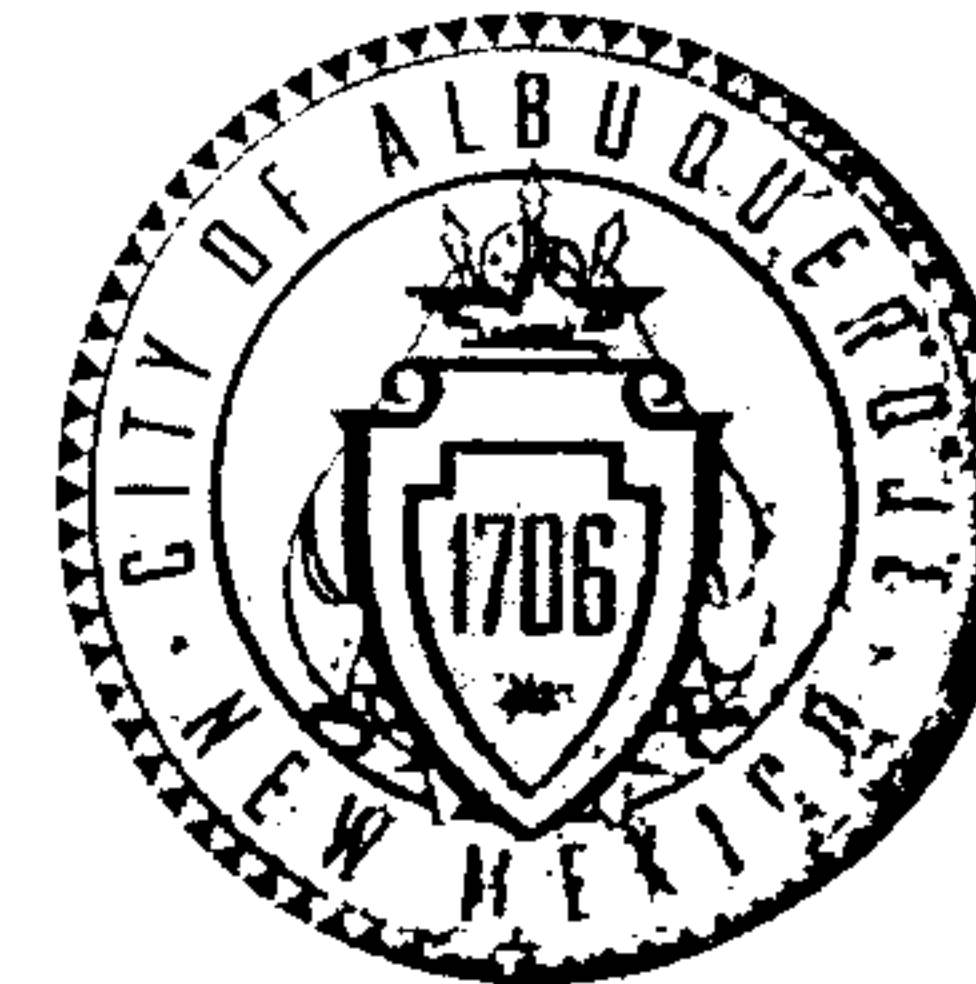


CITY OF ALBUQUERQUE



March 28, 2008

Anthony Lopez
Senior Construction Engineer
City of Albuquerque

Re: Creamland Dairies (CPN #796681)-Change of storm drain pipe size and type

Dear Mr. Lopez,

The change of pipe size and type from an 18" RCP to a 12" DI due to limited cover is approved by Hydrology.

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

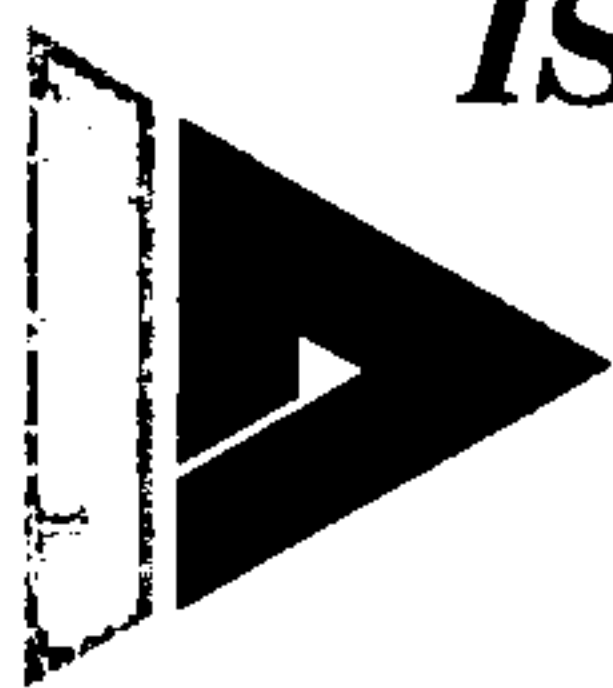
PO Box 1293

Albuquerque

NM 87103

copy: file

www.cabq.gov



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

RECEIVED

MAR 21 2008

DESIGN REVIEW

Mr. Anthony Lopez
Senior Construction Engineer
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

**RE: Creamland Dairies (CPN#796681)
Change of storm drain pipe size and type**

Dear Mr. Lopez:

During construction of the Creamland Dairies project, it was found the old, existing storm inlets and lines were extremely shallow. Because the cover over the 18" RCP was so shallow, the new curb & gutter over top of the storm drains would have been pouted with the pipe inside the gutter pan. In order to provide cover over the extension of the storm drains, it was necessary to change the designed 18" RCP storm drains to 12" DI pipes.

This change was discussed with and verbally approved by Jeremy Hoover of COA Hydrology prior to installation.

Please let me know if you have any questions about this item.
I can be reached at gennyd@iacivil.com or 268-8828. Thank you.

Sincerely Yours,
Isaacson & Arfman, P.A.

