRESS POINT FOR THIS SITE. SINCE THIS IS IN LINE WITH THE LOCATION OF THE BUILDING, NO ADDITIONAL ACCESS POINTS ARE PROPOSED.

## LOCATION & DESCRIPTION

THE PROPOSED SITE IS 0.271 ACRES LOCATED AT THE SOUTHEAST CORNER OF 6TH STREET AND MCKNIGHT AVENUE, AS SHOWN ON THIS SHEET. IT IS CURRENTLY UNDEVELOPED AND HAS BEEN USED HEAVILY FOR PARKING AND OUTDOOR STORAGE. THEREFORE, IT IS HARD COMPACTED EARTH. THE PROPOSED IMPROVEMENTS FOR THIS PROJECT INCLUDES CONSTRUCTION OF A 1,600 SQUARE FOOT WAREHOUSE WITH A 15-FOOT CONCRETE APRON ALONG THE SOUTH AND WEST SIDES OF THE BUILDING. A 6-FOOT VALLEY GUTTER WILL ALSO BE CONSTRUCTED ALONG THE EAST SIDE OF THE BUILDING. OPTIONAL CONSTRUCTION WILL INCLUDE AN ASPHALT PAD FROM THE WEST PROPERTY LINE TO THE CONCRETE APRON. THIS WILL BE CONSTRUCTED ONLY IF IT IS DEEMED NECESSARY, BY THE OWNER, FOR THE OPERATION OF FORK LIFTS IN FRONT OF THE WAREHOUSE.

## FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0332 D, DATED SEPTEMBER 20, 1996 IS NOT WITHIN ANY DESIGNATED 100-YEAR FLOODPLAIN. HOWEVER, IT IS WITHIN THE ZONE X 500-YEAR FLOODPLAIN AS SHOWN ON THE FIRM PANEL ON THIS SHEET.

## METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

## PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 2 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WAS USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

## EXISTING DRAINAGE CONDITION

THE EXISTING SITE DRAINS TO THE SOUTHWEST CORNER OF THE SITE AND DISCHARGES INTO 6TH STREET, WHICH IS IMPROVED WITH A STORM DRAIN. ALL OF THE PROPERTIES ADJACENT TO THIS SITE ARE ALREADY DEVELOPED WITH MINIMAL, IF ANY, ONSITE DRAINAGE IMPROVEMENTS. CHAPARRAL ELECTRIC CO., INC. (THE OWNER/DEVELOPER OF THIS LOT) ALSO OWNS THE LOT ON THE SOUTHWEST CORNER OF THIS INTERSECTION. THEREFORE, THEY HAVE BEEN ABLE TO UTILIZE THIS VACANT LOT FOR THEIR CONSTRUCTION EQUIPMENT AND STORAGE. PAST IMPROVEMENTS TO THEIR PRIMARY OFFICE/WAREHOUSE LOT HAS BEEN APPROVED BY THE HYDROLOGY DEPARTMENT AS A TYPICAL INFILL PROJECT WITH FREE DISCHARGE TO 6TH STREET.

