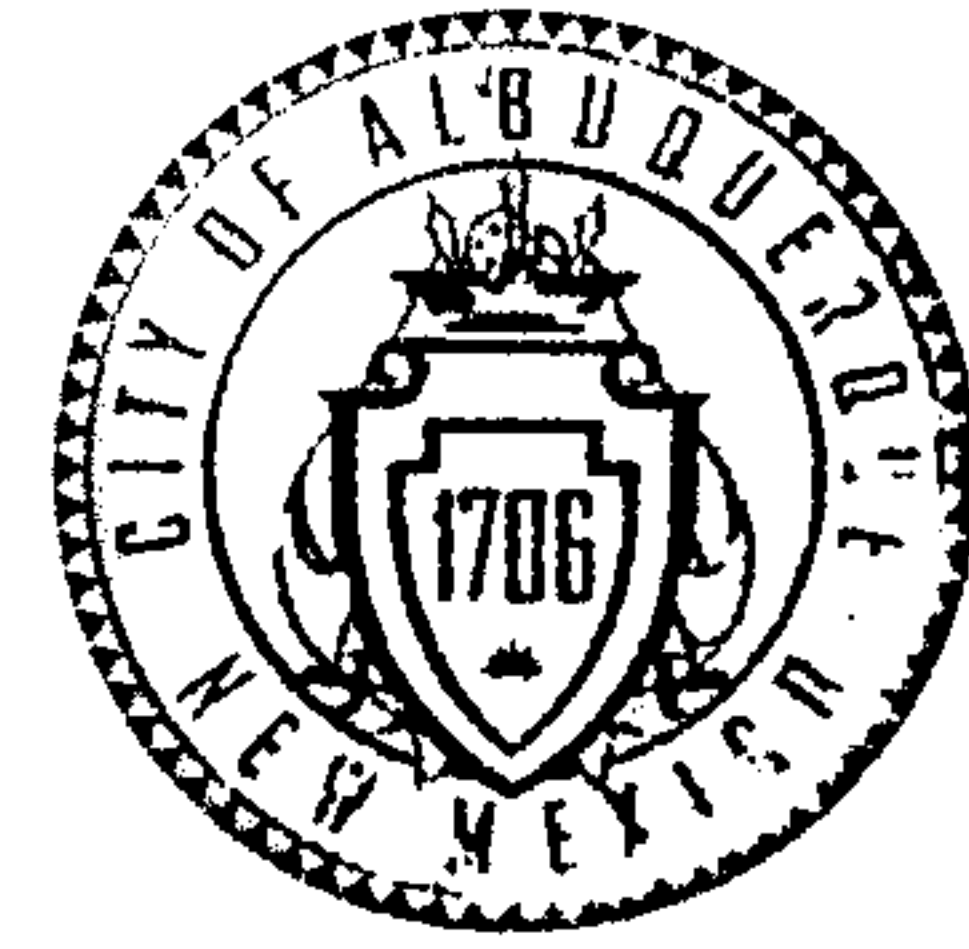


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 6, 2011

J. David Hickman, Registered Architect
Associate Architects, INC.
5924 Anaheim Ave. NE, Ste. A
Albuquerque, NM 87113

Re: Certification Submittal for a Permanent Building Certificate of Occupancy (C.O.)
for **Clean Machine Car Wash**, [H-14 / D094A]
300 Menual NW
Architect's Stamp Dated 12/05/11

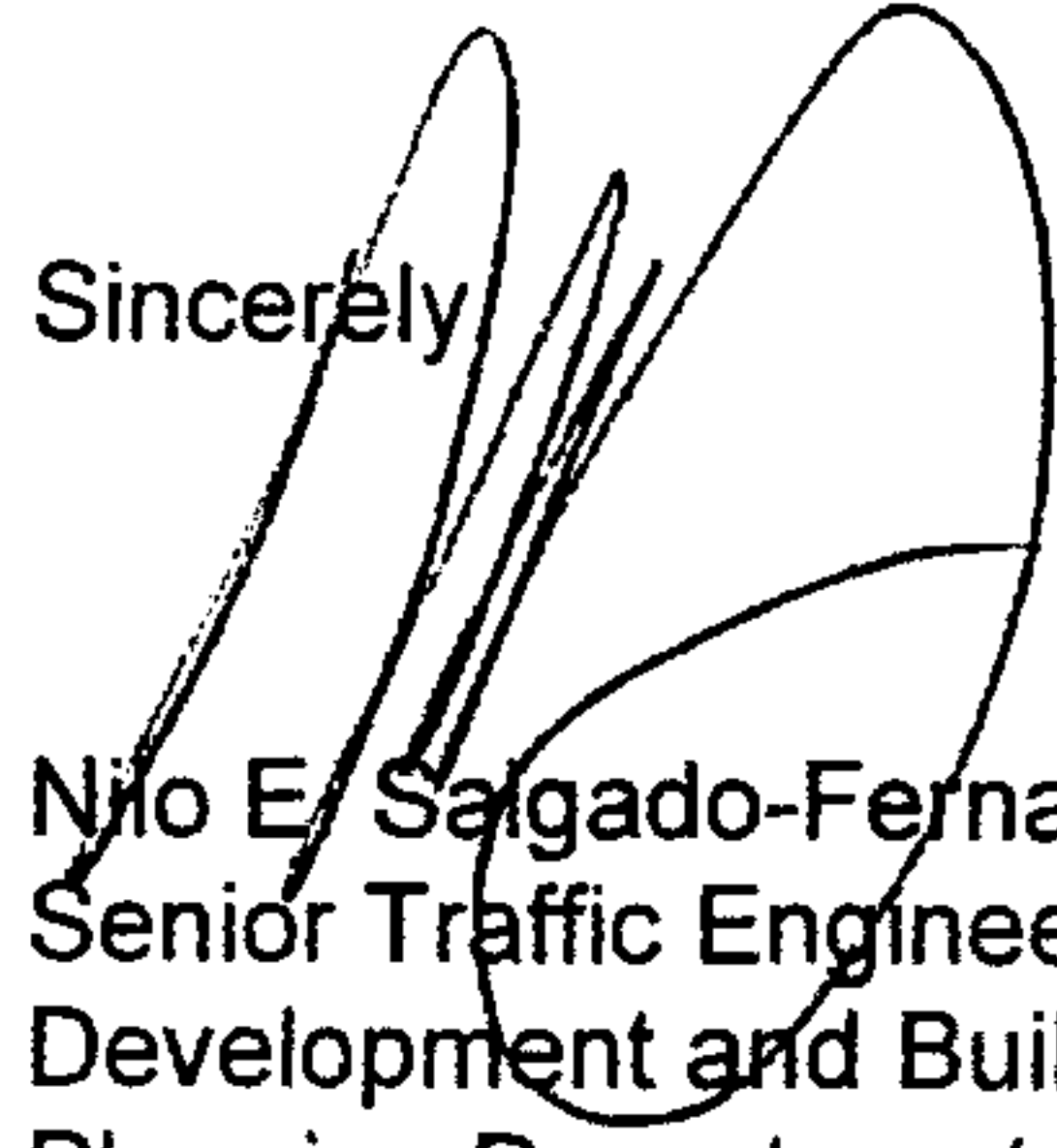
Dear Mr. Hickman:

Based upon the information provided in your submittal received 12-06-11,
Transportation Development has no objection to the issuance of a Permanent Certificate
of Occupancy.

This letter serves as a "green tag" from Transportation Development for a
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

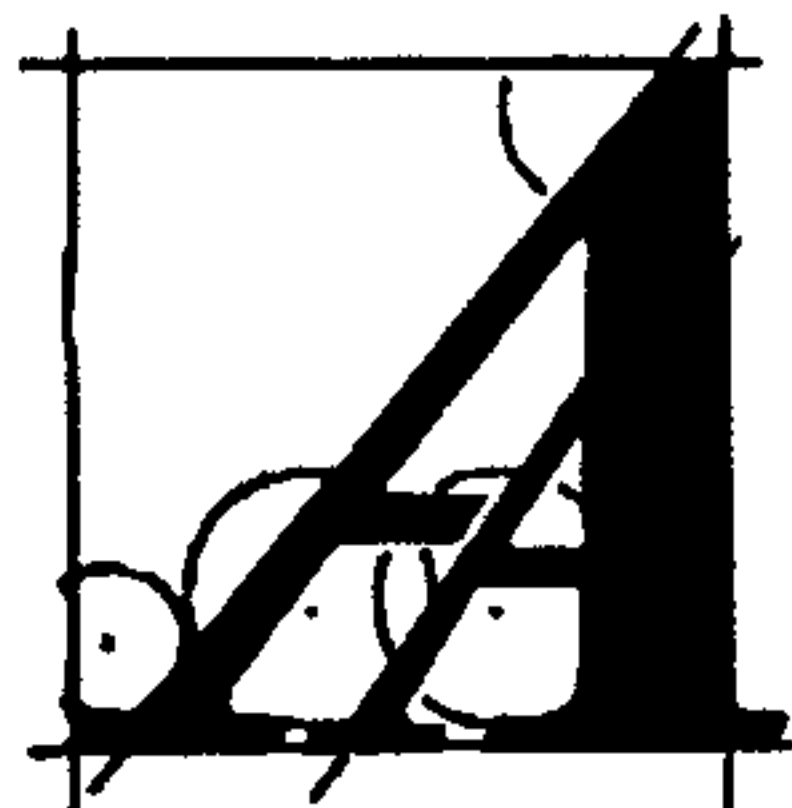
c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



Associated Architects Inc.