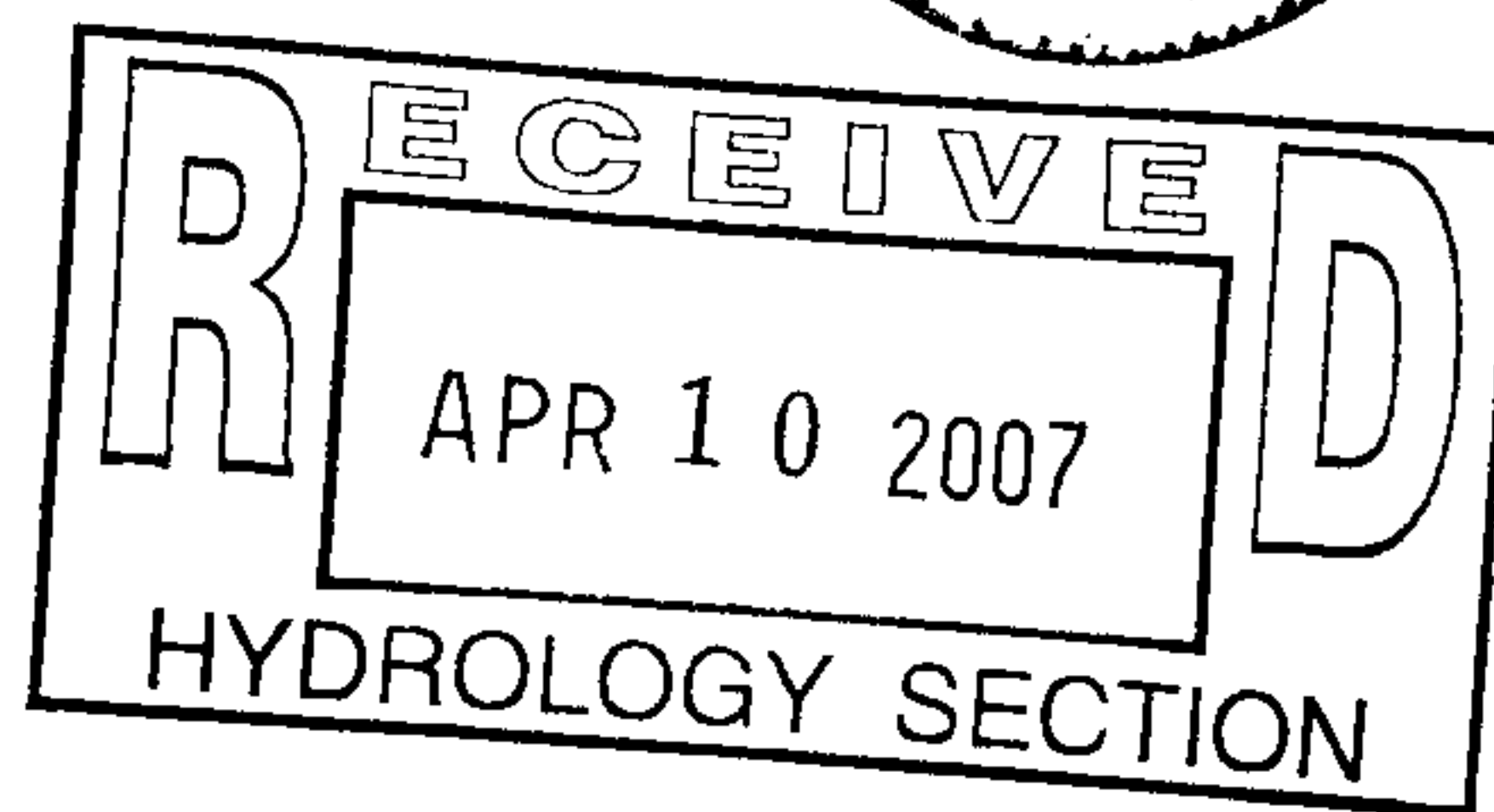
Genevieve Donart, PE
Design Engineer

GD/gld

CITY OF ALBUQUERQUE



January 25, 2007



1/14/07
rec'd 4-10-07
Joseph B. Barela, P.E.
Land Development Consultants, LLC
5620 B Modesto NE
Albuquerque, NM 87113

Re: Creamland Addition,
Block 4 of the Franciscan Addition and Block 7 of the Alvarado Addition

Dear Mr. Barela,

Based upon the information provided in your submittal received on December 19, 2006, there are some additional items that must be addressed prior to approval for Building Permit. Those items are as follows.

- What is the size of the proposed addition? *20' x 40'*
- Our records indicate that a Master Plan for this location has never been generated and the City has no data on the drainage patterns for Creamland. Prior to the issuance of any permits, a comprehensive Master Plan for this site must be submitted to and approved by this office.
- Regardless of the proposed versus existing conditions, drainage calculations are mandatory. All flows must be quantified and located on the plan.
- A scale must be included on the Grading and Drainage plan.
- The survey included with your submittal was neither signed nor dated.
- The survey plan indicates that the benchmark utilized is 17-J14. However, the general notes reference 24-J14 as the basis for the elevations.
- The TBM elevation cited in the general notes (4960.10) conflicts with the manhole elevation of 4960.66 shown on the plan. It is also unclear as to which of the two (2) sanitary sewer manhole lids that temporary benchmark refers. Please clarify.
- Please indicate the finished floor elevations of the adjacent, existing structures.
- Please indicate to what point the on-site drains outfall and show any additional drainage features (both on-site and within the adjacent rights-of-way) such as curbs, gutters, storm drains, swales, ponding areas etc. along with their sizes, types, elevations, inverts and other pertinent details.

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Jeremy Hoover
Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

5620 B. San Francisco Ave.
Albuquerque, NM 87113

Phone: 505-797-4120
Fax: 505-821-0392

Michael T. Williams P.E.
President
Director of Engineering

LAND DEVELOPMENT CONSULTANTS, LLC.
An Associate Firm of Williams & Beck, Inc.

PROFESSIONAL ENGINEERS & SURVEYORS

Email: mtw@williamsandbeck.com

Dear Mr. Hoover,
We herewith submit a comprehensive
Grading & Drainage Plan Drawing for this site.
We believe it answers all your questions. We
await your review comments and appreciate
your assistance.

Sincerely,

Michael T. Williams
Land Development Consultants

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 6, 2004

Shahab Biazar, P.E.
Advanced Engineering and Consulting, LLC
4416 Anaheim Ave. NE
Albuquerque, NM 87113

**Re: Creamland Dairy Warehouse, 1801 Second St. NW, Certificate of Occupancy
Engineer's Stamp dated 7-22-03 (H14/D95)
Certification dated 2-02-04**

Dear Mr. Biazar,

Based upon the information provided in your submittal received 2-05-04, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Phyllis Villanueva
file

H-14/D95

DRAINAGE INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: CREAMLAND DAIRY WAREHOUSE ZONE ATLAS/DRG. FILE #: H-14 / D95
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 8-13, BLOCK 1, MATTHEW ADDITION
CITY ADDRESS: 1801 SECOND STREET NW

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC CONTACT: Shahab Biazar
ADDRESS: 4416 Anaheim Ave. NE PHONE: (505) 899-5570
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87113

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

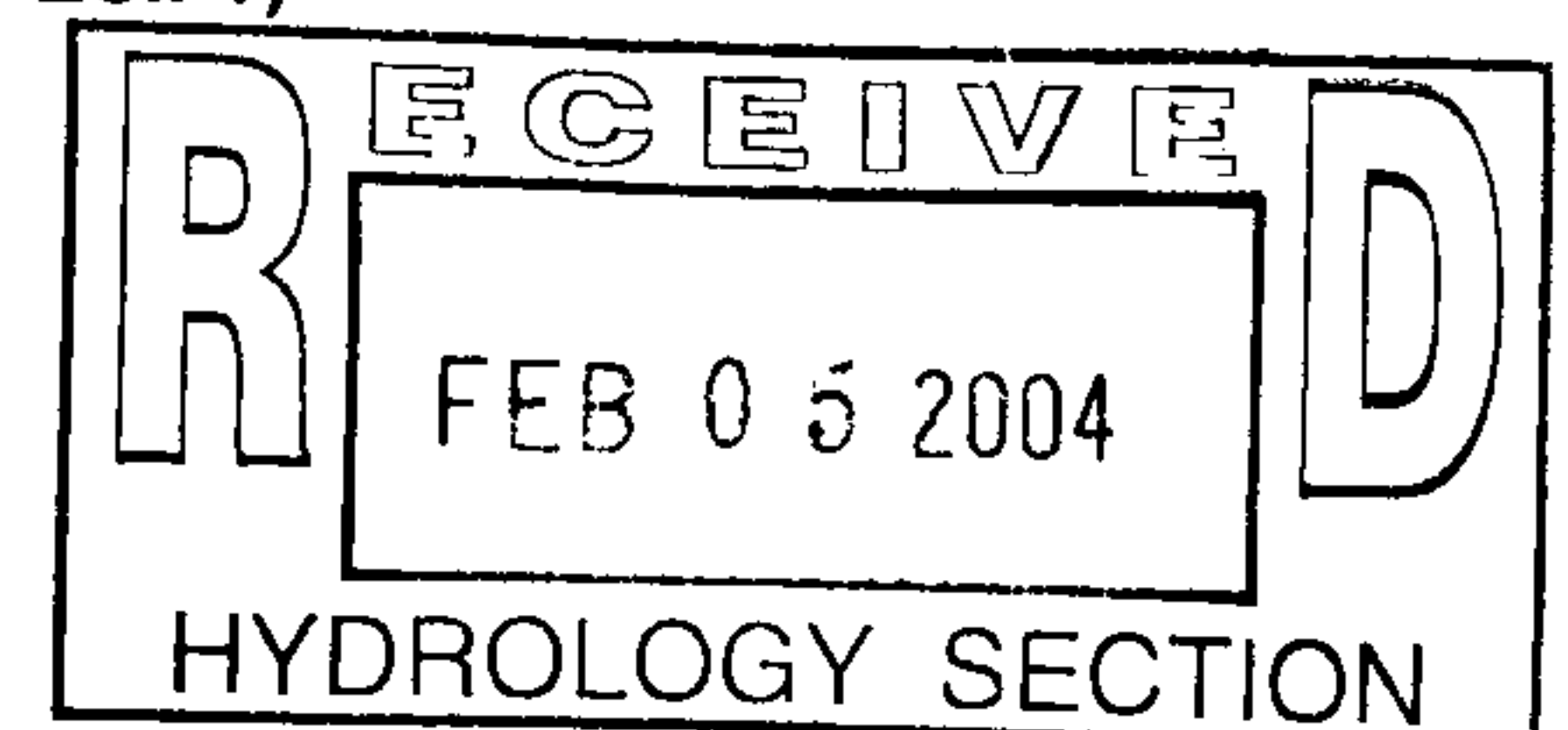
_____ DRAINAGE REPORT
_____ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL
_____ CONCEPTUAL GRADING & DRAINAGE PLAN
_____ GRADING PLAN
_____ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
_____ CLOMR / LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ ENGINEER'S CERTIFICATION (TCL)
_____ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
_____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