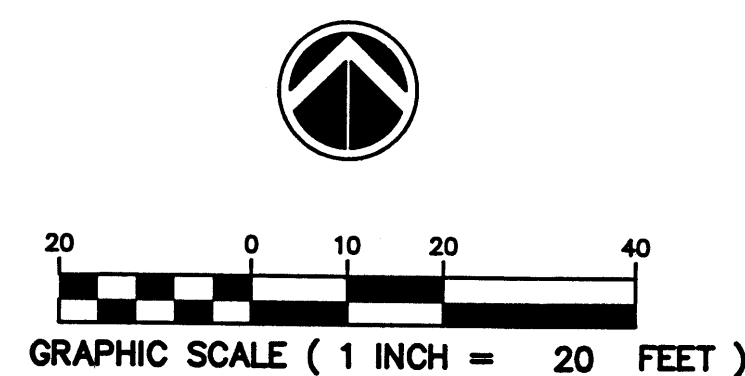
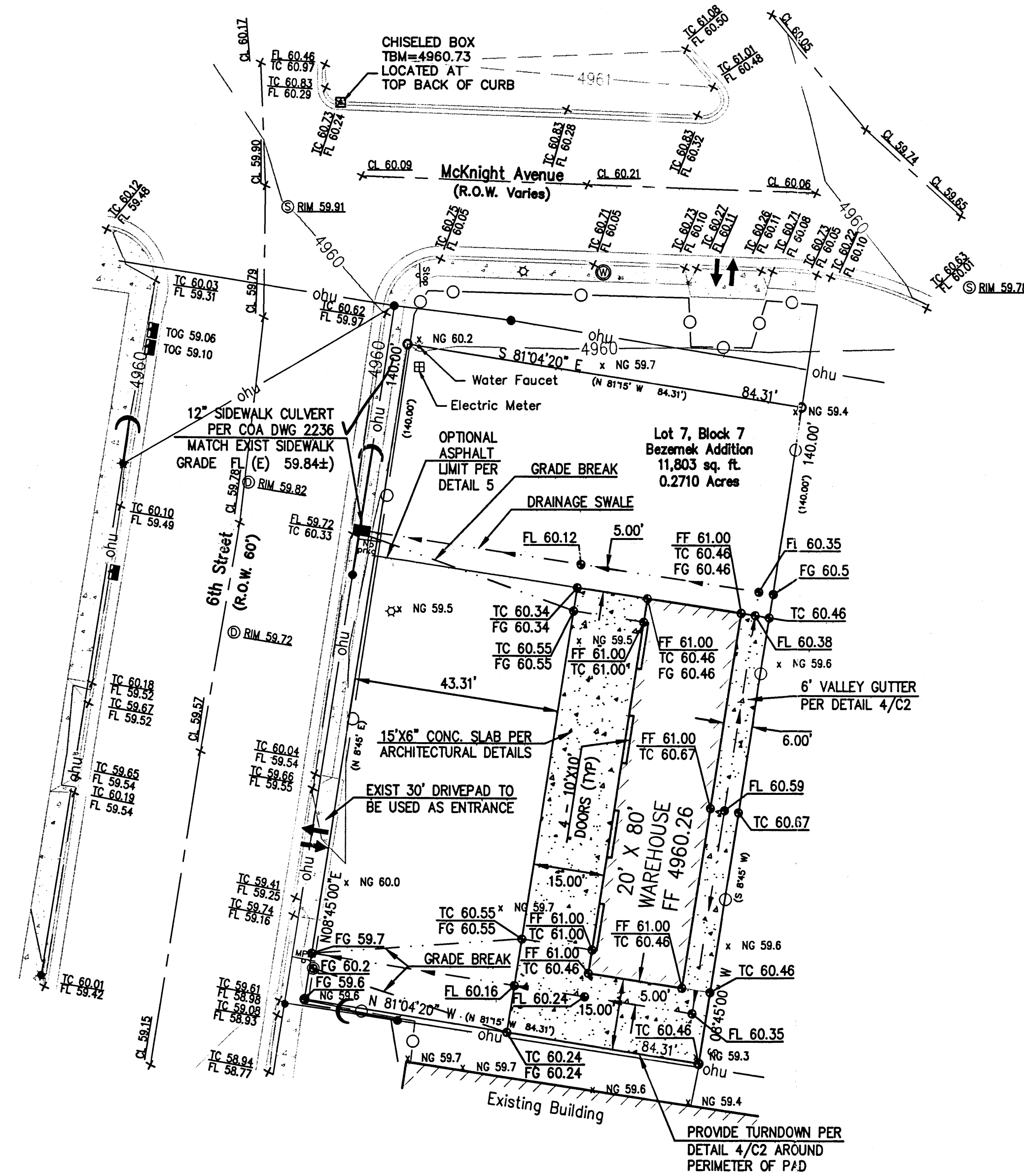
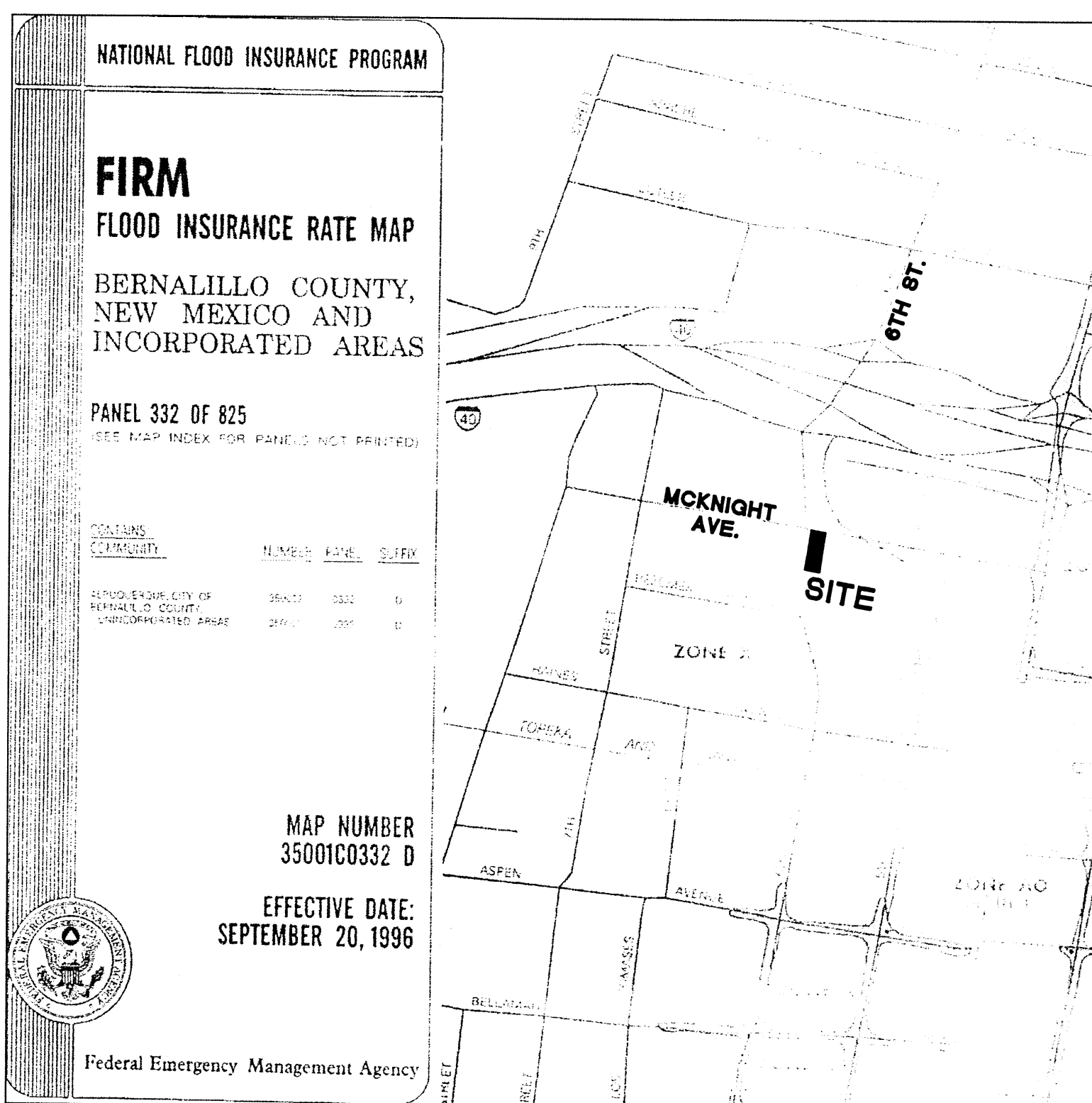
## DEVELOPED DRAINAGE CONDITIONS