Architecture . Construction Management . Planning . Interior Design . 2D/ 3D Design

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Certification Package for
Clean Machine Carwash
300 Menaul NW, Albuquerque
Architect's Stamp Dated 11/29/10

Dear Mr. Salgado-Fernandez,

I am pleased to report to you that the work required by the approved Administrative Amendment has been fully completed for the above referenced project.

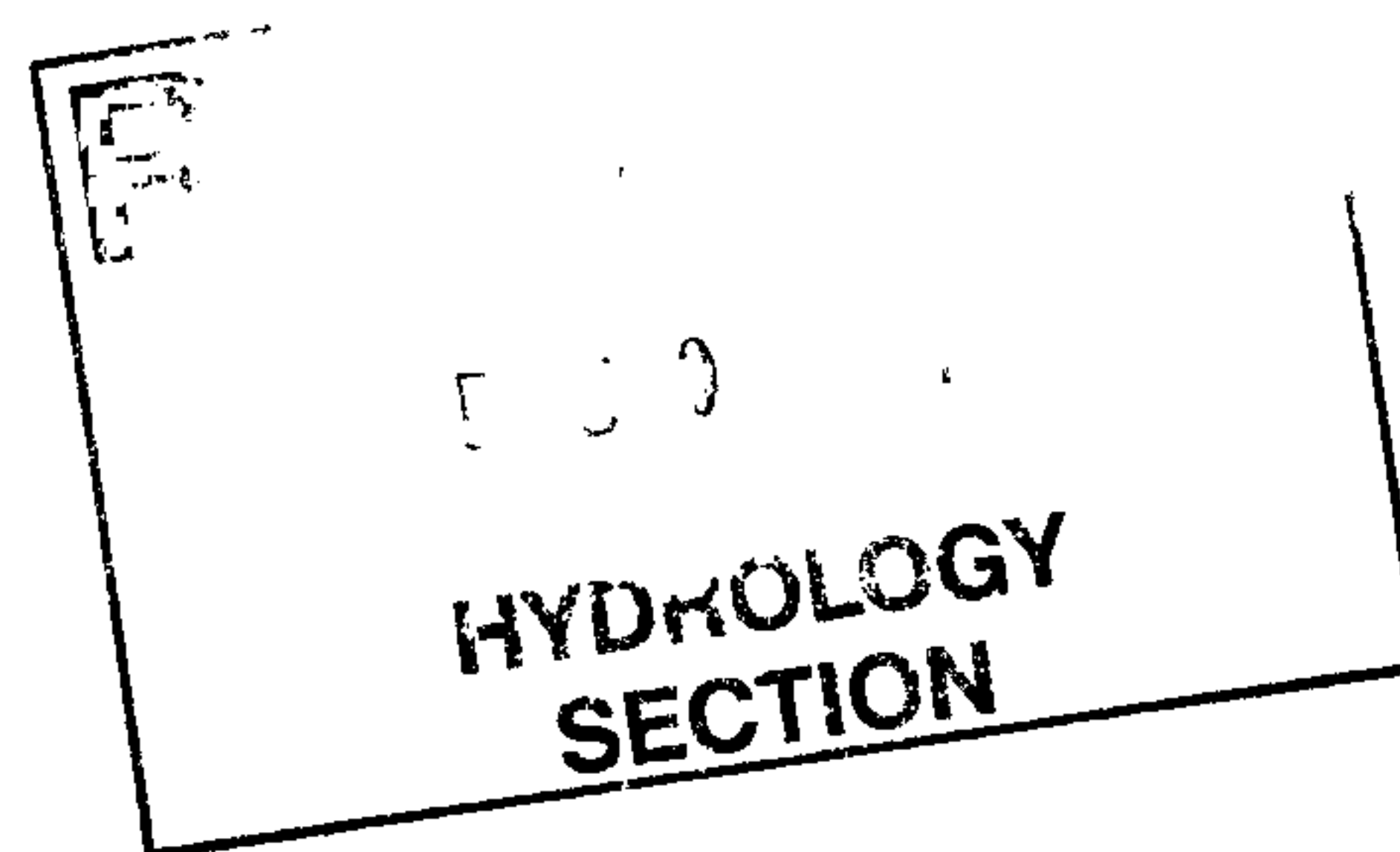
I have reviewed the work on November 23, 2011 and have found it to be in full compliance with the Administrative Amendment.

I do hereby certify that the project meets and conforms to these requirements and the design provided in the approved Administrative Amendment. I am including the official certification letter as well.

We appreciate your assistance in the completion of this project, and formally request that a final Certificate of Occupancy be issued for this project.

Sincerely,

J. David Hickman
Architect



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Clean Machine Car Wash ZONE MAP/DRG. FILE H14 /D094a
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: A Portion of Lot 1A, Walgreen Addition, City of Albuquerque
CITY ADDRESS: 300 Menaul NW, Albuquerque, NM 87110

ENGINEERING FIRM: ISSACSON & ARFMAN, PA CONTACT: Fred C. Arfman
ADDRESS: 128 MONROE NE PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: 4th Street Marketplace CONTACT: Bob Powers
ADDRESS: 4446 E. Flower PHONE: (505) 400-2323
CITY, STATE: Phoenix, AZ ZIP CODE: 85018

ARCHITECT: J. David Hickman CONTACT: Same
ADDRESS: 5924 Anaheim Ave. N.E. Suite A PHONE: (505) 796-0894
CITY, STATE: Albuquerque, NM ZIP CODE: 87113

SURVEYING FIRM: Aldrich Land Surveying CONTACT: Tim Aldrich
ADDRESS: POBox 30701 PHONE: (505)-884-1990
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

CONTRACTOR: Wilger Enterprises CONTACT: John Wilger
ADDRESS: 425 Edmon Road Northeast PHONE: (505)-345-2854
CITY, STATE: Albuquerque, NM ZIP CODE: 87107-4938

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☒ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) SO19 PERMIT

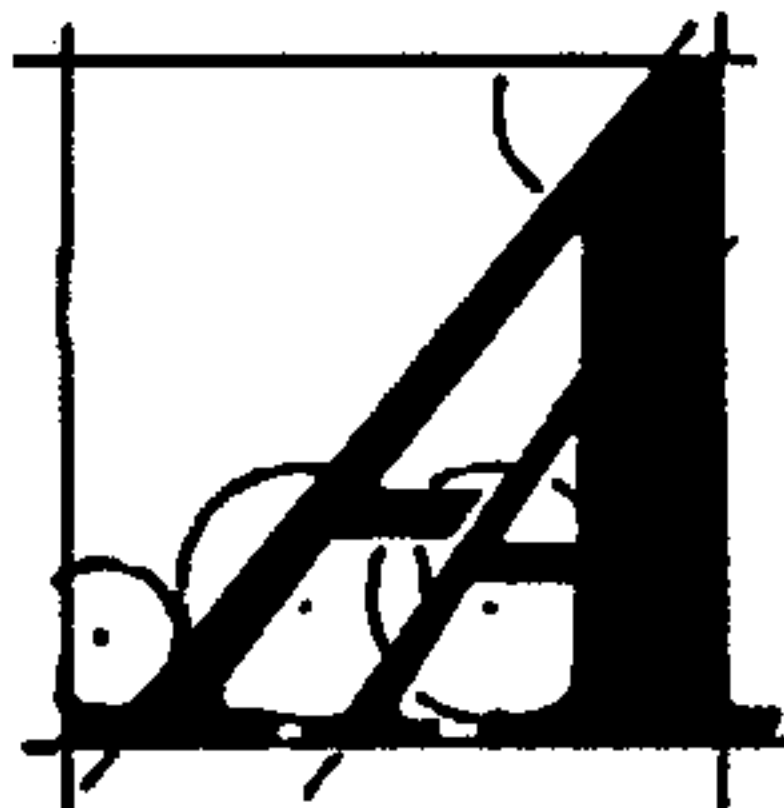
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: ~~October 11, 2010~~ 12/5/11 BY: J. David Hickman