_____ SIA / FINANCIAL GUARANTEE RELEASE
_____ PRELIMINARY PLAT APPROVAL
_____ S. DEV. PLAN FOR SUB'D. APPROVAL
_____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
_____ SECTOR PLAN APPROVAL
_____ FINAL PLAT APPROVAL
_____ FOUNDATION PERMIT APPROVAL
_____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
_____ CERTIFICATE OF OCCUPANCY (TEMP.)
_____ GRADING PERMIT APPROVAL
_____ PAVING PERMIT APPROVAL
_____ WORK ORDER APPROVAL
_____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

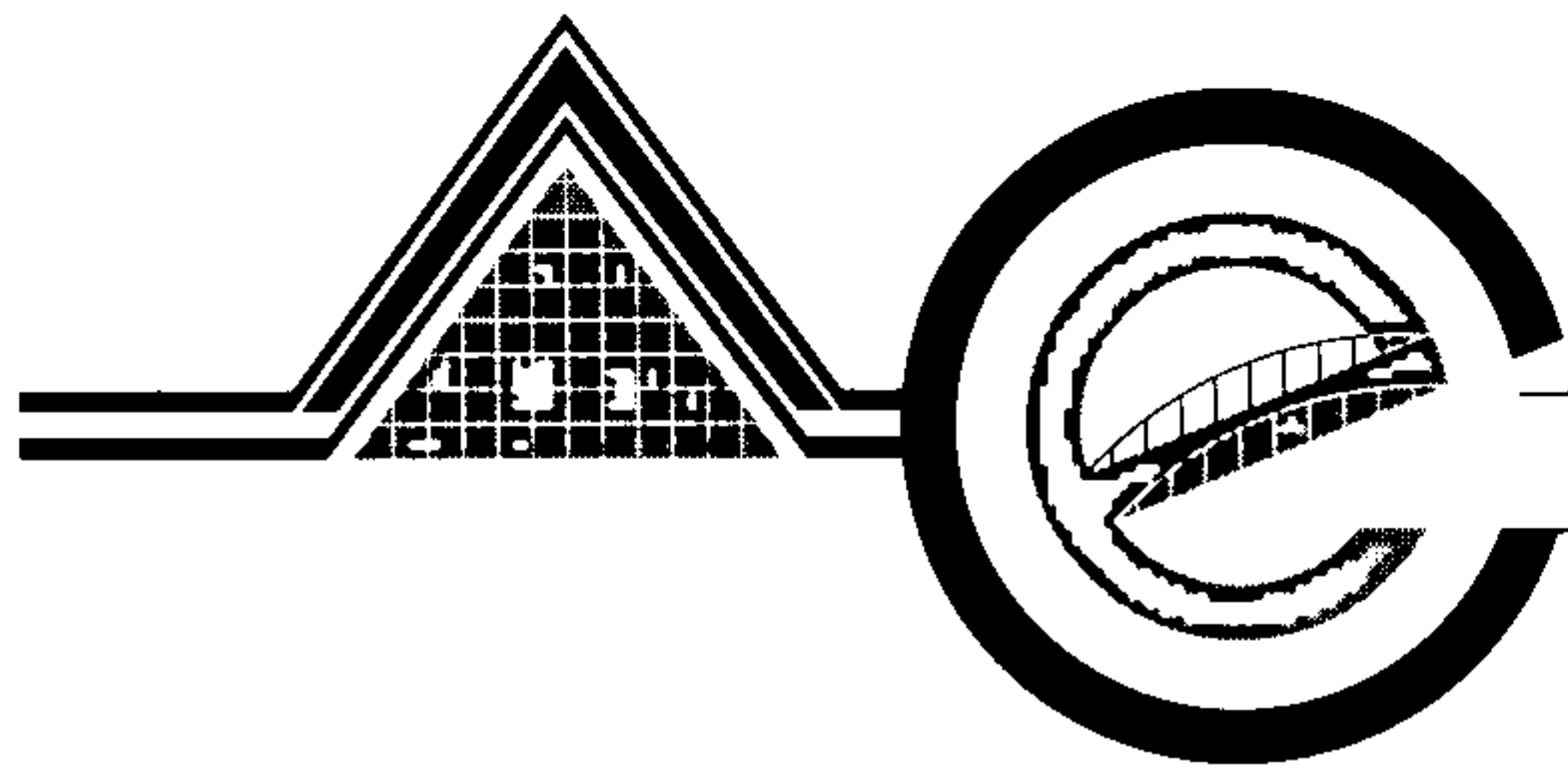
_____ YES
☒ NO
_____ COPY PROVIDED



DATE SUBMITTED: 02 / 02 / 2004 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection*

February 2, 2004

Mr. Bradley L. Bingham, P.E.
Sr. Engineer, Planning Dept.
Development and Building Services
600 Second Street NW
Albuquerque, New Mexico 87102

RE: GRADING AND DRAINAGE CERTIFICATION FOR CREAMLAND DAIRY
WAREHOUSE (H14 / D95)

Dear Mr. Bingham:

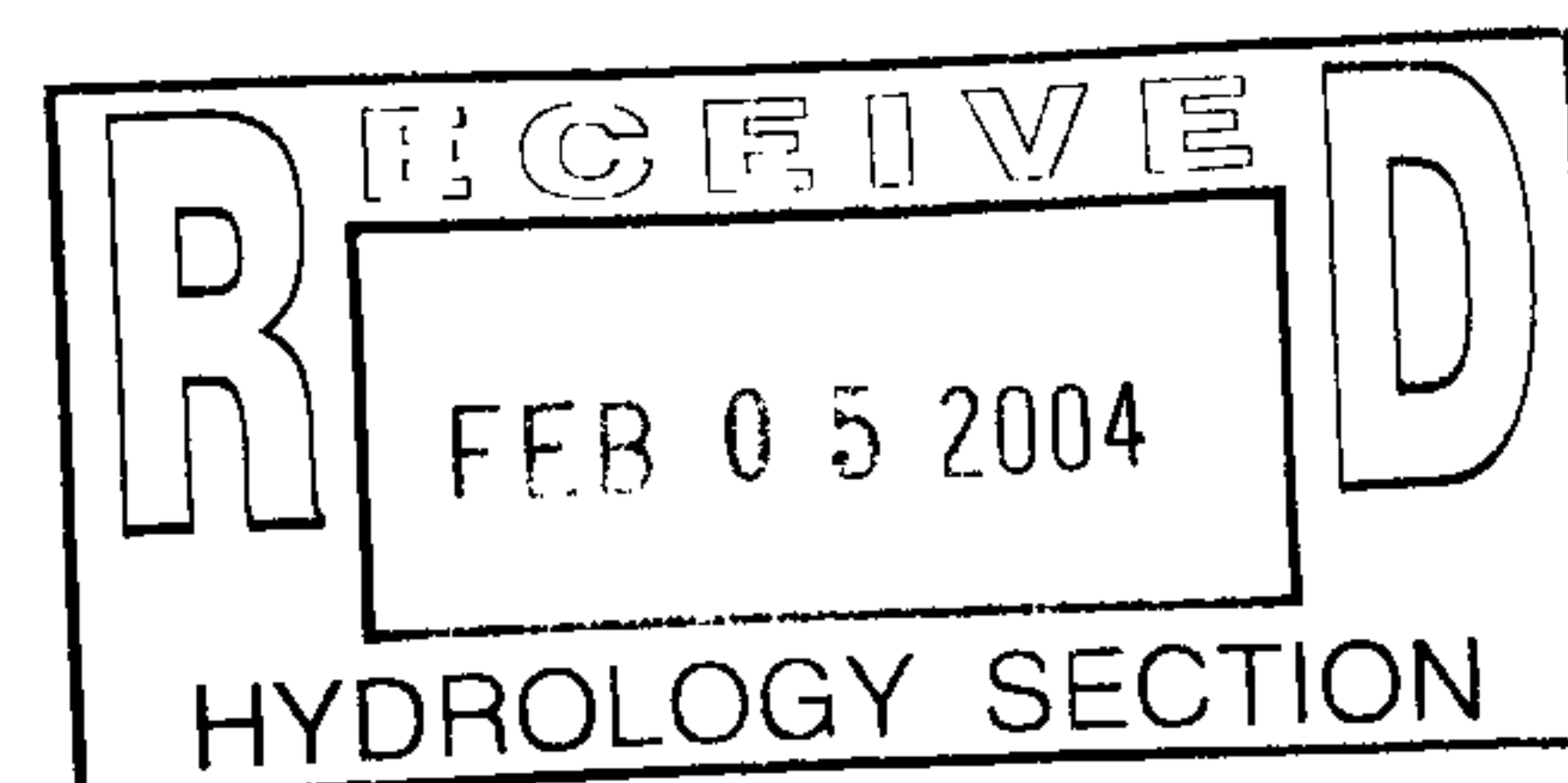
This submittal is for grading drainage certification. All the improvements for the above-mentioned project has been completed. We are asking for Certification of Occupancy. See enclosed grading plan for as-built grades. Please send your future responses to our new address located at:

4416 Anaheim Avenue, NE
Albuquerque, NM 87113

Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,

Shahab Biazar, P.E.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 11, 2003

Shahab Biazar, PE
Advanced Engineering and Consulting, LLC
10205 Snowflake Ct. NW
Albuquerque, NM 87114

**RE: Creamland Dairy Warehouse Drainage Report (H-14/D95)
Engineer's Stamp Dated July 22, 2003**

Dear Mr. Biazar:

Based upon the information provided in your submittal received July 24, 2003, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, an Engineer Certification per the DPM checklist will be required.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya, PE
City Floodplain Administrator

C: File

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

H-14/095

PROJECT TITLE: CREAMLAND DAIRY WAREHOUSE

ZONE ATLAS/DRG. FILE #: H-14

DRB #:

EPC #:

WORK ORDER #:

LEGAL DESCRIPTION: IOT 8-13, BLOCK 1, MATTHEW ADDITION

CITY ADDRESS: 1801 SECOND STREET NW

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC

ADDRESS: 10205 Snowflake Ct. NW

CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar

PHONE: (505) 899-5570

ZIP CODE: 87114

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

X

DRAINAGE REPORT

DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL

CONCEPTUAL GRADING & DRAINAGE PLAN

X

GRADING PLAN

EROSION CONTROL PLAN

ENGINEER'S CERTIFICATION (HYDROLOGY)

CLOMR / LOMR

TRAFFIC CIRCULATION LAYOUT (TCL)

ENGINEER'S CERTIFICATION (TCL)

ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)

OTHER

CHECK TYPE OF APPROVAL SOUGHT:

SIA / FINANCIAL GUARANTEE RELEASE

PRELIMINARY PLAT APPROVAL

S. DEV. PLAN FOR SUB'D. APPROVAL

S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

SECTOR PLAN APPROVAL

FINAL PLAT APPROVAL

FOUNDATION PERMIT APPROVAL

X

BUILDING PERMIT APPROVAL

CERTIFICATE OF OCCUPANCY (PERM.)

CERTIFICATE OF OCCUPANCY (TEMP.)

X

GRADING PERMIT APPROVAL

PAVING PERMIT APPROVAL

WORK ORDER APPROVAL

OTHER (SPECIFY)

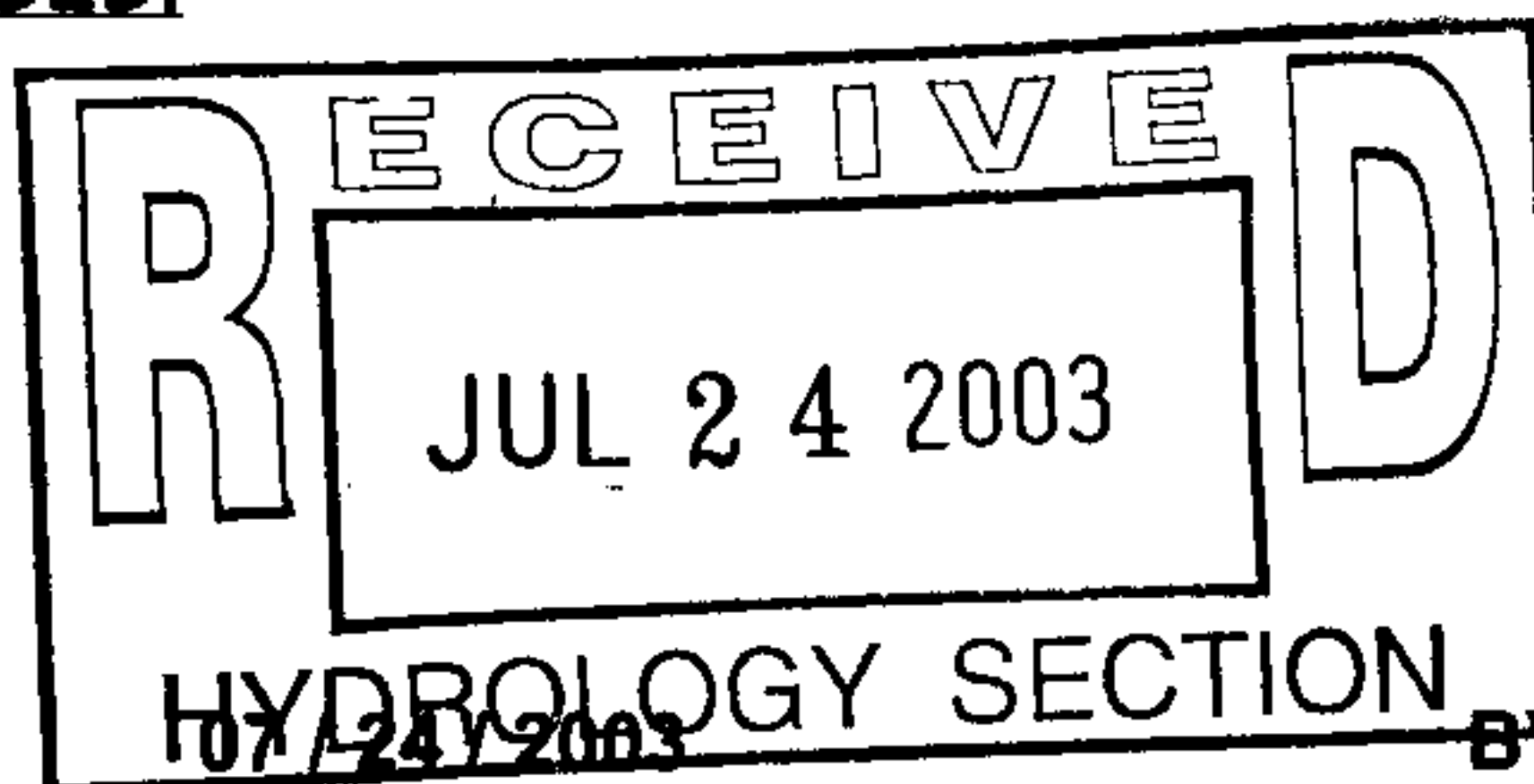
WAS A PRE-DESIGN CONFERENCE ATTENDED:

YES

X

NO

COPY PROVIDED



DATE SUBMITTED:

BY:

Shahab Biazar, P.E.

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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 11, 2003

Shahab Biazar, PE
Advanced Engineering and Consulting, LLC
10205 Snowflake Ct. NW
Albuquerque, NM 87114

**RE: Creamland Dairy Warehouse Drainage Report (H-14/D95)
Engineer's Stamp Dated July 22, 2003**

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Sincerely,

Carlos A. Montoya, PE
City Floodplain Administrator

C: File

DRAINAGE INFORMATION SHEET
(REV. 1/28/2003rd)

H-14/D95

PROJECT TITLE: CREAMLAND DAIRY WAREHOUSE ZONE ATLAS/DRG. FILE #: H-14
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: IOT 8-13, BLOCK 1, MATTHEW ADDITION
CITY ADDRESS: 1801 SECOND STREET NW

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC
ADDRESS: 10205 Snowflake Ct. NW
CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar
PHONE: (505) 899-5570
ZIP CODE: 87114

OWNER: _____
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CONTACT: _____
PHONE: _____
ZIP CODE: _____

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ADDRESS: _____
CITY, STATE: _____

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PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