THE 100-YEAR HYDRAULIC CALCULATIONS TABLE, ON THIS SHEET, SUMMARIZES THREE (3) DEVELOPMENT CONDITIONS FOR THIS SITE. FIRST, THE EXISTING CONDITIONS ARE ANALYZED WITH THE ENTIRE SITE BEING "TYPE C" LAND TREATMENT SINCE THE SITE IS ALREADY HEAVILY USED AND WELL COMPACTED. THE SECOND CONDITION IS FOR JUST THE STRUCTURE AND CONCRETE APRONS TO BE CONSTRUCTED. THE REMAINDER OF THE SITE WILL REMAIN AS IT CURRENTLY IS OR COULD BE GRAVELED. THIS OPTION PROVIDES FOR ONE-THIRD OF THE SITE TO BE IMPERVIOUS AND THE OTHER TWO-THIRDS WILL REMAIN "TYPE C" LAND TREATMENT. SINCE EITHER A HARD PACKED EARTH OR GRAVEL SURFACE WILL FUNCTION THE SAME HYDRAULICALLY, EITHER SURFACE WILL BE ACCEPTABLE FROM A DRAINAGE ASPECT. THE FINAL ANALYSIS INCLUDES PAVING THE AREA BETWEEN 6TH STREET AND THE CONCRETE APRON. BY GOING WITH THIS OPTION, THE IMPERVIOUS AREA WILL BE INCREASED TO A LITTLE OVER TWO-THIRDS OF THE PROPERTY.