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

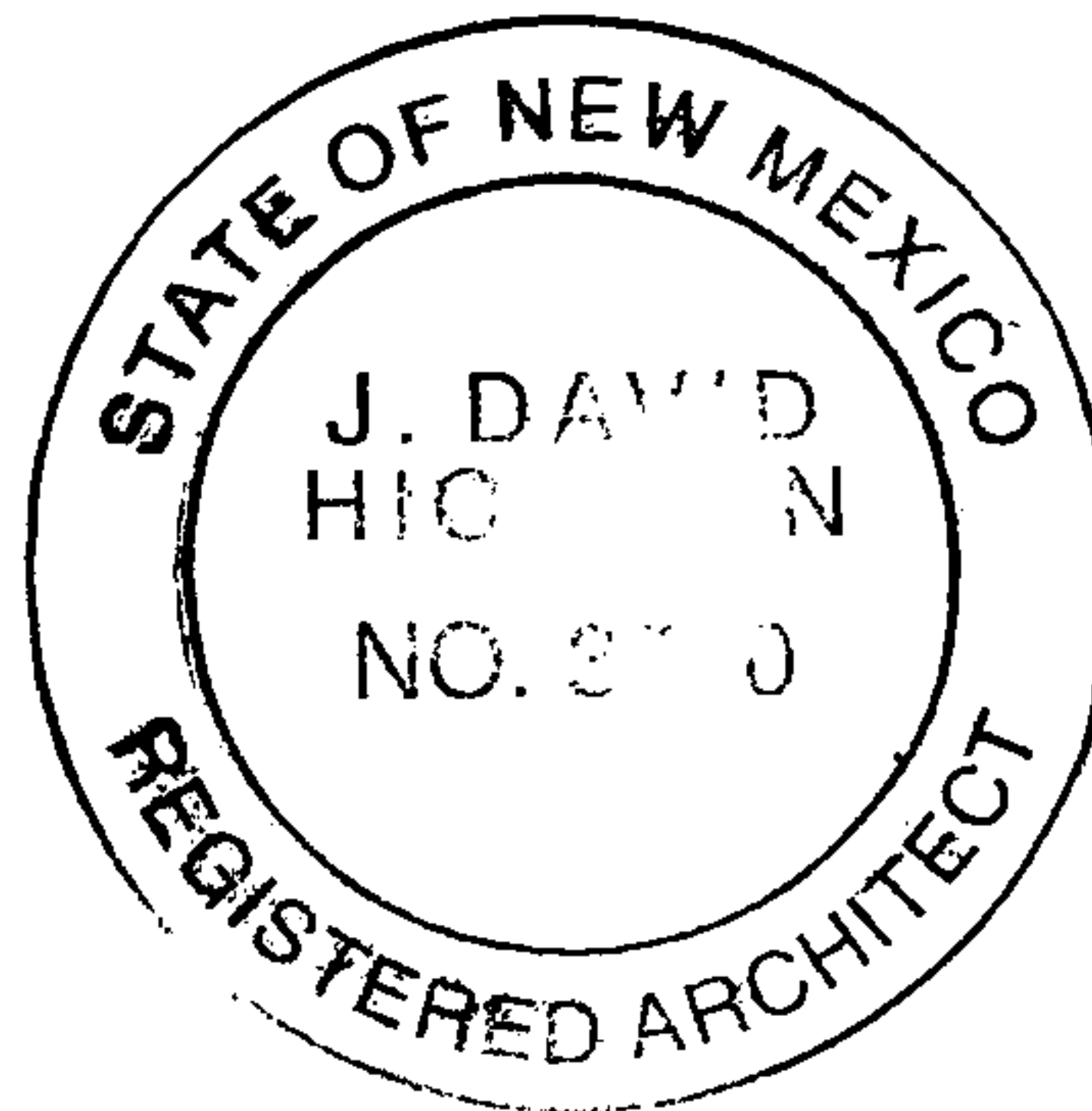


Associated Architects Inc.

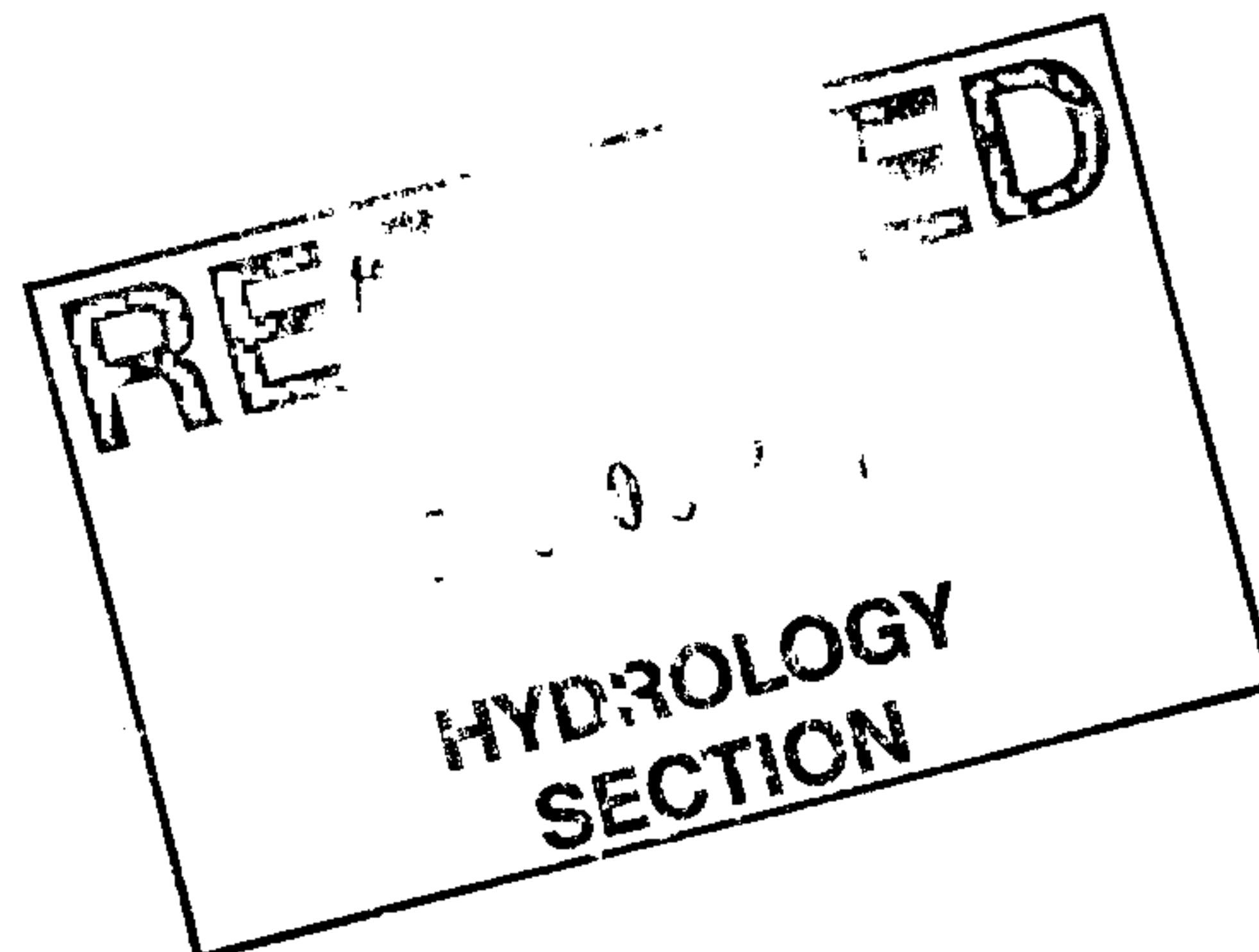
Architecture . Construction Management . Planning . Interior Design . 2D/3D Design

I, J. DAVID HICKMAN, A REGISTERED ARCHITECT IN THE STATE OF NEW MEXICO, OF THE FIRM CORE, ARCHITECTURE, LLC., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 11/29/10. THE RECORD INFORMATION EDITED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY FRED ARFMAN, A REGISTERED PROFESSIONAL ENGINEER WITH THE STATE OF NEW MEXICO. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON NOVEMBER 23, 2011 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.

