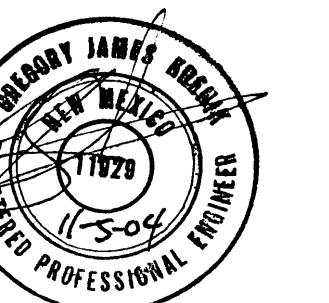




US DEPARTMENT OF THE INTERIOR BIA 2 SW REGIONAL HEADQUARTERS

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

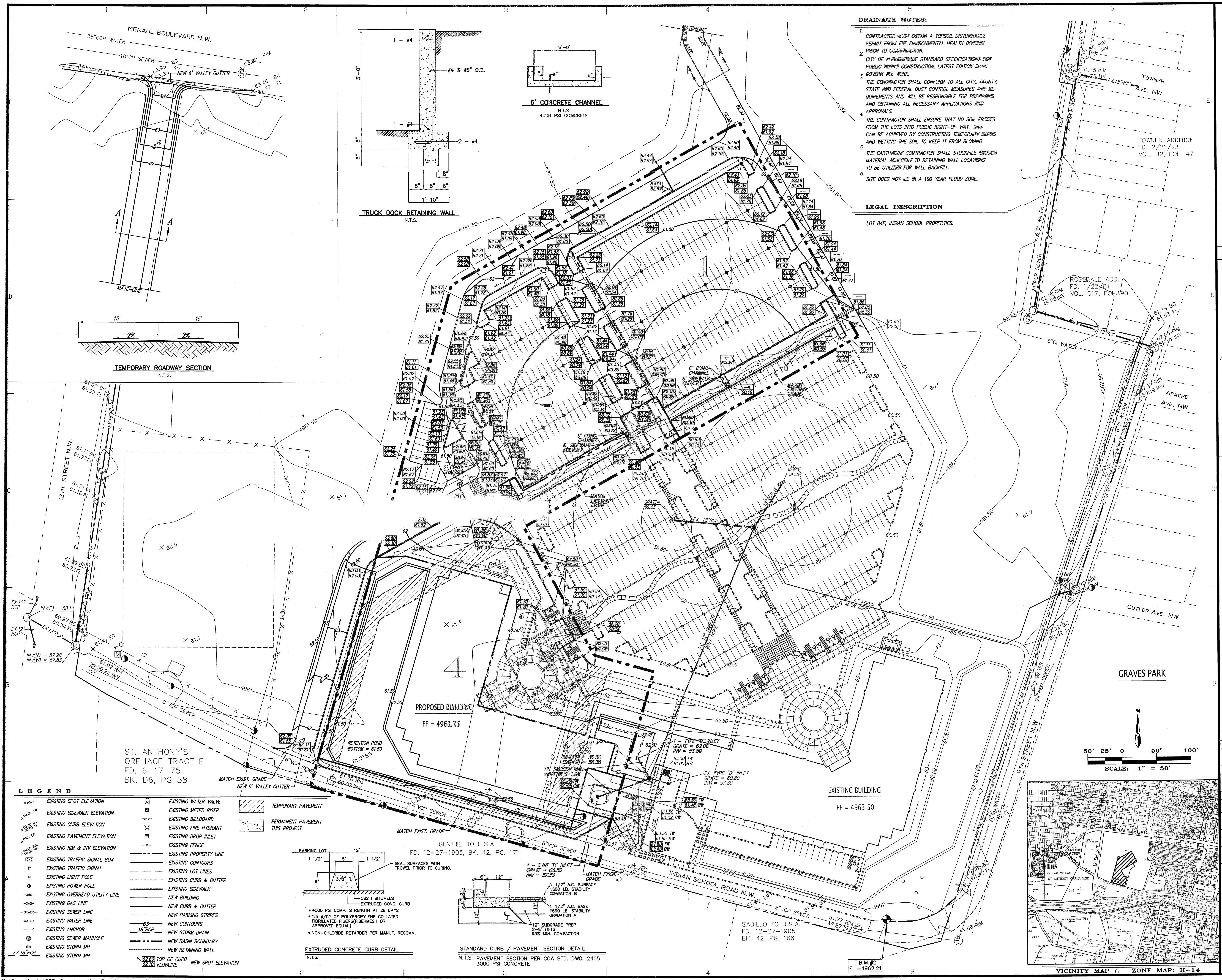
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PROJECT NO.	0414	
CAD DWG FILE		
DRAWN BY		
CHECKED BY		
DATE	09/29/04	

