

LEGAL DESCRIPTION:

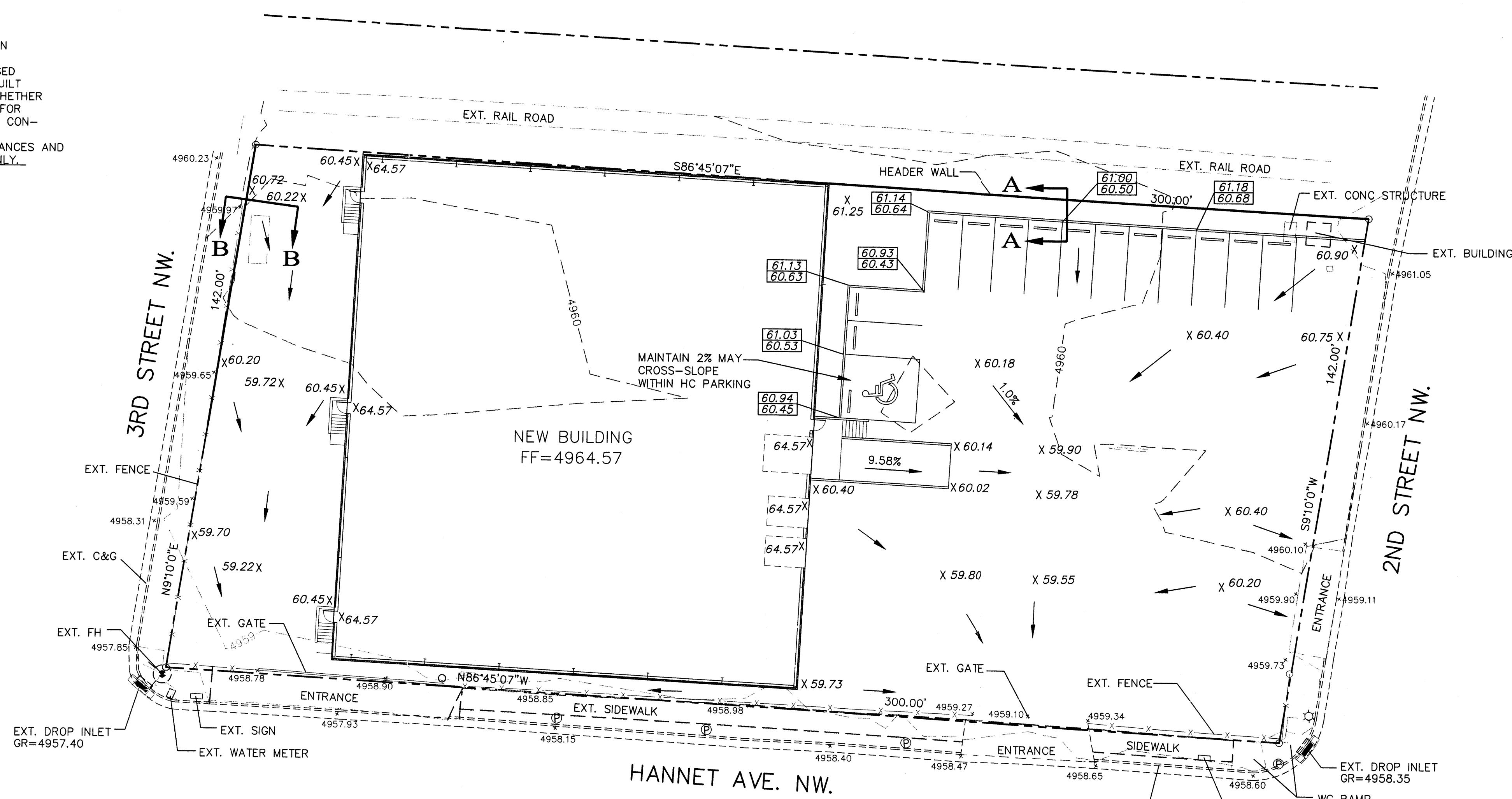
LOTS 8-13, BLOCK 1, MATTHEW ADDITION
CONTAINING 42,372.92 SF. (0.9727 AC.) MORE OR LESS.

GENERAL NOTES:





1. ADD 4900 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 4958.365 FEET ABOVE SEA LEVEL.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY. BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 4:1 MAXIMUM.