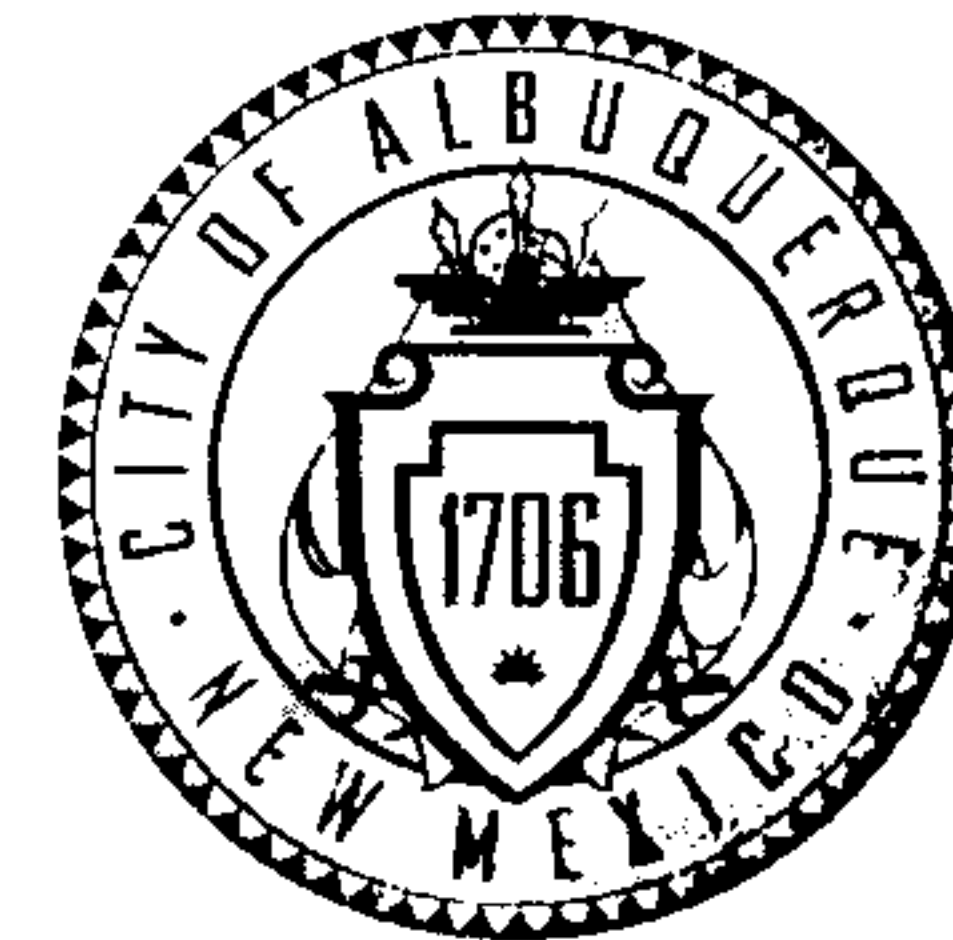

J. David Hickman
Architect



12/5/11
Date:



CITY OF ALBUQUERQUE



November 15, 2011

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

**Re: Clean Machine Carwash, 300 Menaul Rd NW,
Request for Permanent Certificate of Occupancy - Approved
Engineer's Stamp dated 09/29/10 (H-14/D094A)
Certification dated 10-12-11**

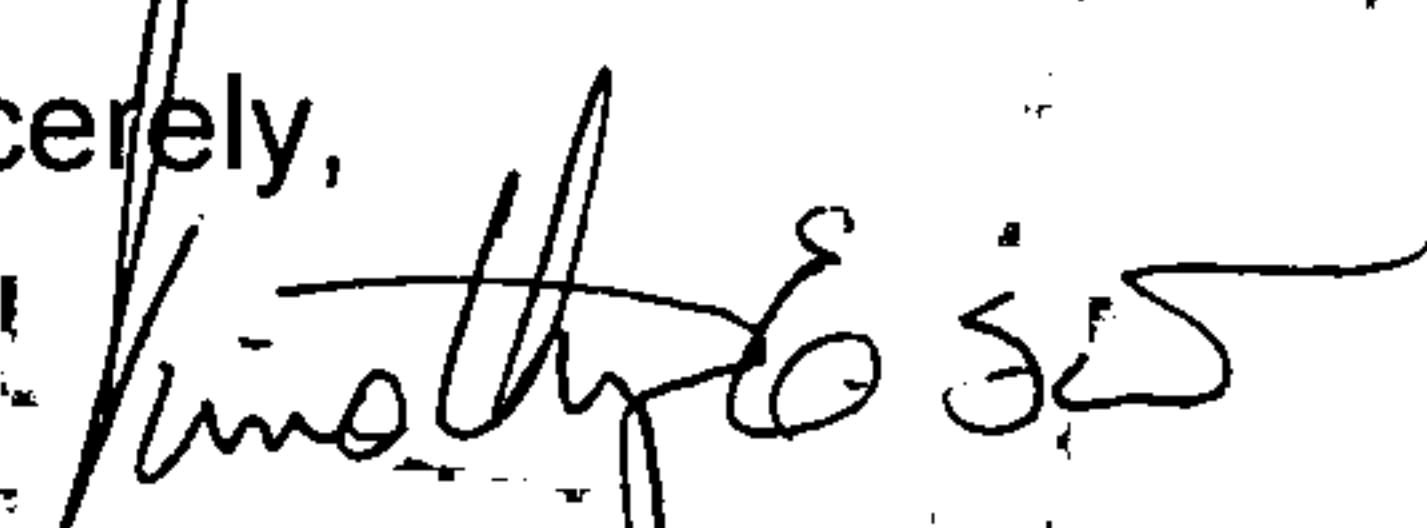
Dear Mr. Arfman,

Based upon the information provided in the Certification received 10-25-11 and a site visit on 11-26-11, the above referenced Certification is approved for Permanent Certificate of Occupancy.

Hydrology is requesting an electronic copy, in .pdf format, of this certification for our records; this can be e-mailed to me at: tsims@cabq.gov.

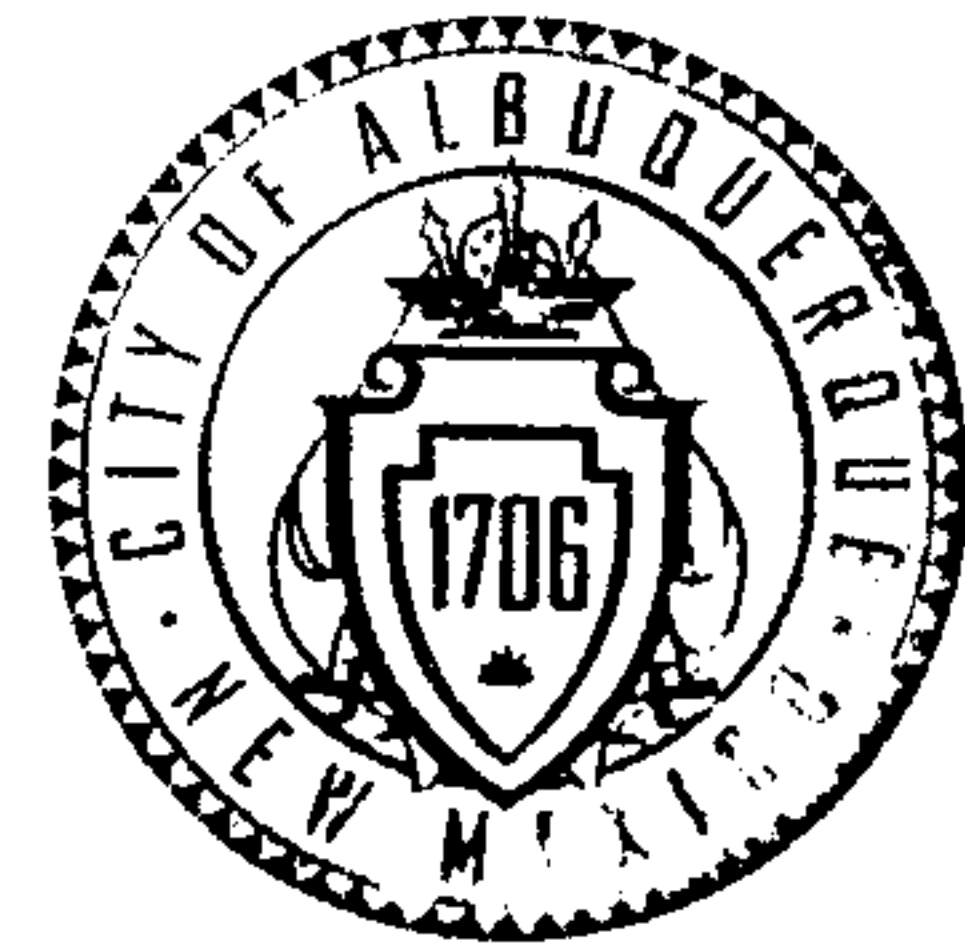
If you have any questions, you can contact me at 924-3982.

Sincerely,


Timothy E. Sims
Plan Checker—Hydrology, Planning Dept.
Development and Building Services

C: C.O. Clerk—Katrina Sigala
File

CITY OF ALBUQUERQUE



November 10, 2011

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

**Re: Clean Machine Carwash, 300 Menaul Rd NW,
Request for Permanent Certificate of Occupancy - Not Approved
Engineer's Stamp dated 09/29/10 (L-11/D066)
Certification dated 101-12-11**

Dear Mr. Arfman,

PO Box 1293
Albuquerque
NM 87103
Based upon the information provided in the Certification received 10-25-11 and a site visit on 11-26-11, the above referenced Certification cannot be approved for Permanent Certificate of Occupancy.

The following comment need to be addressed before resubmitting for any Certificate of Occupancy:

- Acceptance of the sidewalk culvert (SO-19) is required prior to issuance of any C.O. Contact Martin Pacheco at 235-8016 to coordinate an inspection.