SHEET TITLE
GRADING & DRAINAGE PLAN

C101

sheet

A408381A-2/A408381D-PHASE2.dwg, 11/5/2004 1:18:11 PM, chris



PROPOSED HOTEL
INDIAN SCHOOL AT 12TH ST.
ALBUQUERQUE, NEW MEXICO

DRB SUBMITTAL
SITE PLAN FOR BUILDING PERMIT

ARCHITECTS PLANNERS

STUDIO SOUTHWEST
ARCHITECTS, INC.
2101 MOUNTAIN RD NW
ALBUQUERQUE, NM 87104
505-843-9639
CONTACT: BOB HEISER

CONSENSUS PLANNING
302 8th Street NW
ALBUQUERQUE, NM 87102
505-764-9801
CONTACT: JIM STROZIER

CIVIL AND
STRUCTURAL
ENGINEER

MARK GOODWIN + ASSOC.
-
ALBUQUERQUE, NM 87110
505-828-2200
CONTACT: GREG KRINICK

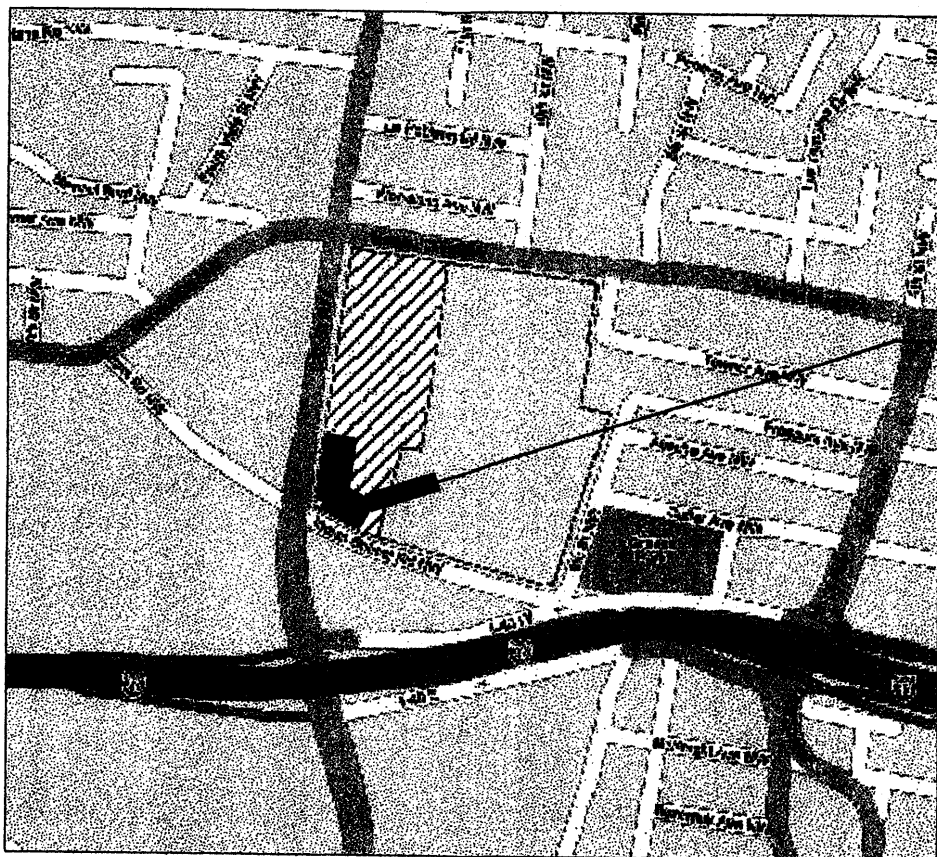
LANDSCAPE
ARCHITECT

HILLTOP LANDSCAPE ARCHITECTS +
CONTRACTORS
7909 EDITH BLVD NE
ALBUQUERQUE, NM 87113
505-898-9690
CONTACT: CARRIE JOHNSON

DRAWINGS

- G-001 TITLE SHEET
- S-01 ENLARGED SITE PLAN
- S-02 OVERALL SITE PLAN
- SP-01 IPFDC MASTER PLAN (SITEPLAN)
- SP-02 IPFDC MASTER PLAN (BLDG. HEIGHT + SETBACK PLAN)
- AS401 ARCHITECTURAL SITE DETAILS
- AS501 ARCHITECTURAL SITE DETAILS
- A-201 BUILDING ELEVATIONS
- A-202 BUILDING ELEVATIONS
- C-101 CONCEPTUAL GRADING AND DRAINAGE PLAN
- C-102 CONCEPTUAL UTILITY PLAN
- L-1 LANDSCAPING PLAN