THE UNPAVED FRONTAGE TO THE BUILDING CREATES THE LEAST IMPACT ON THE DOWNSIDE DRAINAGE SYSTEM SINCE THE DEVELOPMENT WILL ONLY INCREASE THE 100-YEAR RUNOFF BY 0.14 CFS. HOWEVER, EVEN THE PAVED FRONTAGE HAS A NEGLIGIBLE INCREASE OF ONLY 0.29 CFS. ALLOWING FREE DISCHARGE TO 6TH STREET IS CONSISTENT WITH WHAT THE OWNER HAS ALREADY BEEN ALLOWED TO DO ON THE OPPOSITE SIDE OF 6TH STREET AND DOES NOT ALTER THE DRAINAGE PATTERN FROM THIS OR ADJACENT PROPERTY. IN ADDITION, THIS STRUCTURE IS PROTECTED BY BEING RAISED APPROXIMATELY ONE FOOT ABOVE THE EXISTING GRADE AND CONSTRUCTING ADEQUATE SWALES AROUND THE BUILDING TO PROPERLY DRAIN THIS SITE.

## 100-YEAR HYDROLOGIC CALCULATIONS

BASIN ID	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr)	V (6-hr)	V (10day) (acre-ft)	V (10day) (cu-ft)	Q (cfs)
		A	B	C	D						
		(X)	(X)	(X)	(X)						
EXISTING CONDITIONS											
SITE	0.2710	0.00	0.00	100.00	0.00	1.13	0.03	1,111	0.03	1,111	0.85
PROPOSED CONDITIONS											
WO/PAVE	0.2710	0.00	0.00	67.00	33.00	1.46	0.03	1,433	0.04	1,952	0.99
W/PAVE	0.2710	0.00	0.00	32.14	67.86	1.80	0.04	1,772	0.07	2,840	1.14
EXCESS PRECIP.	0.53	0.78	1.13	2.12	Ei (in)						
PEAK DISCHARGE	1.56	2.28	3.14	4.70	Qpi (cfs)						
WEIGHTED E (in) = (EA)(XA) + (EB)(XB) + (EC)(XC) + (ED)(XD)						ZONE = 2					
V6-hr (acre-ft) = (WEIGHTED E)(AREA)/12						P6-hr (in.) = 2.75					
V10day (acre-ft) = V6-hr + (AD)(P10DAY - P6-HR)/12						P24-hr (in.) = 2.35					
Q (cfs) = (QPA)(AA) + (QPB)(AB) + (QPC)(AC) + (QPD)(AD)						P10-day (in.) = 3.95					



# GRADING AND DRAINAGE PLAN AND TRAFFIC CIRCULATION LAYOUT

## CHAPARRAL ELECTRIC CO., INC. WAREHOUSE



REVISION	DATE	DESCRIPTION
FILE NAME: GRADE 12/18/00		SHEET C2 of 2