If you have any questions, you can contact me at 924-3986.

www.cabq.gov

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Clean Machine Car Wash ZONE MAP/DRG. FILE H14 /D094A
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: A Portion of Lot 1A, Walgreen Addition, City of Albuquerque
CITY ADDRESS: 300 Menaul NW, Albuquerque, NM 87110

ENGINEERING FIRM: ISSACSON & ARFMAN, PA CONTACT: Fred C. Arfman
ADDRESS: 128 MONROE NE PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: 4th Street Marketplace CONTACT: _____
ADDRESS: 4446 E. Flower PHONE: _____
CITY, STATE: Phoenix, AZ ZIP CODE: 85018

ARCHITECT: Associated Architects Inc. CONTACT: Marcus Murray
ADDRESS: 1356 E. McKellips Ste. 10 PHONE: (480) 964-8451
CITY, STATE: Mesa, Arizona 85224 ZIP CODE: 85224

SURVEYING FIRM: Aldrich Land Surveying LICENSED SURVEYOR: Tim Aldrich
ADDRESS: POBox 30701 PHONE: 505-884-1990
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

CONTRACTOR: Wilger Enterprises CONTACT: John Wilger
ADDRESS: 425 Edmon Road Northeast PHONE: _____
CITY, STATE: Albuquerque, NM ZIP CODE: 87107-4938

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

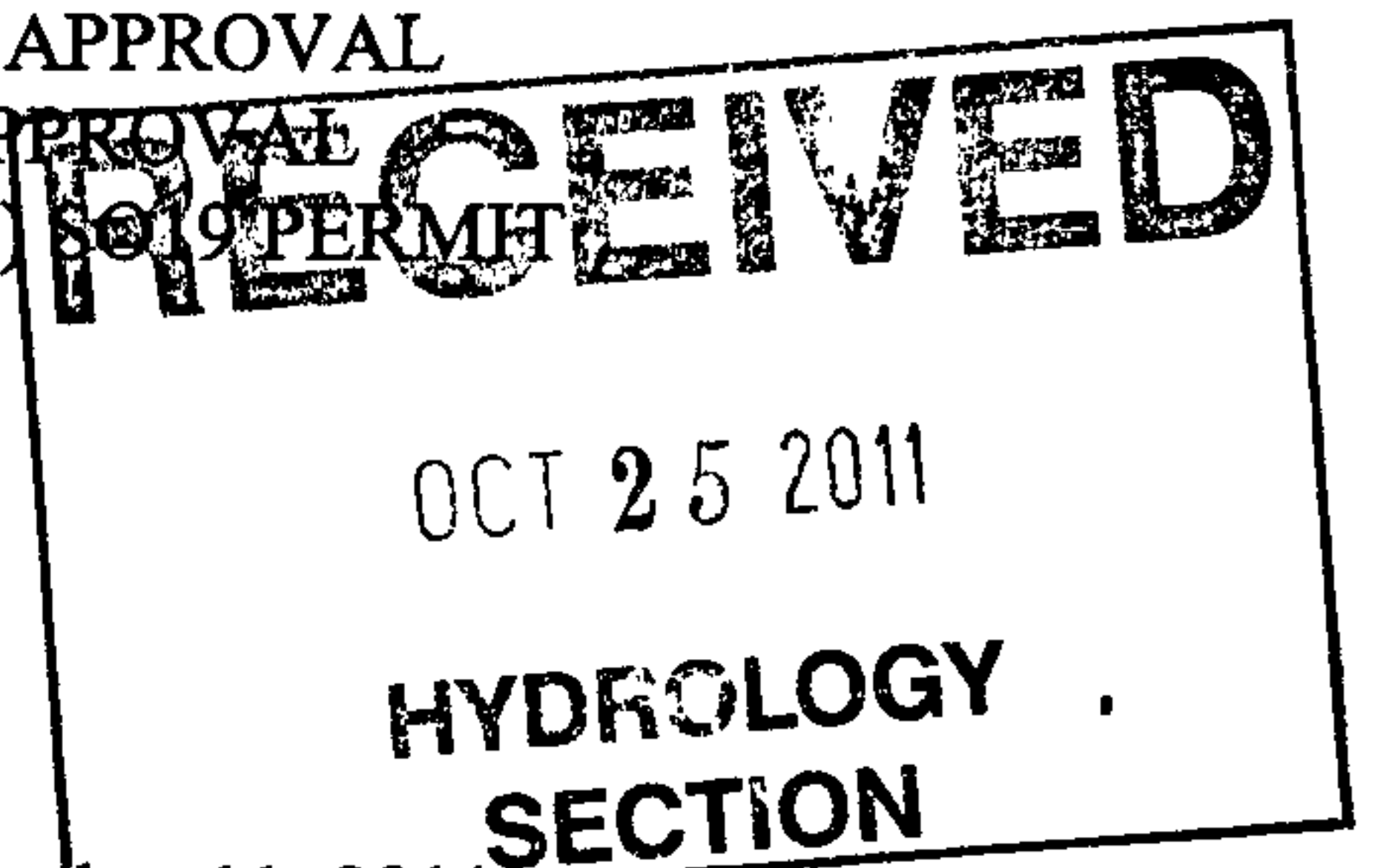
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Isaacson & Arfman, PA, Fred C. Arfman DATE: October 11, 2011

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Need 11-9-11
CALLED DSN
FOR SO-19
APPROVAL

SO-19
Inspection
By Martin
Pacheco

CITY OF ALBUQUERQUE



October 7, 2010

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

**Re: Clean Machine Car Wash, 300 Menaul NW, Grading and Drainage Plan
Engineer's Stamp date 9-29-10 (H14/D094A)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 9-29-10, the above referenced plan is approved for platting action by the DRB, Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. If there is a Work Order associated with this project, this work is to be included in the Work Order.

To obtain a Certificate of Occupancy, Engineer Certification of the Grading Plan per the DPM is required and the sidewalk culvert in the City ROW must be inspected and accepted. Please contact Dave Silva, 857-8074, to schedule an inspection.

This project requires a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Antoinette Baldonado, Excavation and Barricading
Dave Silva, Street/Storm Drain Maintenance

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: Clean Machine Car Wash ZONE MAP/DRG. FILE H14 /D094a
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: A Portion of Lot 1A, Walgreen Addition, City of Albuquerque
CITY ADDRESS: 300 Menaul NW, Albuquerque, NM 87110

ENGINEERING FIRM: ISSACSON & ARFMAN, PA CONTACT: Fred C. Arfman
ADDRESS: 128 MONROE NE PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

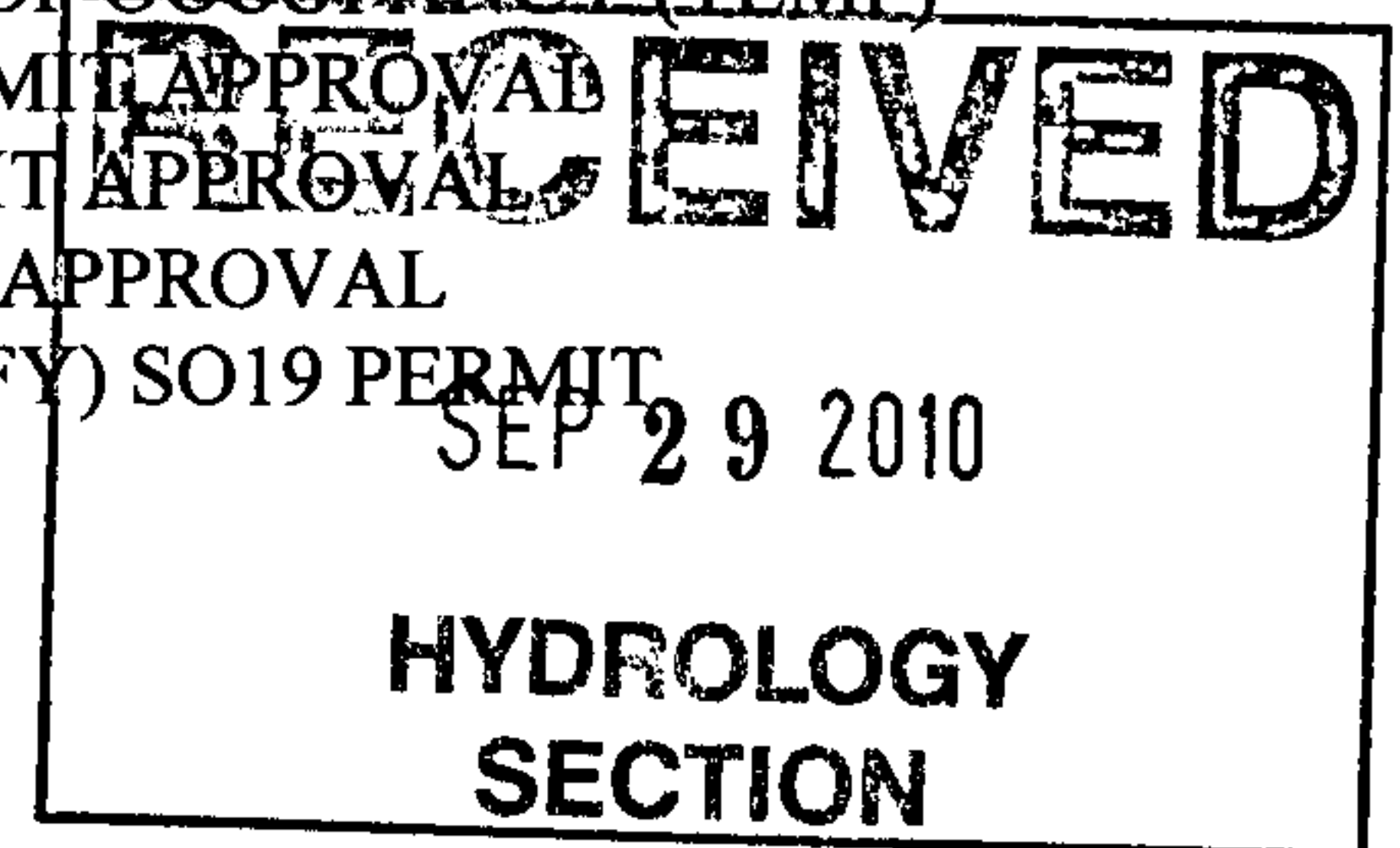
SURVEYING FIRM: Aldrich Land Surveying LICENSED SURVEYOR: Tim Aldrich
ADDRESS: POBox 30701 PHONE: 505-884-1990
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) SO19 PERMIT