VICINITY MAP



0 4000' 8000' (NOTE: SCALE APPROXIMATE)
ZONE ATLAS MAP: H-13
NORTH



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CONSULTANTS

Architect Engineer

DRB
SUBMITTAL

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

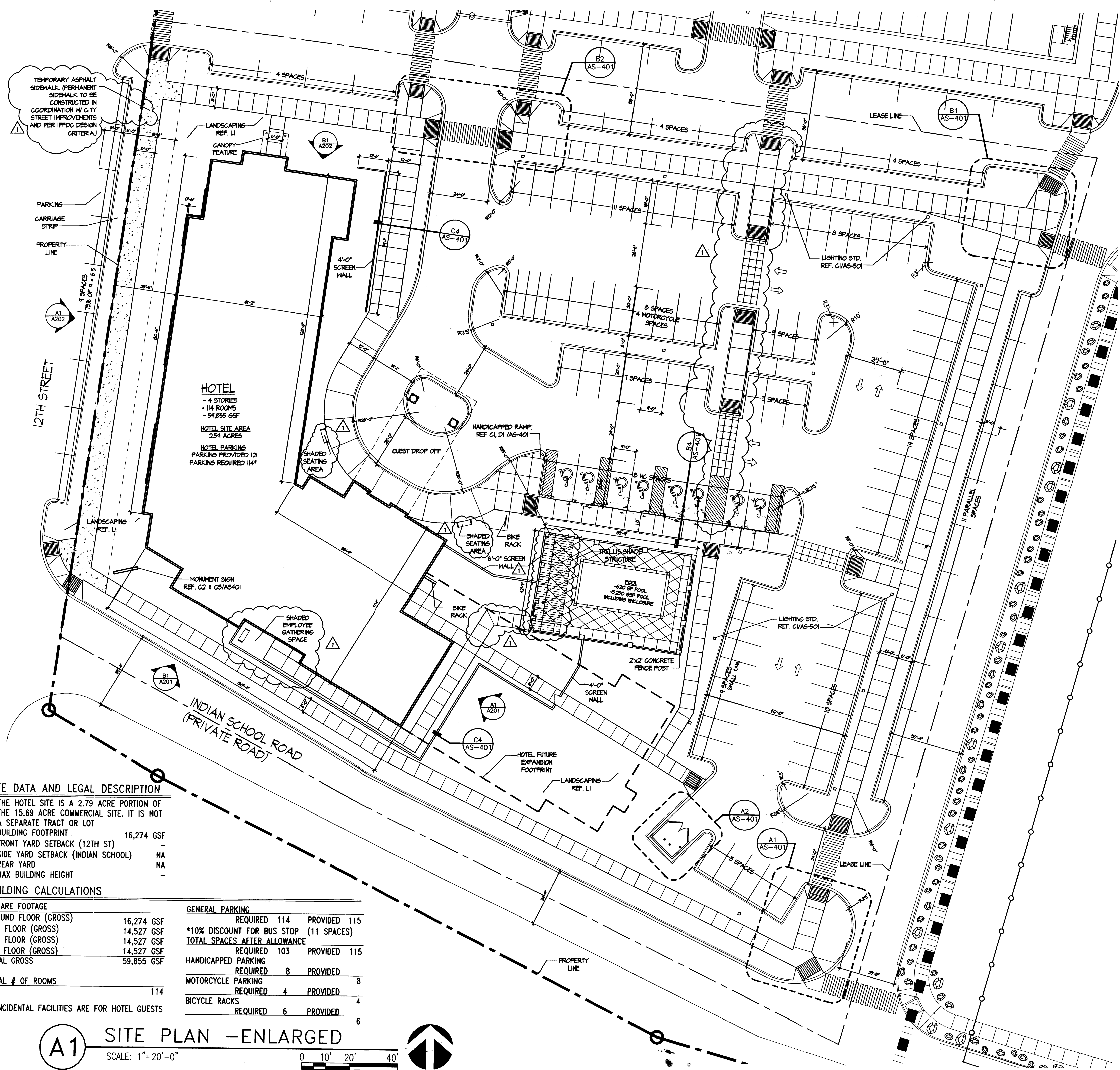
IPFDC
MASTER PLAN

8/11/06 COMMENT REVISIONS

MARK	DATE	DESCRIPTION
ISSUE:	DRB SET	
PROJECT NO:	0510	
CAD DWG FILE:	0510-COVER.DWG	
DRAWN BY:	LJ	
CHECKED BY:	MFR	
DATE:	7/21/06	