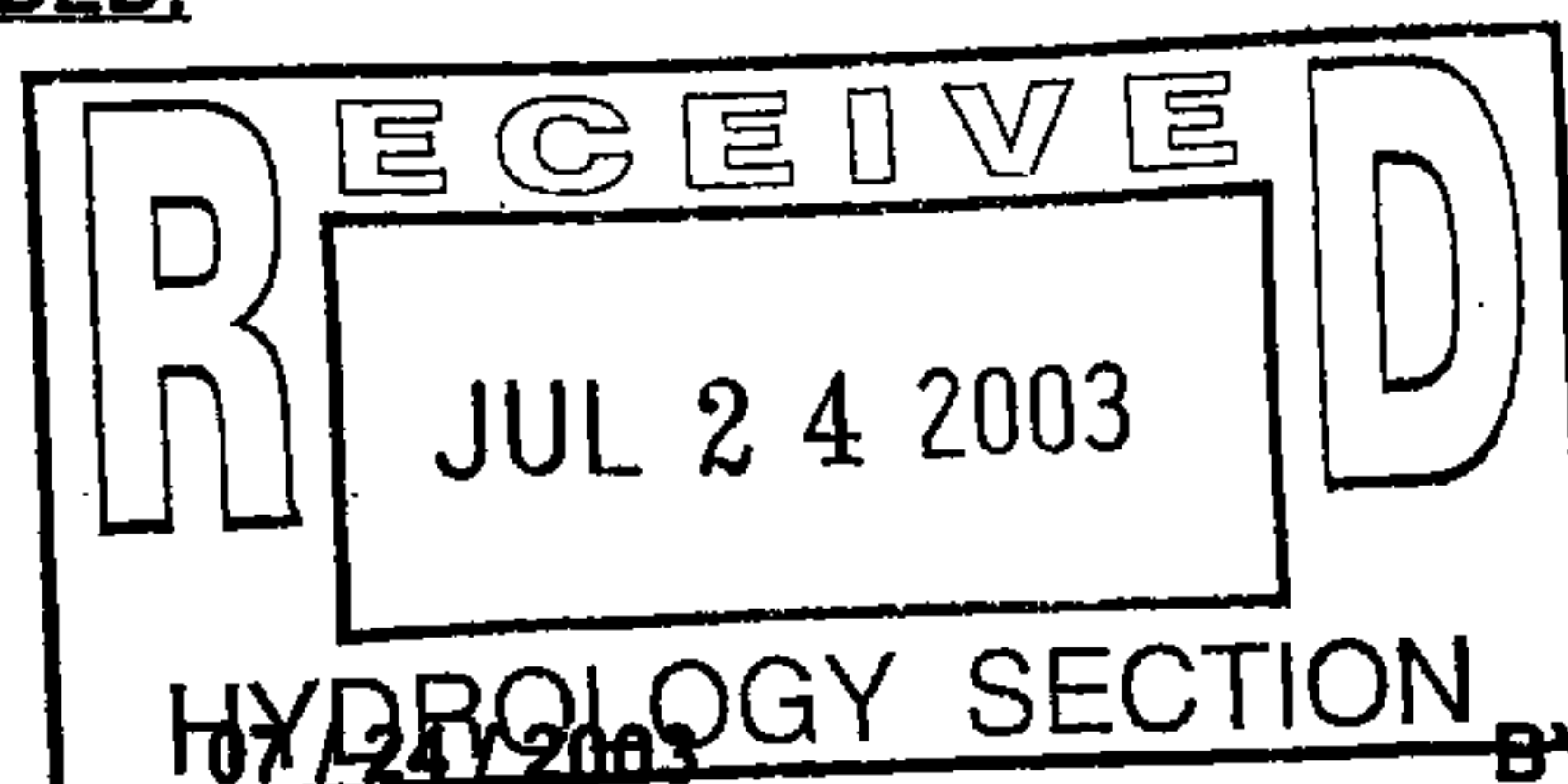
☒ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE
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☐ FOUNDATION PERMIT APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: _____ BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

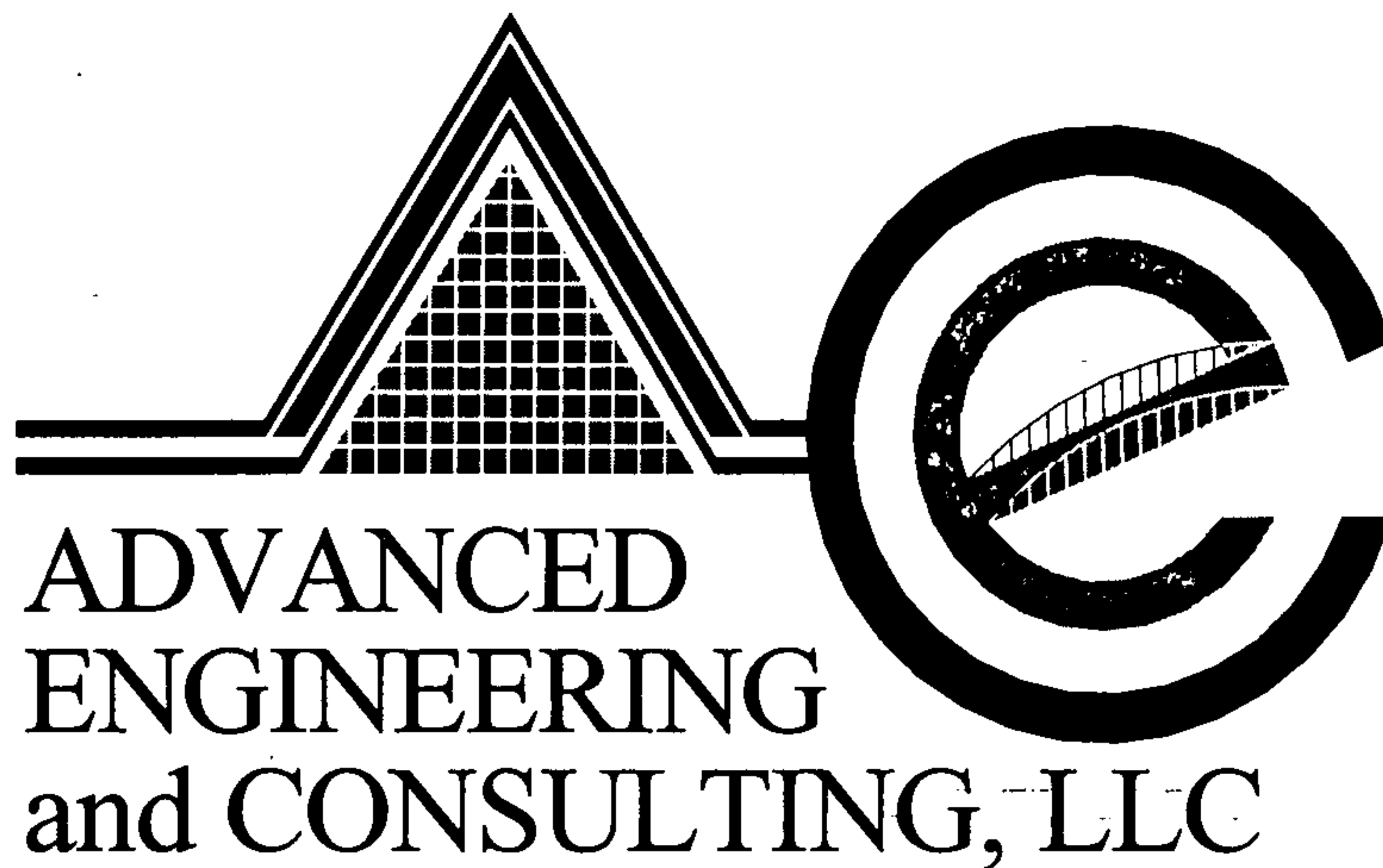
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DRAINAGE REPORT
FOR