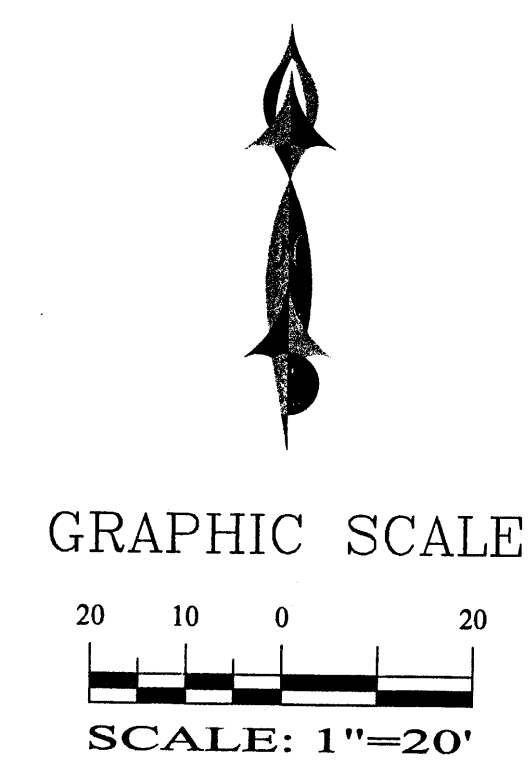
EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPOSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

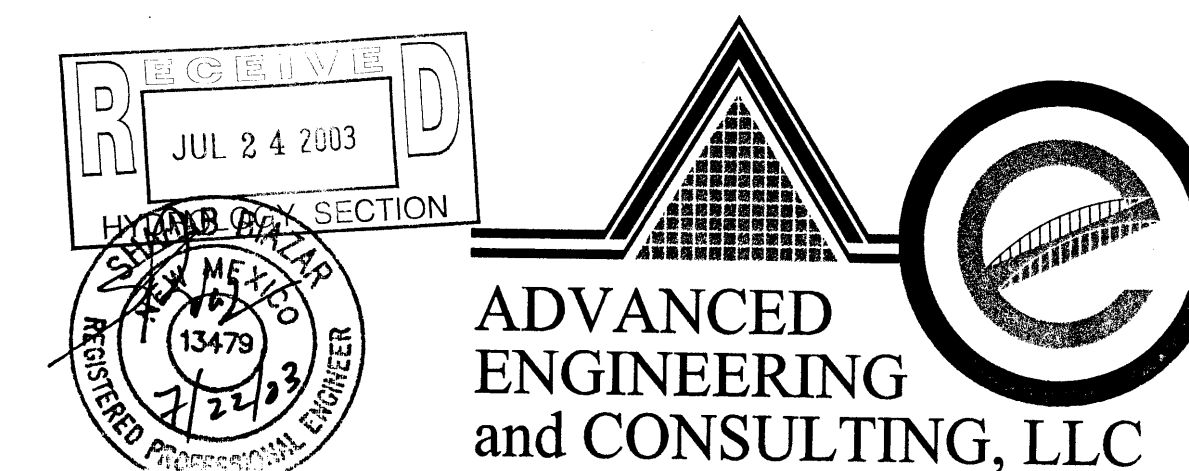


LEGEND

- | | | | |
|---|---------------------------------|-------|----------------|
|  | EXISTING SAS MANHOLE | | |
|  | EXISTING METER | | |
|  | EXISTING VALVE W/BOX | | |
|  | EXISTING FIRE HYDRANT | | |
| -----EX. 8" SAS----- | EXISTING SANITARY SEWER LINE | | |
| -----EX. 16" WL----- | EXISTING WATER LINE | | |
| ===== | EXISTING CURB & GUTTER | | |
| ===== | PROPOSED CURB & GUTTER | | |
| ---5100--- | EXISTING CONTOUR (MAJOR) | | |
| ---5102--- | EXISTING CONTOUR (MINOR) | | |
| ===== | BOUNDARY LINE | | |
| ----- | EASEMENT | | |
| ===== | LIMITS OF TOP OF EXISTING SLOPE | | |
| TC → <table border="1" data-bbox="2558 1201 2597 1230"><tr><td>70.90</td></tr><tr><td>70.40</td></tr></table> | 70.90 | 70.40 | PROPOSED GRADE |
| 70.90 | | | |
| 70.40 | | | |
| FL → | | | |
| X 70.28 | PROPOSED SPOT ELEVATION | | |
| → | PROPOSED FLOW DIRECTION | | |
| ===== | PROPOSED HEADER WALL | | |
| * 5265.16 | EXISTING GRADE | | |
| ---⚡--- | EXISTING POWER LINES | | |
| ---X---X--- | EXISTING FENCE | | |
| Ⓢ | EXISTING POWER POLE | | |
| ☼ | EXISTING LIGHT POLE | | |