SHEET TITLE
TITLE SHEET

G-001
sheet of sheets



SITE DATA AND LEGAL DESCRIPTION

- THE HOTEL SITE IS A 2.79 ACRE PORTION OF THE 15.69 ACRE COMMERCIAL SITE. IT IS NOT A SEPARATE TRACT OR LOT
- BUILDING FOOTPRINT 16,274 GSF
- FRONT YARD SETBACK (12TH ST) NA
- SIDE YARD SETBACK (INDIAN SCHOOL) NA
- REAR YARD NA
- MAX BUILDING HEIGHT

BUILDING CALCULATIONS

SQUARE FOOTAGE	
GROUND FLOOR (GROSS)	16,274 GSF
2ND FLOOR (GROSS)	14,527 GSF
3RD FLOOR (GROSS)	14,527 GSF
4TH FLOOR (GROSS)	14,527 GSF
TOTAL GROSS	59,855 GSF

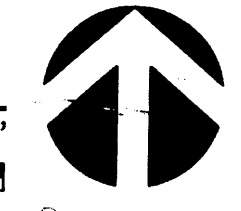
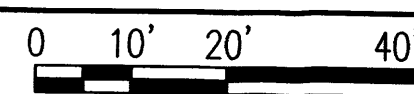
TOTAL # OF ROOMS	
REQUIRED	114
PROVIDED	114

- INCIDENTAL FACILITIES ARE FOR HOTEL GUESTS

GENERAL PARKING	
REQUIRED	114
PROVIDED	115
*10% DISCOUNT FOR BUS STOP (11 SPACES)	
TOTAL SPACES AFTER ALLOWANCE	
REQUIRED	103
PROVIDED	115
HANDICAPPED PARKING	
REQUIRED	8
PROVIDED	8
MOTORCYCLE PARKING	
REQUIRED	4
PROVIDED	4
BICYCLE RACKS	
REQUIRED	6
PROVIDED	6