CREAMLAND DAIRY WAREHOUSE

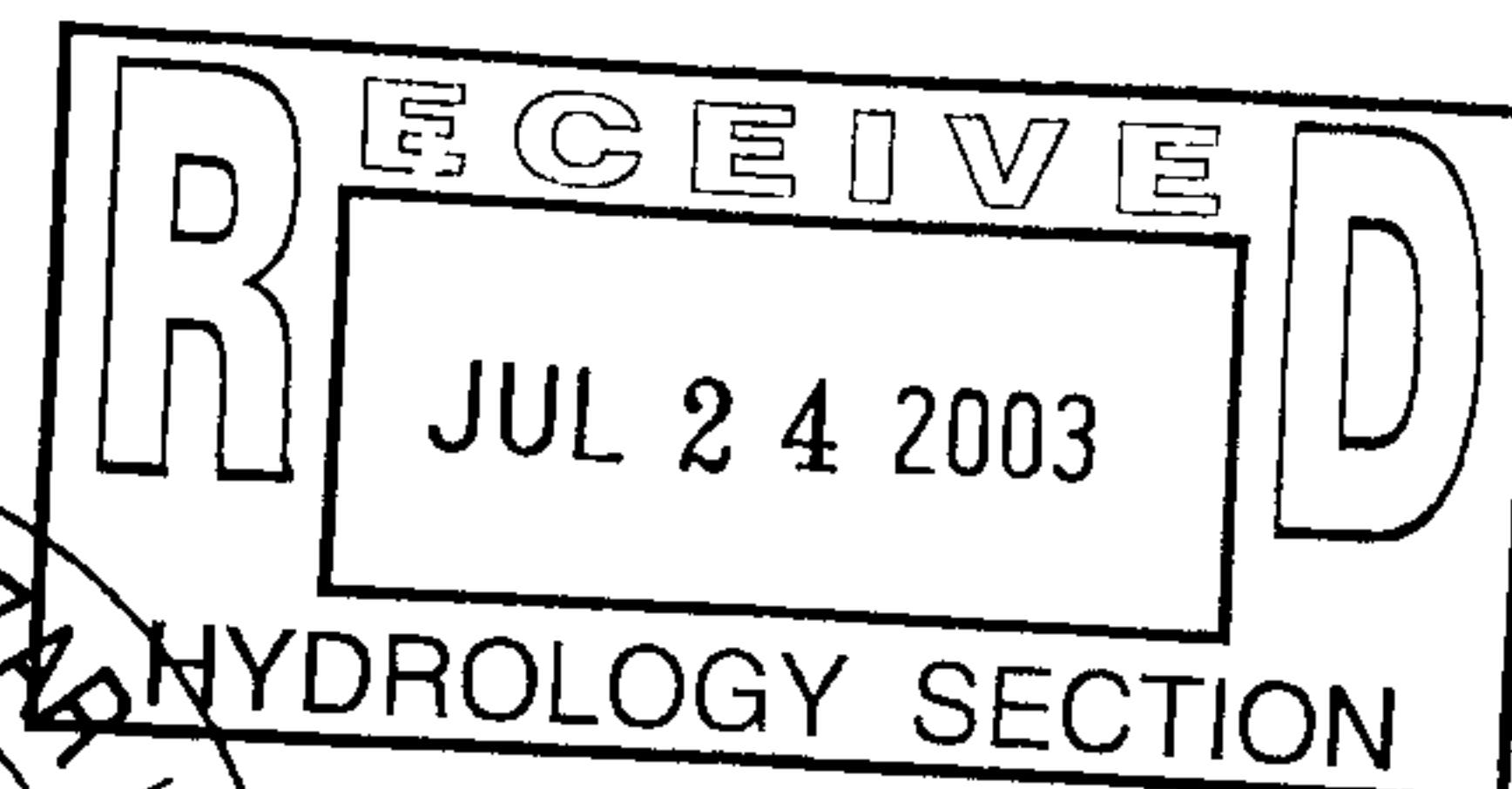
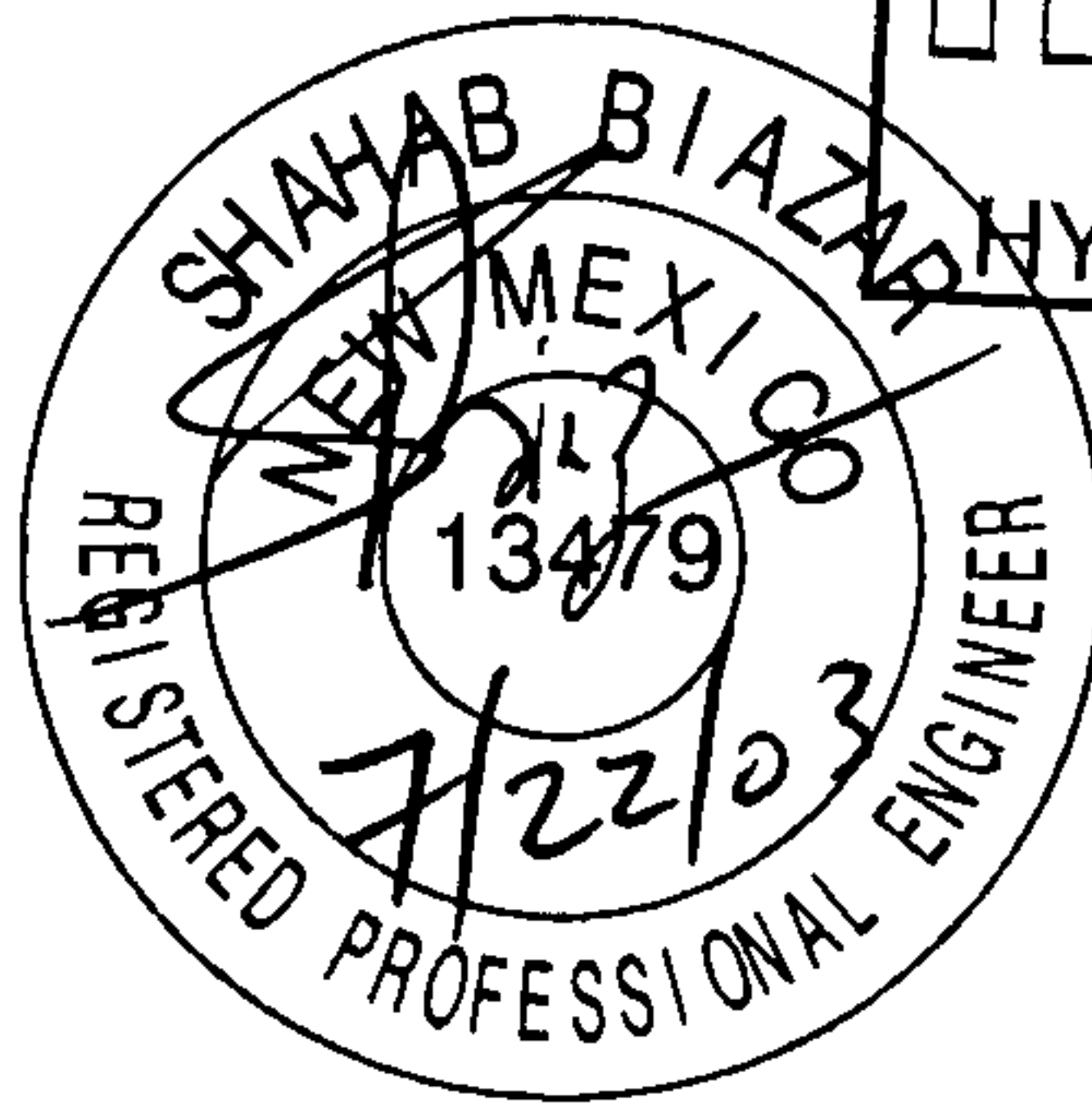
1801 SECOND ST. NW

Prepared by:

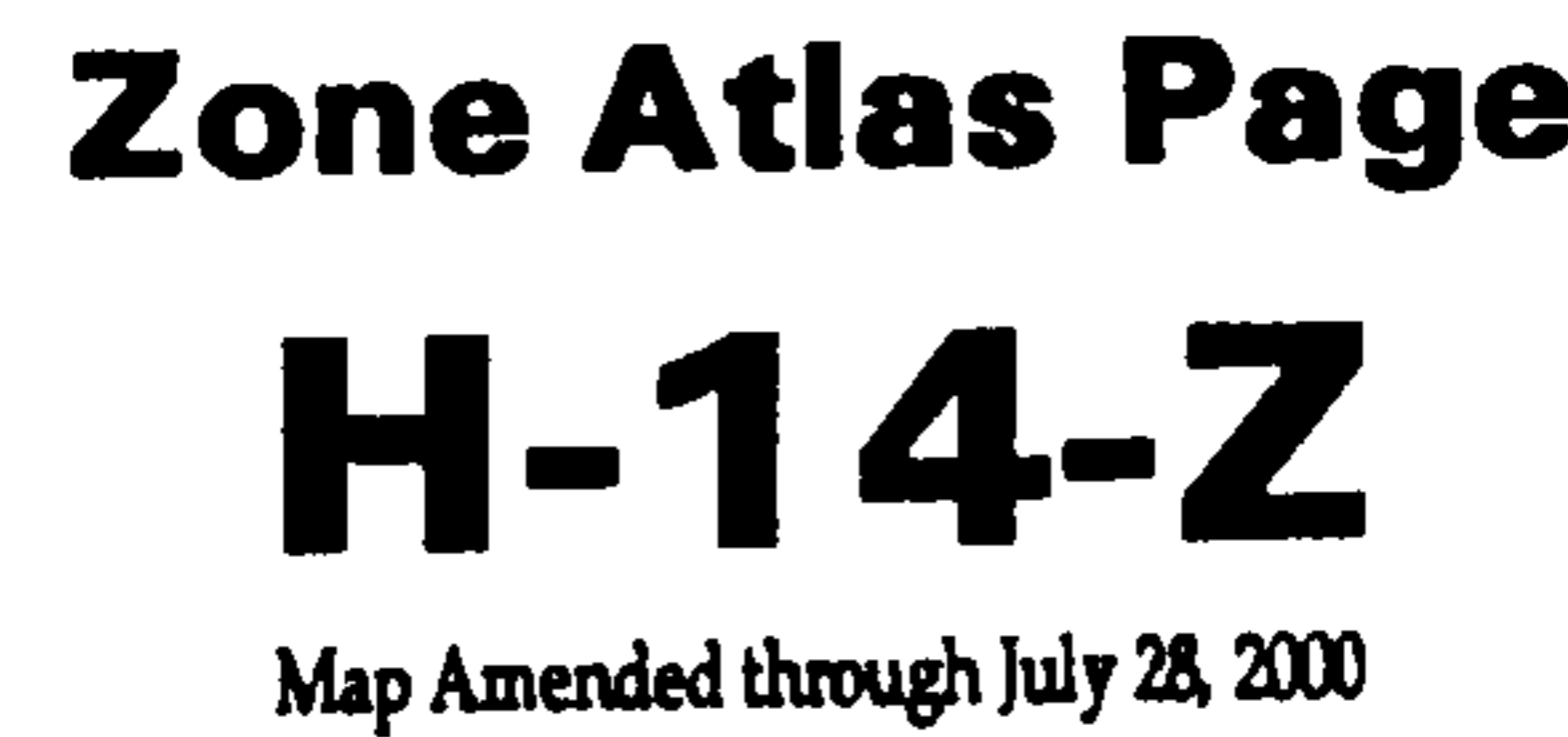
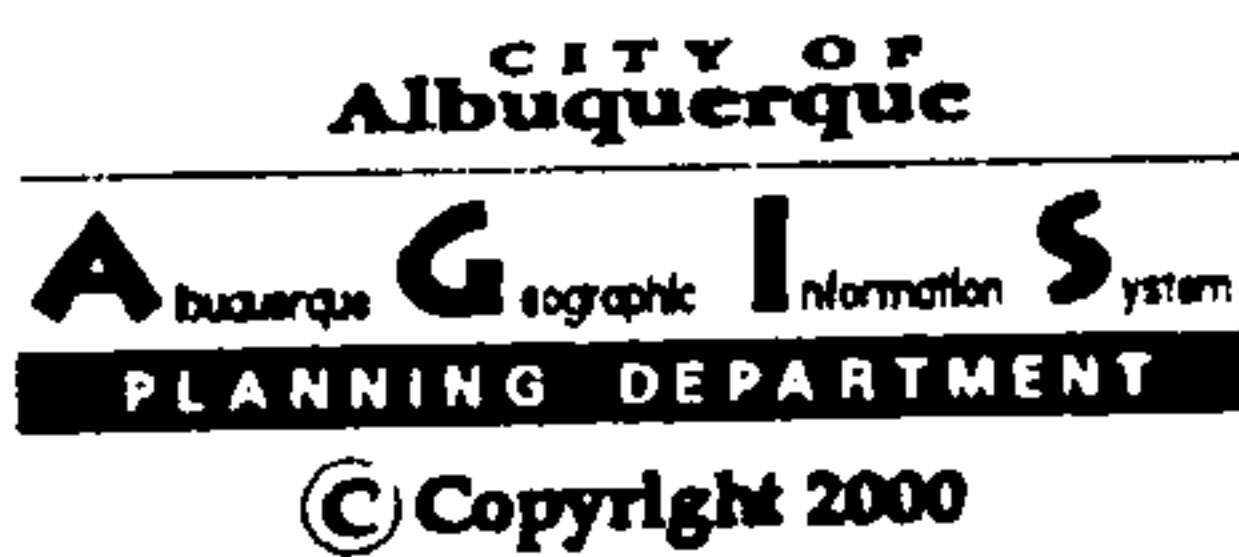
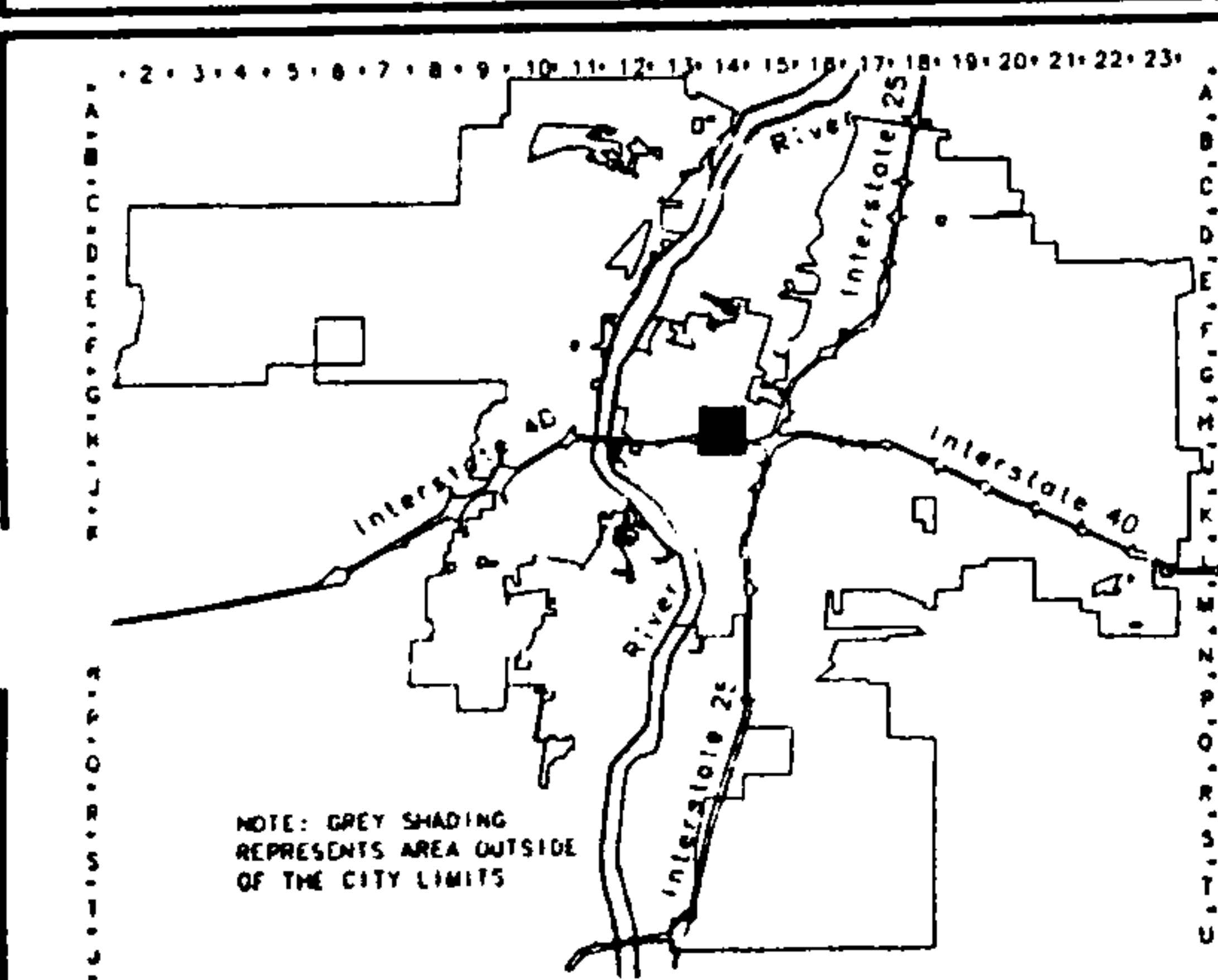