ROUGH GRADING APPROVAL _____ DATE _____



SHAHAB BIAZAR
P.E. #13479

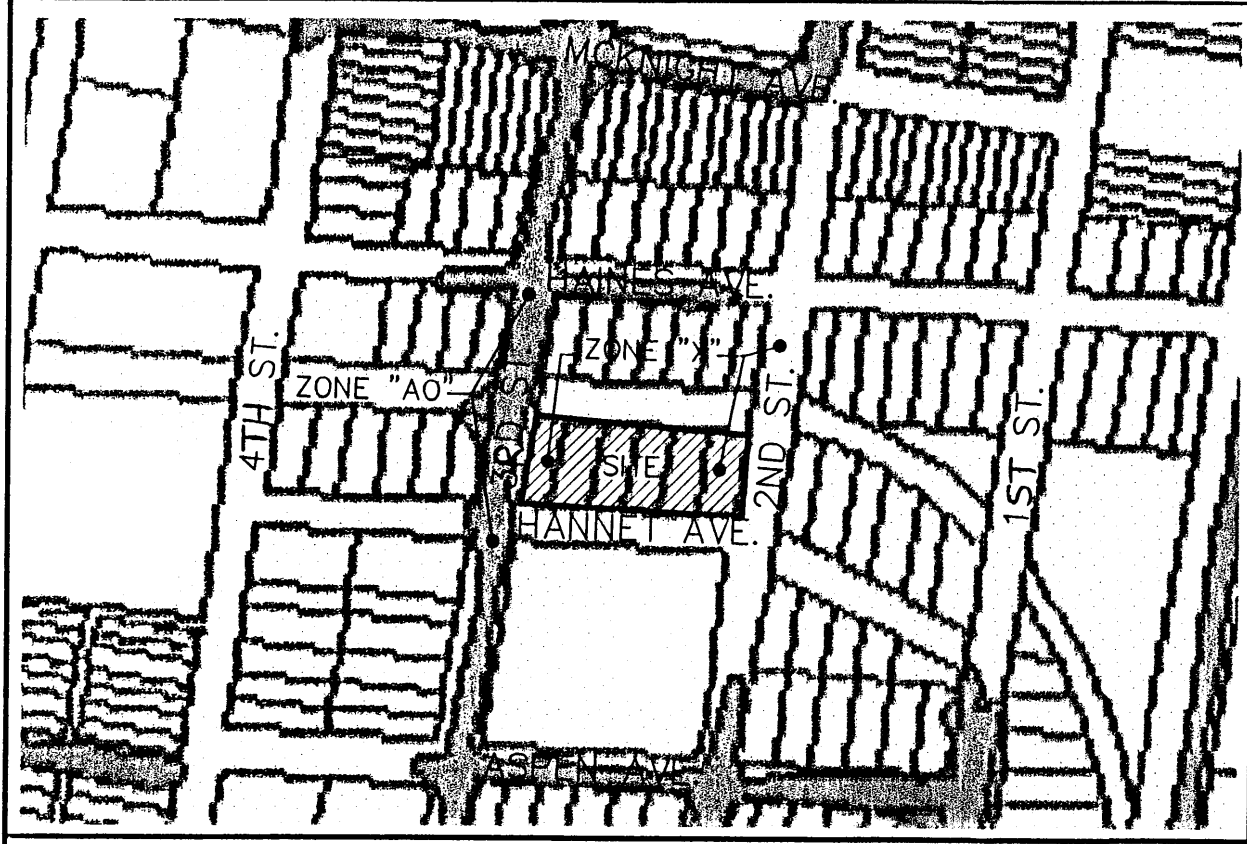
10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

(303) 899-5570

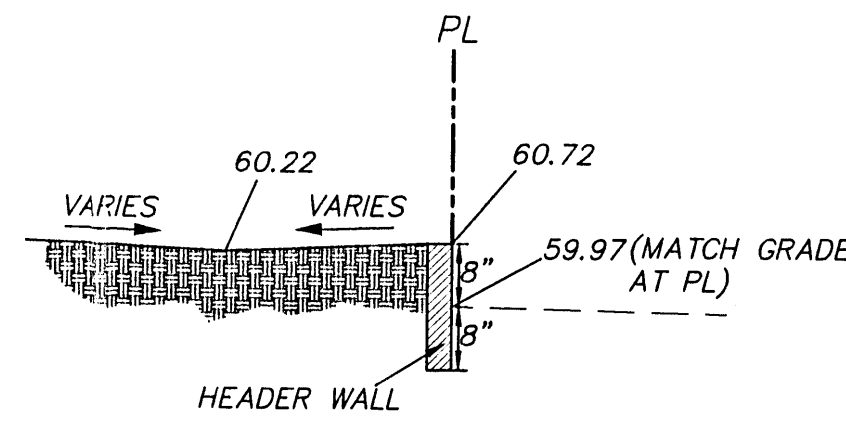
CREAMLAND DAIRY WAREHOUSE GRADING AND DRAINAGE PLAN
--

DRAWING: 200332-GR.DWG	DRAWN BY: SBB	DATE: 07-22-03	SHEET # 1 OF 1
---------------------------	------------------	-------------------	-------------------