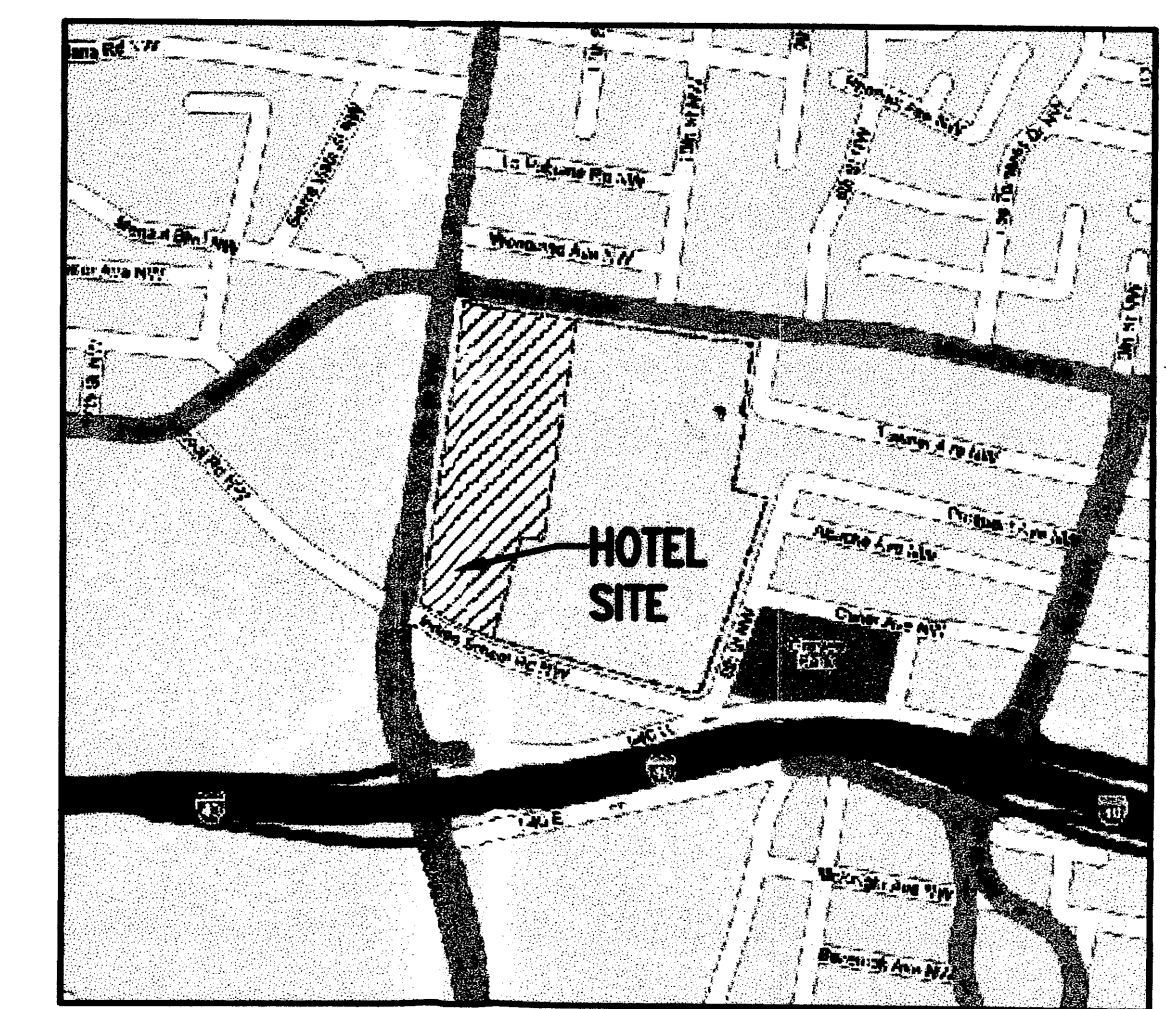
A1 SITE PLAN - ENLARGED

SCALE: 1"=20'-0"



GENERAL NOTES

- SEE SHEET AS-401 & AS-501 FOR ARCHITECTURAL SITE DETAILS
- ALL PEDESTRIAN WALKS WILL BE CONCRETE- MINIMUM WIDTH = 6'-0" (SEE PLAN)
- ALL PEDESTRIAN WALKS WILL BE COLORED, TEXTURED AND PATTERNED- MINIMUM WIDTH = 6'-0" (SEE PLAN)
- ALL VEHICULAR AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS OTHERWISE
- THE MAXIMUM LETTER SIZE OF ALL BUILDING MOUNTED SIGNS SHALL BE 5'-0" HIGH. LOGO DESIGN SIGNS SHALL NOT EXCEED 5'-0" IN HEIGHT OR WIDTH.
- PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF PUBLIC PLAZA SPACES
- TRASH ENCLOSURE WILL BE COMPATIBLE WITH ADJACENT BUILDING.
- IDENTIFY ALL SMALL CAR SPACES WITH "SMALL CAR" PAINTED ON THE PAVEMENT.



VICINITY MAP

0 1000' 2000'
(NOTE: SCALE APPROXIMATE)

PROJECT NUMBER: 1005033
Application Number: 06DRB-01056

Is an Infrastructure List required? ☒ Yes ☐ No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Transportation Division	9-6-06
Water Utility Department	9-6-06
Parks and Recreation Department	9-6-06
City Engineer	2/20/07
N/A	
* Environmental Health Department (conditional)	
Michael H. H. (signature)	10/24/06
Solid Waste Management	
DRB Chairperson, Planning Department	10/20/06