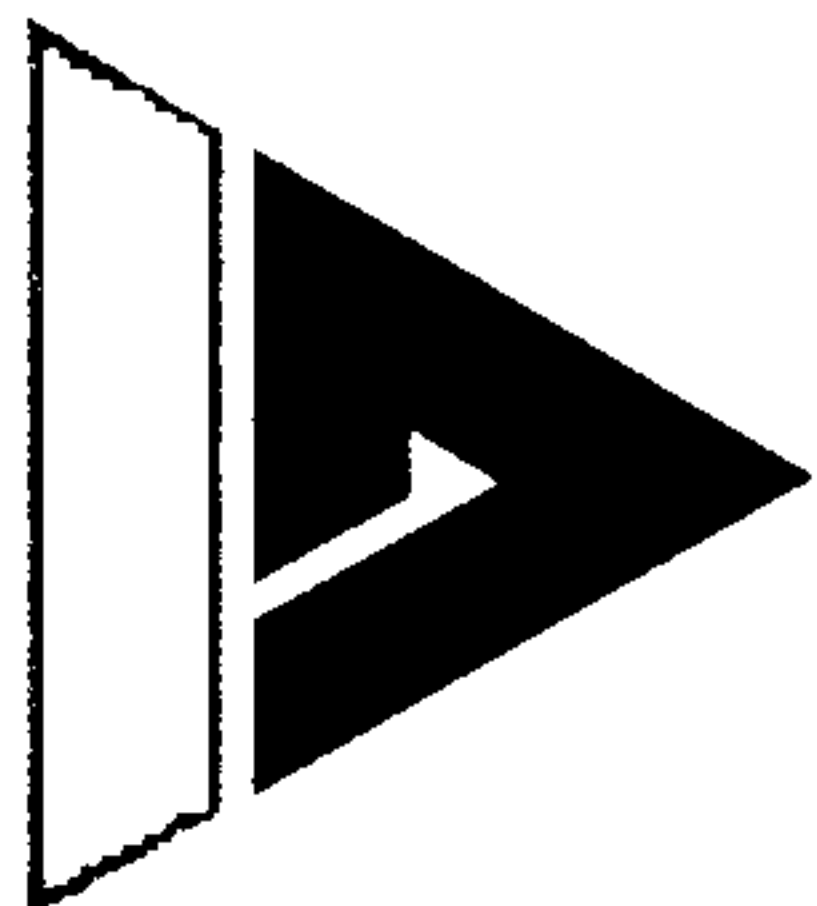
WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: ISAACSON & ARFMAN: Fred Arfman DATE: September 29, 2010

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE*

September 29, 2010

Mr. Curtis Cherne, PE
Senior Engineer, Planning Dept.
C.O.A. Hydrology

RE: CLEAN MACHINE CAR WASH, FOURTH AND MANAUL (H14/D094A)

Dear Mr. Cherne,

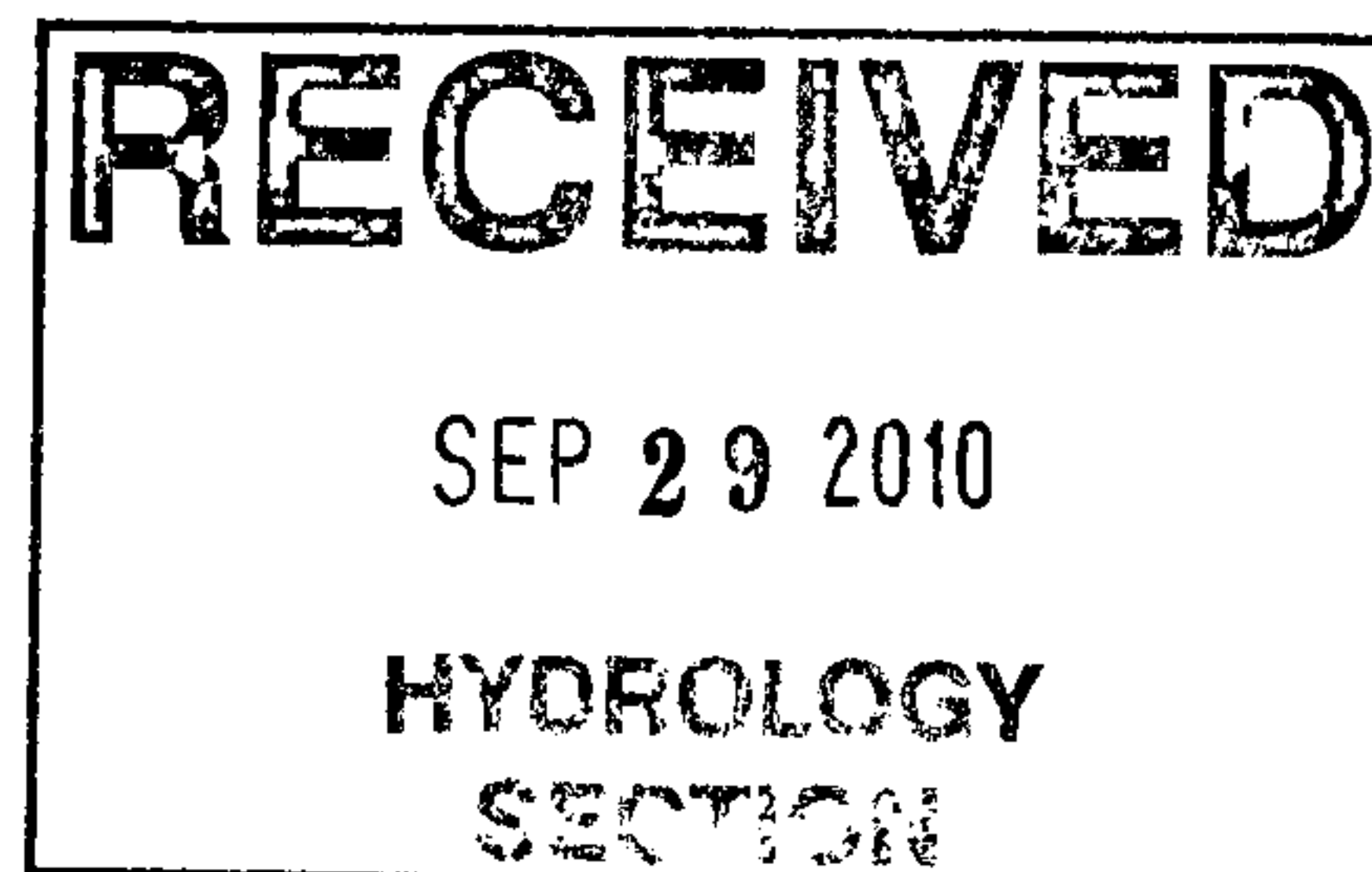
In response to your review comments dated July 26, 2010, attached are two copies of the revised Drainage and Grading Plan (sheets CG-101) with revisions as follows:

1. Due to the nearby Special Flood Hazard Area, the landscape areas 10' or more from the proposed building are noted to be depressed.