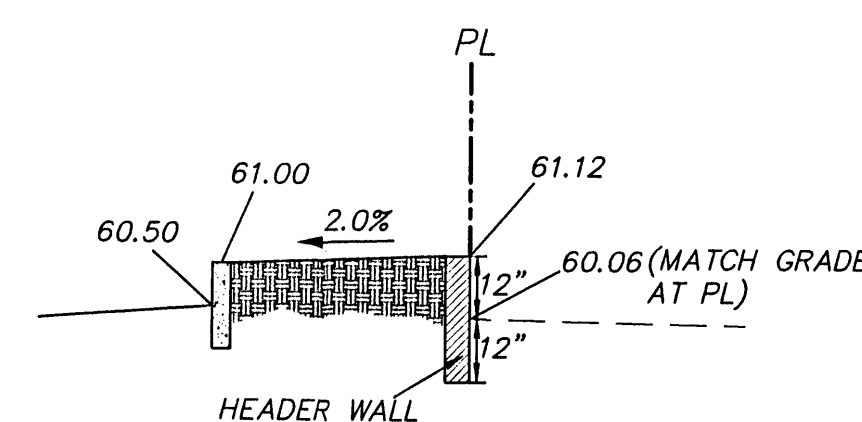
LAST REVISION: 07-2



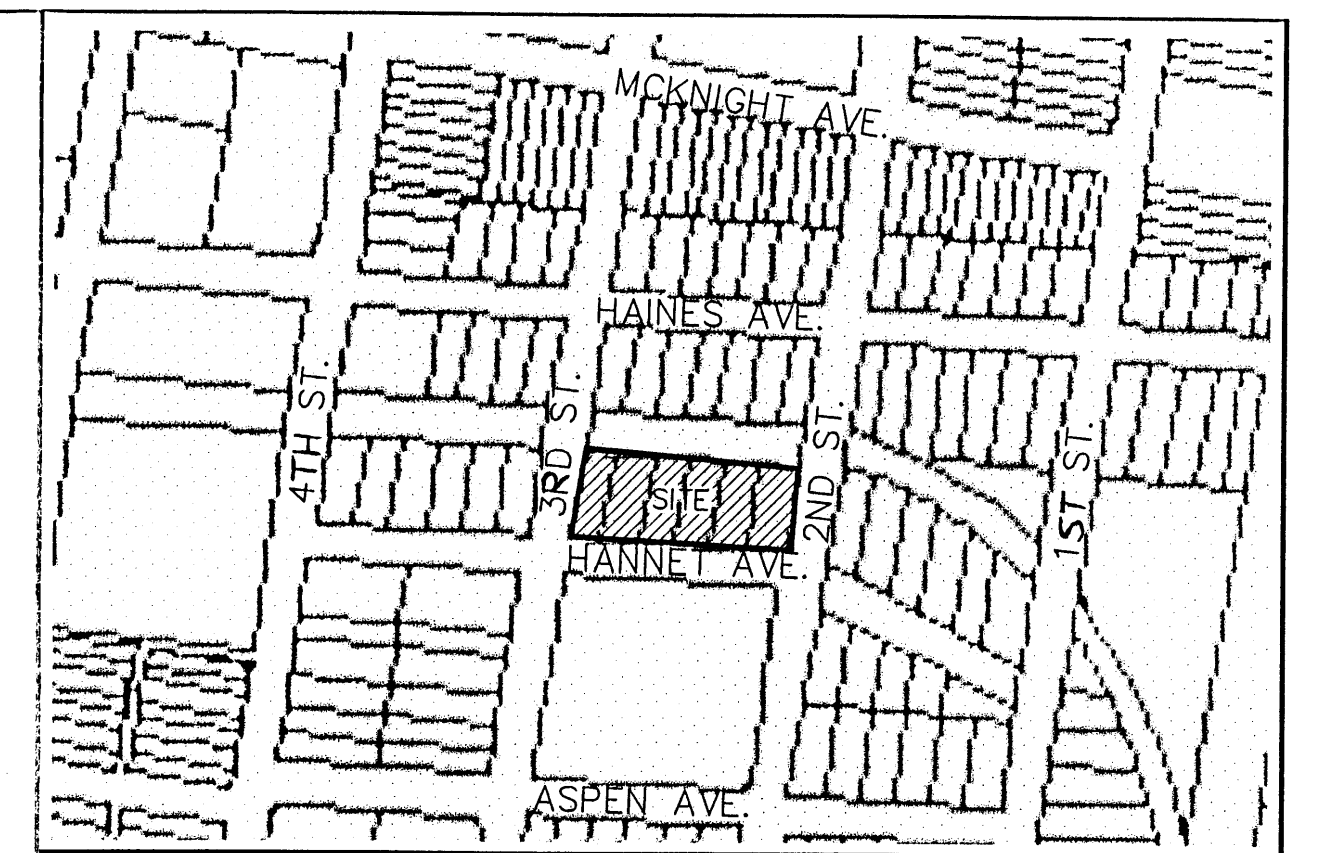
FIRM MAP: 35001C0332 D



SECTION B-B
NTS



SECTION A-A
NTS



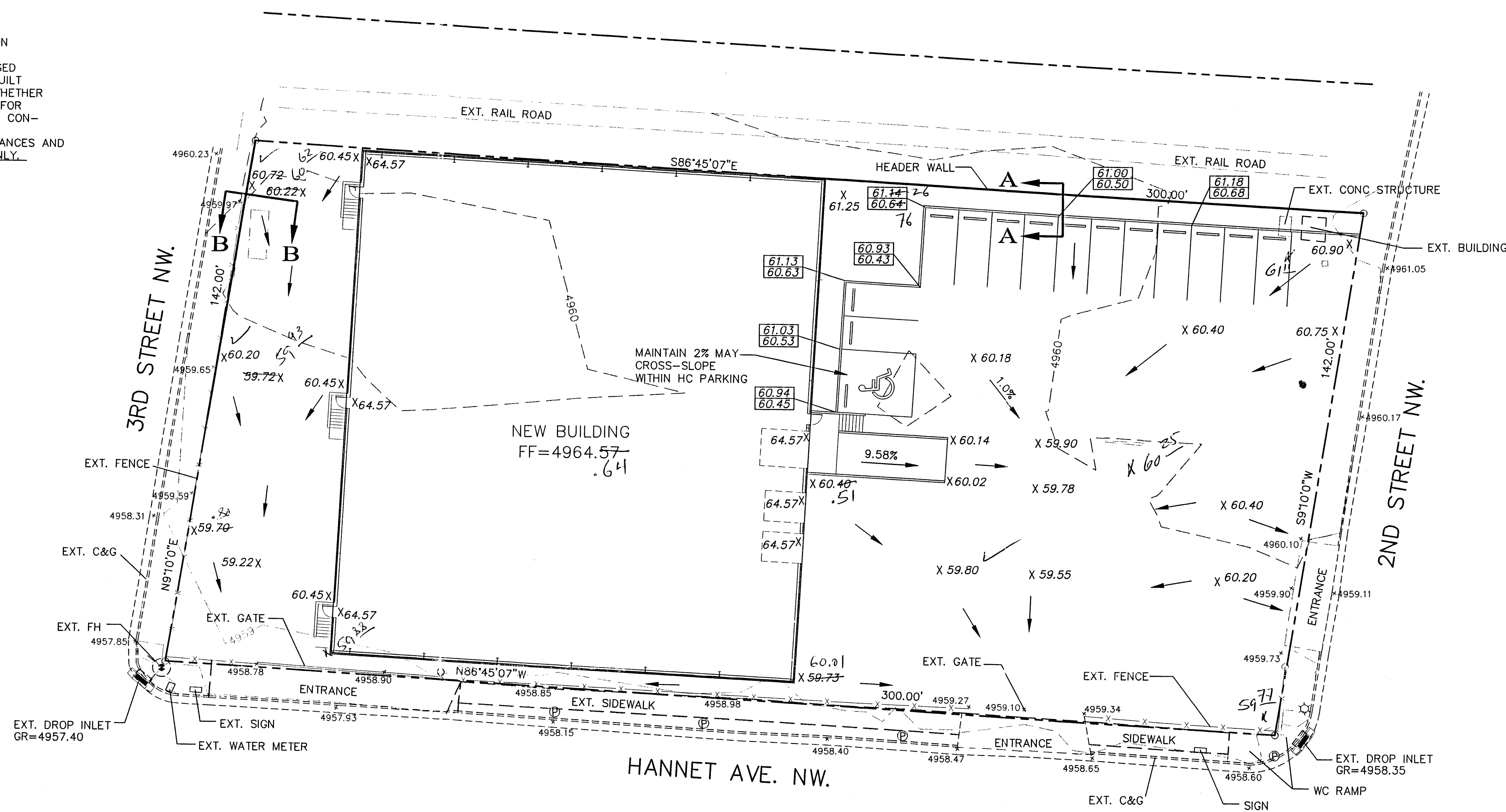
VICINITY MAP: H-14-Z

GENERAL NOTES:

- 1: ADD 4900 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
- 2: CONTOUR INTERVAL IS ONE (1) FOOT.
- 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 4958.365 FEET ABOVE SEA LEVEL.
- 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5: THIS IS NOT A BOUNDARY SURVEY. BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 6: SLOPES ARE AT 4:1 MAXIMUM.

EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- PROPOSED FLOW DIRECTION
- PROPOSED HEADER WALL
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- EXISTING POWER POLE
- EXISTING LIGHT POLE

I SHAHAB BIAZAR, NMPE, OF THE ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED JULY 22, 2003. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.

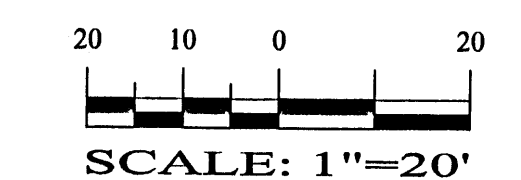
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE # 13479

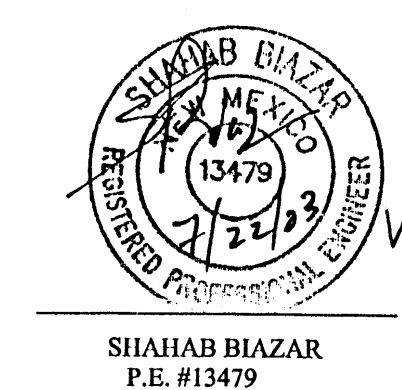
2/2/04
DATE



GRAPHIC SCALE



ROUGH GRADING APPROVAL DATE



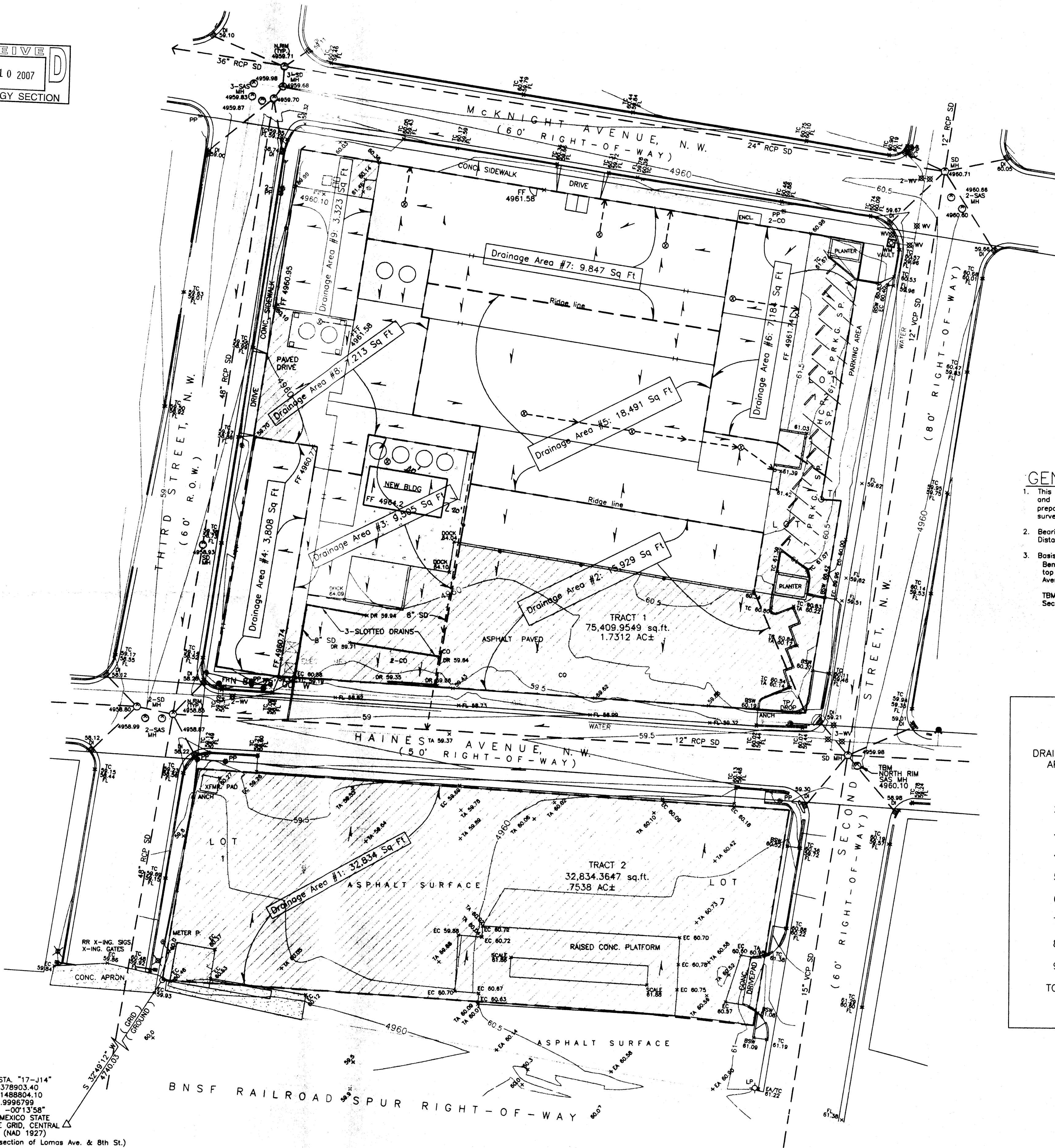
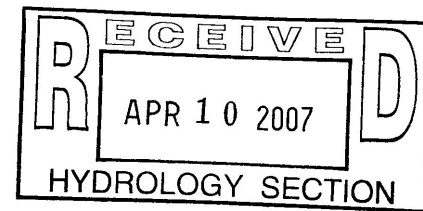
ADVANCED
ENGINEERING
and CONSULTING, LLC

SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

CREAMLAND DAIRY WAREHOUSE
GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200332-GR.DWG	SBB	07-22-03	1 OF 1



Stormwater Drainage Flows and Volumes

1. Methodology: City of Albuquerque Development Process Manual - Chapter 22

- Precipitation Zone: Zone 2 per Table A-1
- Design Storm for Runoff Volume: 6 Hour with 2, 10 and 100 year return periods.
- Land Treatment: Type D (Impervious areas, pavement and roofs) per Table A-4
- Excess Precipitation (inches): 2-year = 0.79; 10-year = 1.34; 100-year = 2.12 per Table A-8
- Peak Discharge (cfs/acre) with 0.2 Hour Time of Concentration: 2-year = 1.86; 10-year = 3.14; 100-year = 4.70 per Table A-9

Drainage Area	Area		Runoff Volume - Acre Feet			Peak Discharge - CFS			Discharge Location
	SF	Acres	2-Year	10-Year	100-Year	2-Year	10-Year	100-Year	
1	32,834	0.75	0.049	0.083	0.132	1.39	2.36	3.52	South side of Haines with outlet to DI at SE corner of Haines & Third
2	15,929	0.37	0.024	0.041	0.065	0.69	1.16	1.74	North side of Haines with outlet to DI at NE corner of Haines & Third
3	9,505	0.22	0.014	0.025	0.039	0.41	0.69	1.74	Two 8-inch storm drains connected to 12-inch SD in Haines Avenue
4	3,808	0.09	0.006	0.010	0.016	0.17	0.28	0.42	East side of Third with outlet to DI at NE corner of Haines & Third
5	18,491	0.42	0.028	0.047	0.074	0.78	1.32	1.97	West side of Second with outlet to DI at NW corner of Second & Haines
6	7,184	0.16	0.011	0.018	0.028	0.30	0.50	0.75	West side of Second with outlet to DI at NW corner of Second & Haines
7	9,847	0.23	0.015	0.026	0.041	0.43	0.72	1.08	South side of McKnight with outlet to DI at SE corner of McKnight & Third
8	7,213	0.17	0.011	0.019	0.030	0.32	0.53	0.79	East side of Third with outlet to DI at NE corner of Haines & Third
9	3,323	0.08	0.005	0.009	0.014	0.15	0.25	0.38	East side of Third with outlet to DI at SE corner of McKnight & Third

GENERAL NOTES:

- This is not a boundary survey; data is shown for orientation only. The boundary and topographic survey information depicted by this plan is based upon the survey prepared by Thomas D. Johnston, NMPS NO. 14269, dated 8/17/2006. The site survey and original site plan drawing was prepared by Wayjohn Surveying.
- Bearings are New Mexico State Plane, Central Zone. Distances are as measured between recovered monuments. Reference ACS 17-J14.
- Basis of Elevations:
Benchmark: ACS 1-3/4" aluminum disc, stamped "ACS BM 24-J14", epoxied on top of concrete curb, centered over a drop inlet, NNE quadrant of Constitution Avenue and Fourth Street, NW.
ELEV. 4958.365
TBM: North rim of sanitary sewer manhole in center of the intersection of Second Street and Haines Avenue, NW
ELEV. 4960.10

LEGAL DESCRIPTION

Lots numbered One (1) through Twelve (12), Block numbered Four (4), FRANCISCAN ADDITION, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on December 17, 1934 in Plat Book D, Page 13.