* Environmental Health, if necessary



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CONSULTANTS

Architect Engineer

DRB SUBMITTAL

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC MASTER PLAN

8/11/06 COMMENT REVISIONS

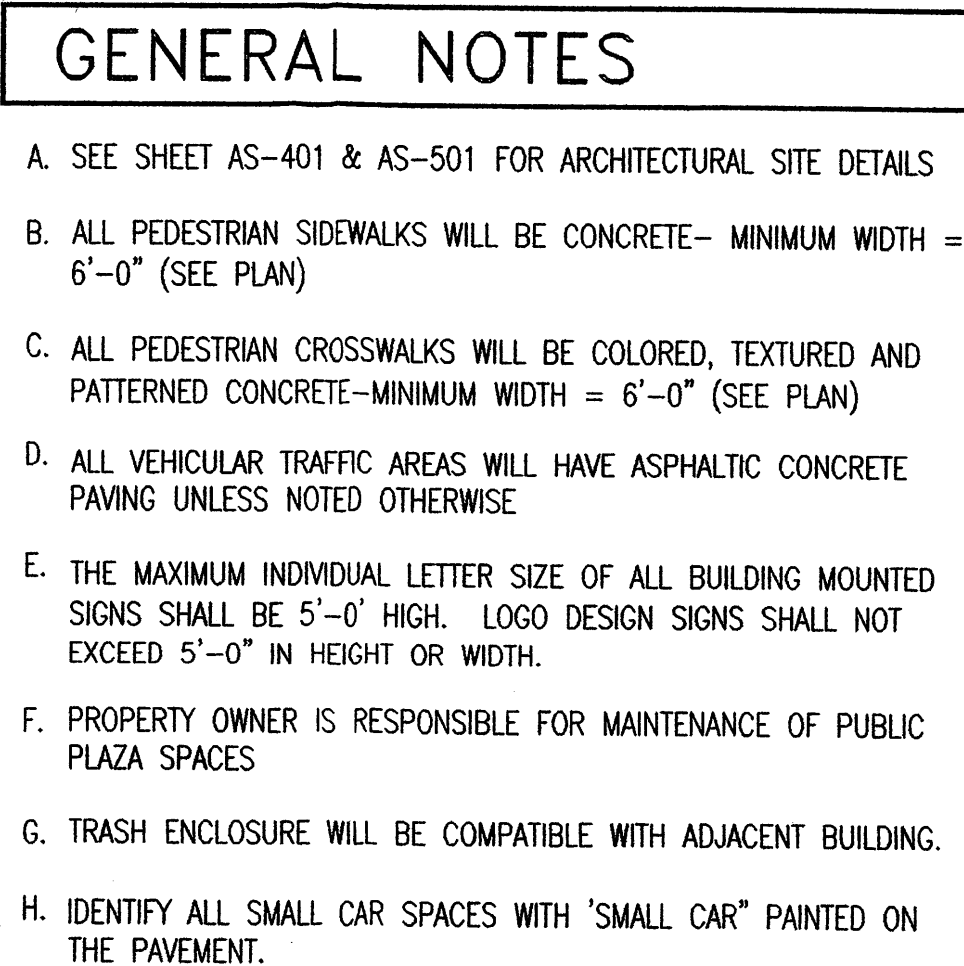
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PROJECT NO:	0510	
CAD DWG FILE:	0510_H_SP-01_DRB	
DRAWN BY:	LJ, CW	
CHECKED BY:	BH	
DATE:	7/21/06	