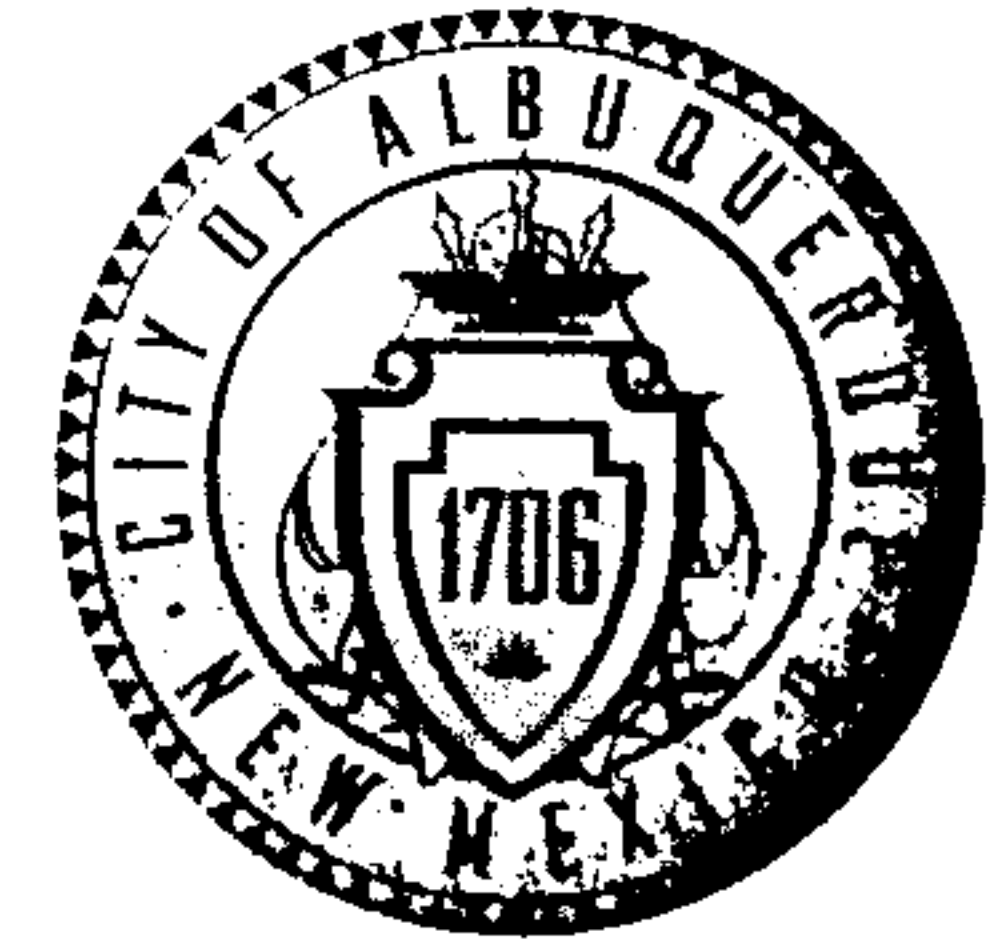
In addition, we have changed the sheet title from Conceptual Grading and Drainage Plan to 'Grading and Drainage Plan'. Please don't hesitate to call me or Bryan Bobrick, with any questions or comments.

Sincerely,
ISAACSON & ARFMAN P.A.

Fred C. Arfman, PE
FCA/bjb
Attachments



CITY OF ALBUQUERQUE



June 29, 2010

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

**Re: Clean Machine Car Wash Conceptual Grading and Drainage Plan
Engineer's Stamp dated 6-17-10 (H14/D094A)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 6-17-10, the above referenced plan is approved for Site Plan for Subdivision action by the DRB. However, the following comments are to be addressed when submitting for Building Permit:

- There is a Special Flood Hazard Area (SFHA) Zone AO 1 foot in 4th street in this location that is not shown on the plan. Proposed plans should reduce runoff or at a minimum not increase runoff to this SFHA. The above referenced plan proposes to increase runoff by 523 cubic feet.
- Reducing runoff could be accomplished by water harvesting in landscape areas and parking islands.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Brad Bingham

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT SERVICE / HYDROLOGY SECTION

DATE: _____
CONFERENCE RECAP

ZONE ATLAS PAGE NO: 4th & Menaul SE corner
DRAINAGE FILE: H 14 / D094
ZONING: _____
DRB: _____
SUBJECT: Free discharge to 4th st
STREET ADDRESS (IF KNOWN): _____
SUBDIVISION NAME: _____

APPROVAL REQUESTED: BP

ATTENDANCE: _____

FINDINGS:

1. can free discharge to 4th.
2. Required to reduce runoff to 4th st due to SFHA. They are proposing to increase landscaping.
3. must maintain existing flow paths
4. covered area on the south must drain north into site.

THE UNDERSIGNED AGREES THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THEY ARE NOT REASONABLE OR THAT THEY ARE BASED ON INACCURATE INFORMATION.

SIGNED: Curtis A. Cherne
NAME (PRINT): Curtis A. Cherne

SIGNED: _____
NAME (PRINT): _____

****NOTE**** PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Clean Machine Car Wash ZONE MAP/DRG. FILE H14/DO94A
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: A Portion of Lot 1A, Walgreen Addition, City of Albuquerque
CITY ADDRESS: 300 Menaul NW, Albuquerque, NM 87110

ENGINEERING FIRM: ISSACSON & ARFMAN, PA
ADDRESS: 128 MONROE NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Fred C. Arfman
PHONE: 268-8828
ZIP CODE: 87108

OWNER: FOURTH ST & MENAUL, INC.
ADDRESS: 4446 E. FLOWER
CITY, STATE: PHOENIX, AZ 85018

CONTACT: Bob Powers
PHONE: (505) 400-2323
ZIP CODE: 85018

ARCHITECT: ASSOCIATED ARCHITECTS
ADDRESS: 1356 E. McKELLIPS, STE. 101
CITY, STATE: MESA, AZ 85224

CONTACT: JASON FISCHER
PHONE: (480) 964-8451
ZIP CODE: 85224

SURVEYING FIRM: Aldrich Land Surveying
ADDRESS: POBox 30701
CITY, STATE: Albuquerque, NM

LICENSED SURVEYOR: Tim Aldrich
PHONE: 505-884-1990
ZIP CODE: 87110

CONTRACTOR: N/A.
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

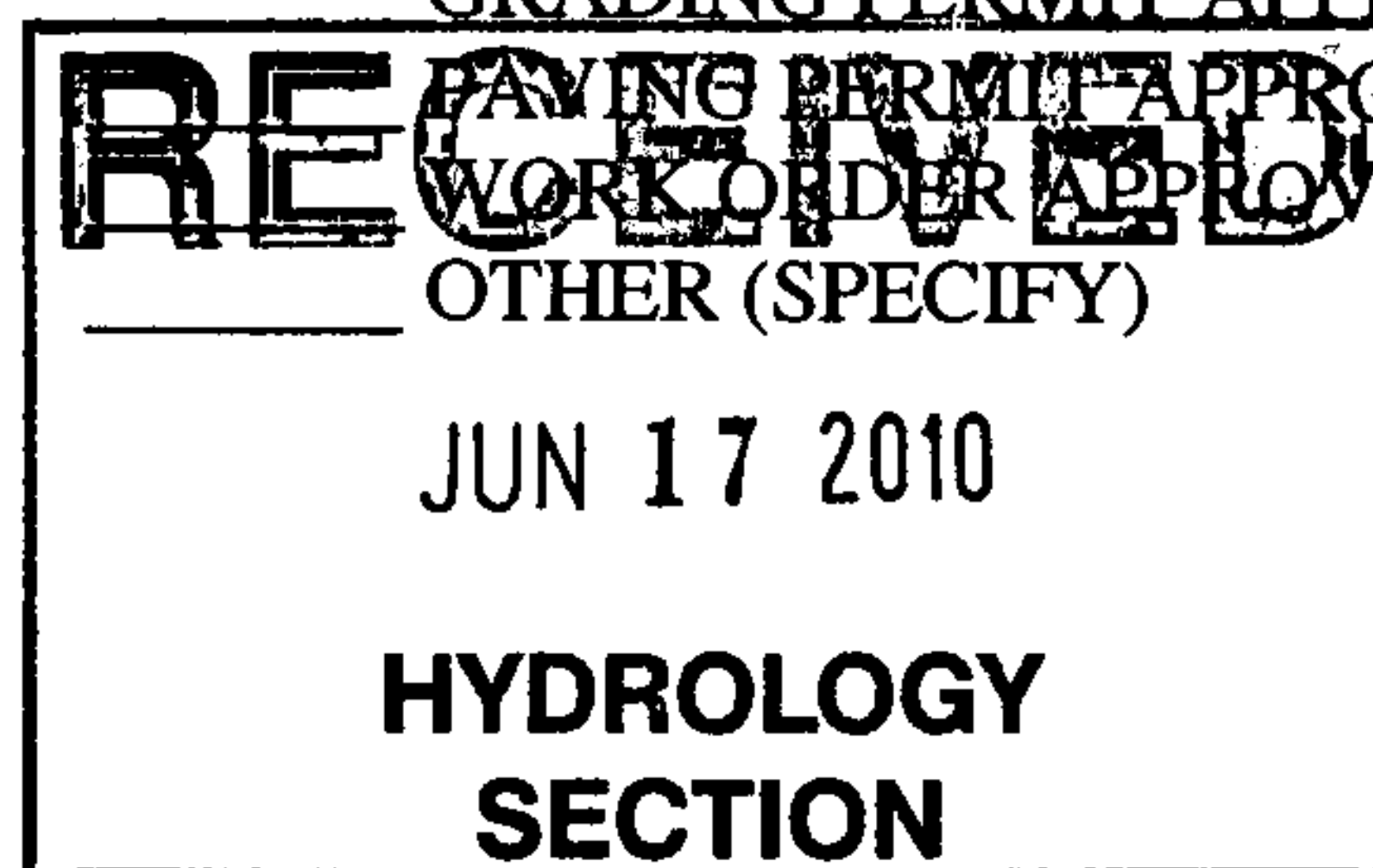
TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
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☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