AND

Lots numbered One (1) through Seven (7), Block 7, and Lots numbered One (1) through Seven (7), Block Two (2), ALVARADO ADDITION, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on March 27, 1924 in Plat Book C2, Page 92.

FLOOD NOTE

The above described property is located within Zone "X" (Area determined to be outside the 0.2% annual chance of flood) per Community Panel No. 350002 0332 E, dated November 19, 2003, and is not located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only. McKnight Avenue, N.W., Haines Avenue, N.W., and Third Street, N.W. are located within Zone AO with indicated flood depth of 1 foot.

DRAINAGE AREA TABULATION

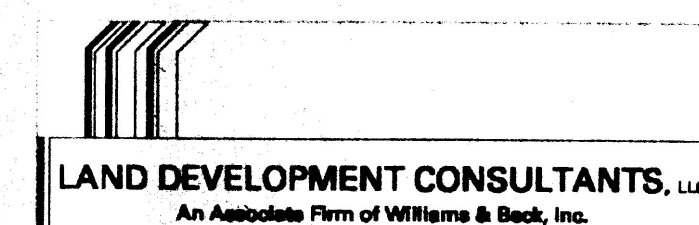
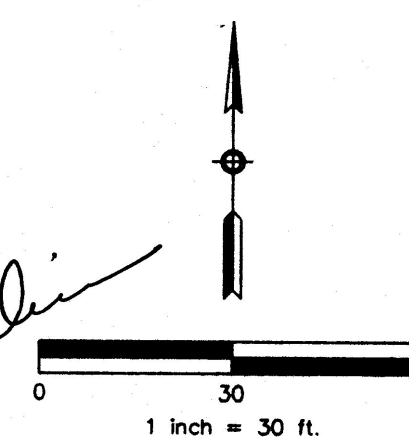
DRAINAGE AREA	ROOF AREA	PAVEMENT AREA	TOTAL AREA
1	0	32,834	32,834
2	4,594	11,335	15,929
3	5,245(a)	4,261	9,505
4	3,808	0	3,808
5	15,102	3,389	18,491
6	4,108	3,076	7,184
7	9,847	0	9,847
8	4,468	2,745	7,213
9	2,545	778	3,323
TOTAL	49,717	58,418	108,134

(a) Combined area of roof and loading dock.

LEGEND:

EM	ELECTRIC METER	SPOT ELEVATION	
GM	GAS METER	ELEVATIONS ARE TO FINISH SURFACES	
WV	WATER VALVE	EA	EDGE OF ASPHALT
WM	WATER METER	EC	EDGE OF CONCRETE
MH	MANHOLE (TYPE NOTED)	TA	TOP OF ASPHALT
CO	SEWER CLEANOUT	TC	TOP OF CURB / CONCRETE
FL	FLOWLINE		
FI	FIRE HYDRANT	BSW	BACK OF SIDEWALK
PP	POWER POLE	---	STORM DRAIN LINE
ANCH	ANCHOR	---	SANITARY SEWER
LP	LIGHT POLE	---	BURIED TELEPHONE CABLE
RD	ROOF DRAIN	---	GAS LINE
CLF	CHAIN LINK FENCE	---	WATER LINE
CBW	CONCRETE BLOCK WALL	---	OVERHEAD POWER LINE
FD	FLOW DIRECTION	---	OVERHEAD TELEPHONE CABLE
EC	EXISTING CONTOURS @ 0.5 FT. INTERVALS		
IC	INDEX CONTOURS @ 2.5 FT. INTERVALS		
P	PAVEMENT		
L	LOADING DOCK		
B	BUILDING		

ACS STA. "17-J14"
X = 378903.40
Y = 1488804.10
G-G = 9996799
= -0013358"
NEW MEXICO STATE
PLANE GRID, CENTRAL
ZONE (NAD 1927)
(Intersection of Lomas Ave. & 8th St.)



5620 B. SAN FRANCISCO DRIVE NE,
ALBUQUERQUE, NEW MEXICO 87109
Phone: (505) 797-4120 Fax: (505) 821-0392
email: ldc_llc@msn.com

TITLE: GRADING AND DRAINAGE PLAN
PROJECT FOR: CREAMLAND
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JOB #: 06-8068 DRAWN BY: CW
DATE: MARCH, 2007 SHEET NO. 1