10205 Snowflake Ct. NW
Albuquerque, New Mexico 87114

July, 2003



Shahab Biazar
PE NO. 13479



Location

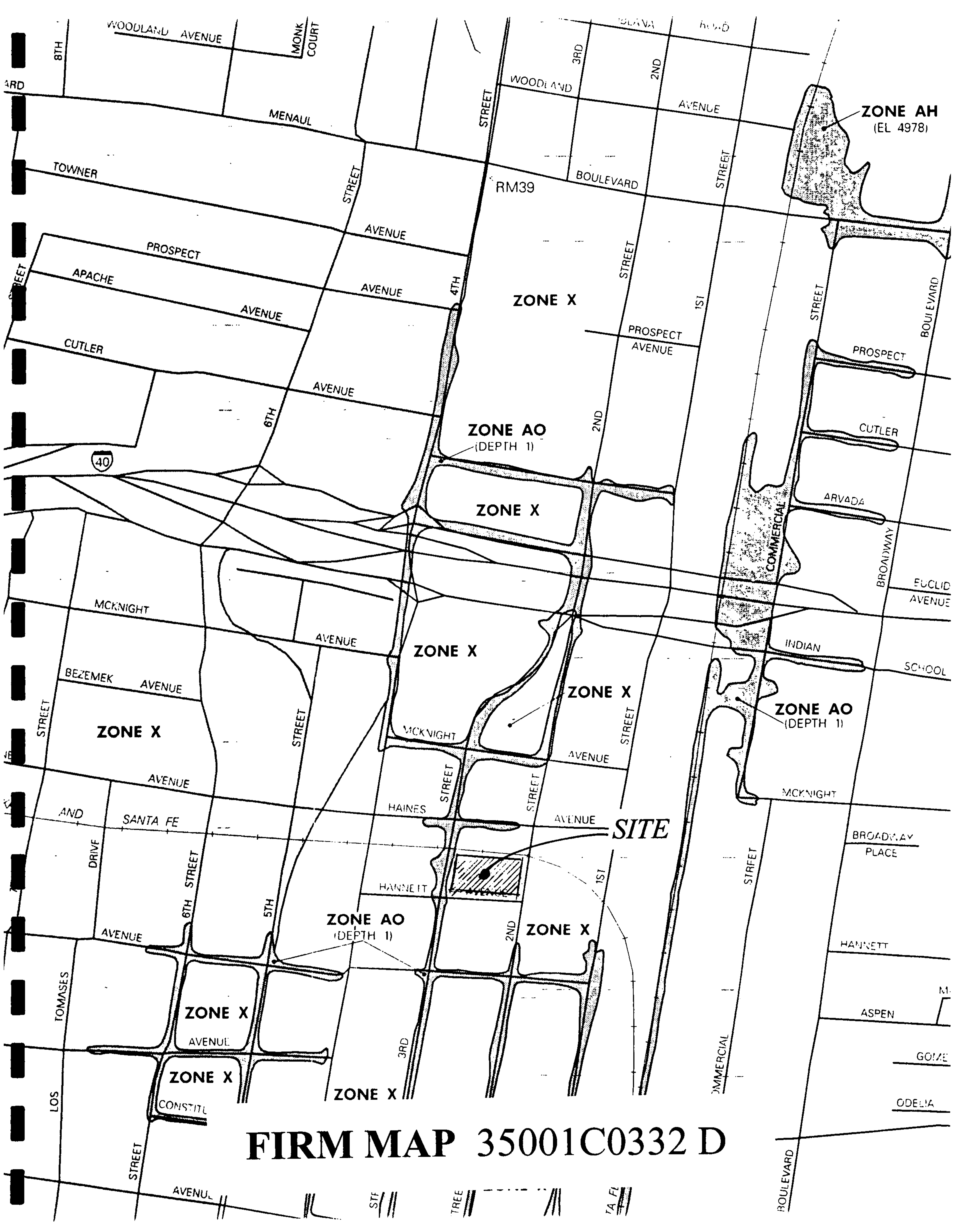
Creamland Dairy Warehouse is located between 2nd and 3rd Street on north side of Hannel Avenue at 1801 2nd Street NW. See attached Zone Atlas page number H-14 for exact location. The owners are proposing to build a new building.

Purpose

The purpose of this drainage report is to present a grading and drainage solution for the proposed sites. We are requesting rough grading approval and building permit.

Existing Drainage Conditions

The site is fairly flat. The runoff drains to 2nd Street, 3rd Street, Hannel Avenue NE. The runoff from there drains to some storm sewer inlets located at the northeast and northwest corner of 2nd Street and Hannel Avenue and 3rd Street and Hannel Avenue. There are on offsite runoff that would enter the site. The site does not fall within a 100-year storm. See portion of the attached FIRM Map 35001C0332 D for the location of the site. Since the entire site is impervious, the site generates a runoff of 4.58 cfs.



FIRM MAP 35001C0332 D

Proposed Conditions and On-Site Drainage Management Plan

The drainage pattern will remain the same. Since we are providing landscaping areas the amount of impervious areas are decreasing. Therefore, under the developed conditions the runoff is 4.23 cfs which is slightly less than existing conditions. The runoff will continue to drain to the existing inlets at the northwest corner of 2nd Street and Hannet Avenue and to existing inlet at the northwest corner of 3rd Street and Hannet Avenue.

Calculations

City of Albuquerque, Development Process Manuel, Section 22.2, Hydrology Section, revised January, 1993, was used for runoff calculations. See section this report for Summary Table for runoff results. See also this report for AHYMO input and output files for runoff calculations.

RUNOFF CALCULATION RESULTS

BASIN	AREA (SF)	AREA (AC)	AREA (MI ²)
ONSITE	42372.92	0.9727	0.001520

HISTORICAL

BASIN	Q-100 CFS	Q-10 CFS	TREATMENT A, B, C, D
ONSITE	1.52	0.36	100%, 0%, 0%, 0%

EXISTING

BASIN	Q-100 CFS	Q-10 CFS	TREATMENT A, B, C, D
ONSITE	4.58	3.03	0%, 0%, 0%, 100%

PROPOSED

BASIN	Q-100 CFS	Q-10 CFS	TREATMENT A, B, C, D
ONSITE	4.23	2.71	0%, 20%, 0%, 80%

RUNOFF CALCULATIONS

The site is @ Zone 2

DEPTH (INCHES) @ 100-YEAR STORM

$P_{60} = 2.01 \text{ inches}$

$P_{360} = 2.35 \text{ inches}$

$P_{1440} = 2.75 \text{ inches}$

DEPTH (INCHES) @ 10-YEAR STORM

$P_{60} = 2.01 \times 0.667$
 $= 1.34 \text{ inches}$

$P_{360} = 1.57$

$P_{1440} = 1.83$

See the summary output from AHYMO calculations.

Also see the following summary tables.

AHYMO INPUT FILE

```
*
* ZONE 2
*
*****
*               100-YEAR,  6-HR STORM               *
*****
START          TIME=0.0
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=2.01 IN RAIN SIX=2.35 IN
               RAIN DAY=2.75 IN DT=0.03333 HR

* HISTORICAL
COMPUTE NM HYD ID=1 HYD NO=101.0 AREA=0.001520 SQ MI
               PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00
               TP=0.1333 HR MASS RAINFALL=-1

* EXISITING
COMPUTE NM HYD ID=1 HYD NO=102.0 AREA=0.001520 SQ MI
               PER A=0.00 PER B=0.00 PER C=0.00 PER D=100.00
               TP=0.1333 HR MASS RAINFALL=-1

* PROPOSED
COMPUTE NM HYD ID=1 HYD NO=103.0 AREA=0.001520 SQ MI
               PER A=0.00 PER B=15.00 PER C=0.00 PER D=85.00
               TP=0.1333 HR MASS RAINFALL=-1
*****
*               10-YEAR, 6-HR STORM (UNDER HISTORICAL CONDITIONS)
*****
* ON-SITE
START          TIME=0.0
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=1.34 IN RAIN SIX=1.57 IN
               RAIN DAY=1.83 IN DT=0.03333 HR

* HISTORICAL
COMPUTE NM HYD ID=1 HYD NO=111.0 AREA=0.001520 SQ MI
               PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00
               TP=0.1333 HR MASS RAINFALL=-1

* EXISITING
COMPUTE NM HYD ID=1 HYD NO=112.0 AREA=0.001520 SQ MI
               PER A=0.00 PER B=0.00 PER C=0.00 PER D=100.00
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FINISH
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SUMMARY OUTPUT FILE

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -
INPUT FILE = 200332

- VERSION: 1997.02d

RUN DATE (MON/DAY/YR) =07/24/2003
USER NO. = AHYMO-I-9702c01000R31-AH

		FROM	TO		PEAK	RUNOFF	TIME TO	CFS	PAGE = 1
COMMAND	HYDROGRAPH IDENTIFICATION	ID NO.	ID NO.	AREA (SQ MI)	DISCHARGE (CFS)	VOLUME (AC-FT)	PEAK (HOURS)	PER ACRE	NOTATION
START									TIME= .00
RAINFALL TYPE= 1									RAIN6= 2.350
COMPUTE NM HYD	101.00	-	1	.00152	1.52	.043	1.533	1.564	PER IMP= .00
COMPUTE NM HYD	102.00	-	1	.00152	4.58	.171	1.500	4.708	PER IMP= 100.00
COMPUTE NM HYD	103.00	-	1	.00152	4.23	.155	1.500	4.353	PER IMP= 85.00
START									TIME= .00
RAINFALL TYPE= 1									RAIN6= 1.570
COMPUTE NM HYD	111.00	-	1	.00152	.36	.010	1.533	.374	PER IMP= .00
COMPUTE NM HYD	112.00	-	1	.00152	3.03	.108	1.500	3.112	PER IMP= 100.00
COMPUTE NM HYD	113.00	-	1	.00152	2.71	.096	1.500	2.785	PER IMP= 85.00
FINISH									