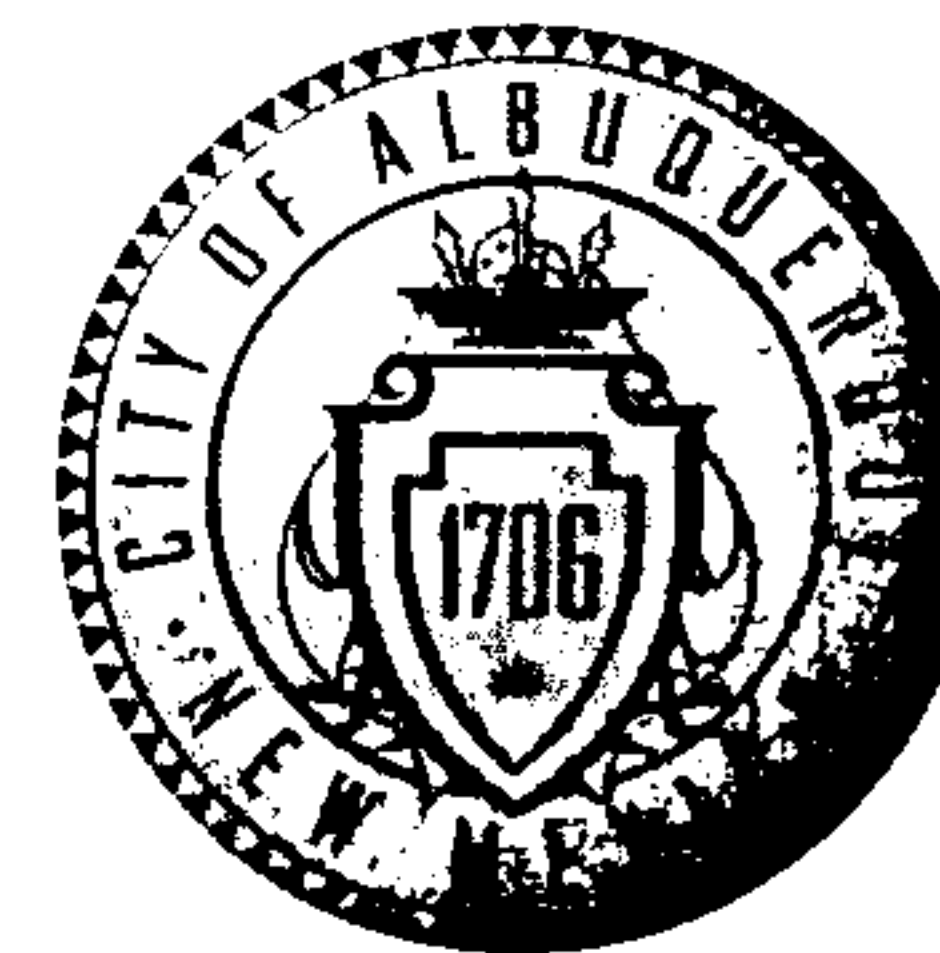


SUBMITTED BY: ISAACSON & ARFMAN: Fred Arfman DATE: ~~Dec. 18, 2008~~ 6/17/10

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



July 26, 2010

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

**Re: Clean Machine Car Wash Conceptual Grading and Drainage Plan
Engineer's Stamp dated 7-19-10 (H14/D094A)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 7-19-10, the above referenced plan is approved for Administrative Amendment to the Site Plan. However, the following comment is to be addressed when submitting for Building Permit:

- Due to the nearby Special Flood Hazard Area, the landscape areas and parking islands should be depressed.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Brad Bingham

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Clean Machine Car Wash ZONE MAP/DRG. FILE H14 / 10074
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: A Portion of Lot 1A, Walgreen Addition, City of Albuquerque
CITY ADDRESS: 300 Menaul NW, Albuquerque, NM 87110

ENGINEERING FIRM: ISSACSON & ARFMAN, PA CONTACT: Fred C. Arfman
ADDRESS: 128 MONROE NE PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYING FIRM: Aldrich Land Surveying LICENSED SURVEYOR: Tim Aldrich
ADDRESS: POBox 30701 PHONE: 505-884-1990
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

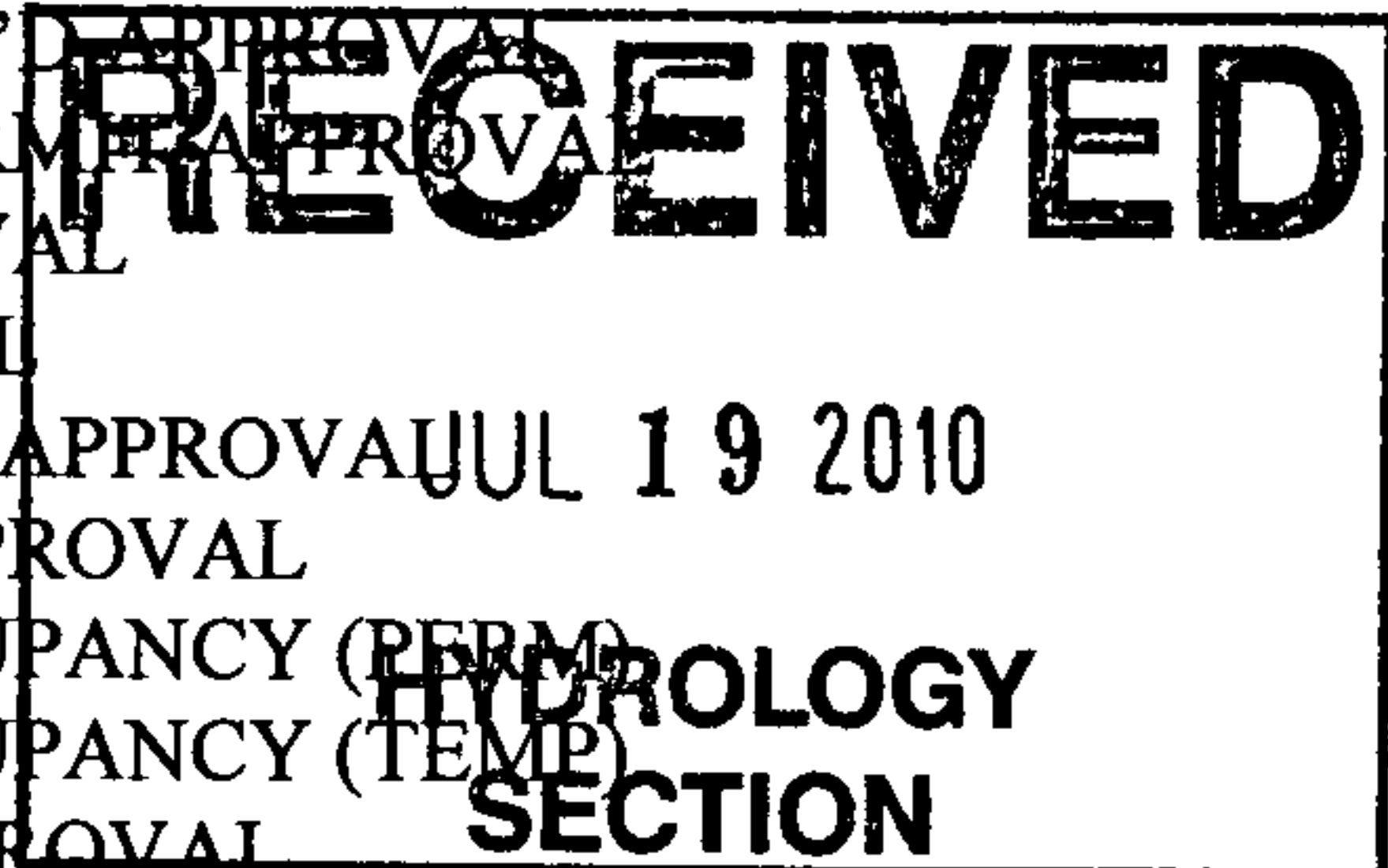
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) A, A,



WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: ISAACSON & ARFMAN: Fred Arfman DATE: 19 July 2010

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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