SHEET TITLE

SITE PLAN FOR BUILDING PERMIT

S-01

sheet of sheets



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CONSULTANTS

Architect	Engineer
-----------	----------

**DRB
SUBMITTAL**

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC MASTER PLAN

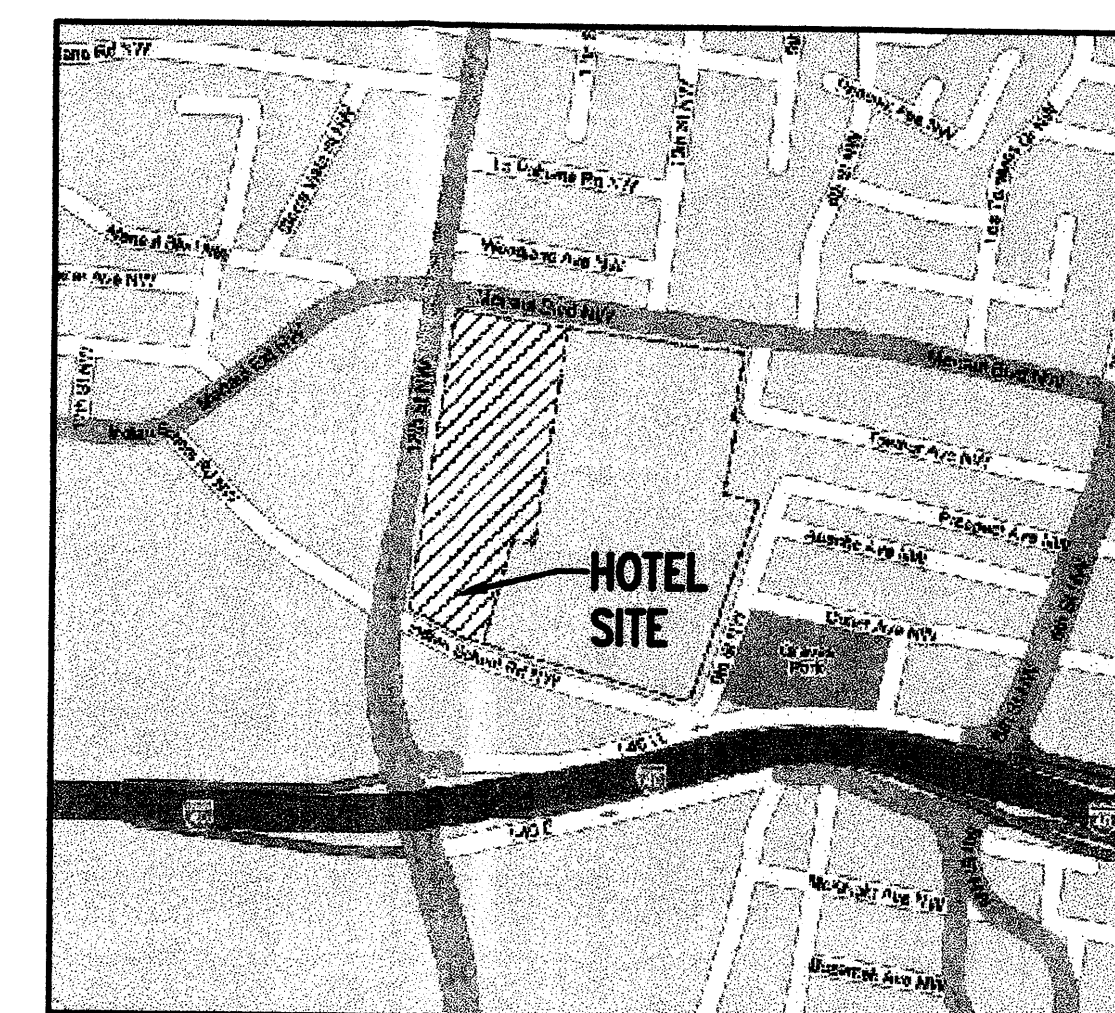
	8/11/06	COMMENT REVISIONS
MARK	DATE	DESCRIPTION
ISSUE:	DRB	SET
PROJECT NO:	0510	
CAD DWG FILE:		
DRAWN BY:	CW, LJ	
CHECKED BY:	BH	
DATE:	7/21/06	

SHEET TITLE

SITE PLAN OVERALL

S-02

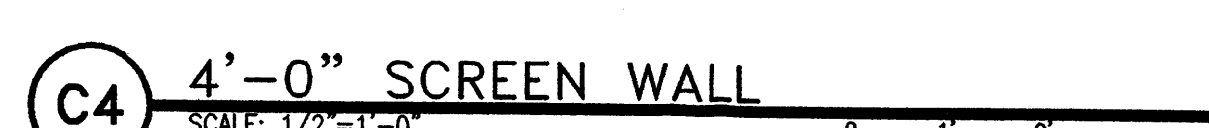
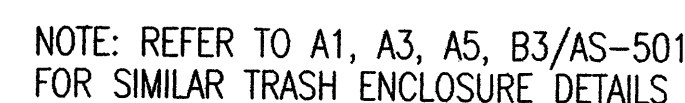
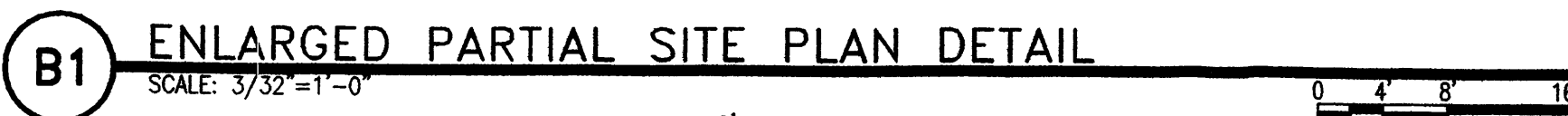
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VICINITY MAP

0 1000' 2000'

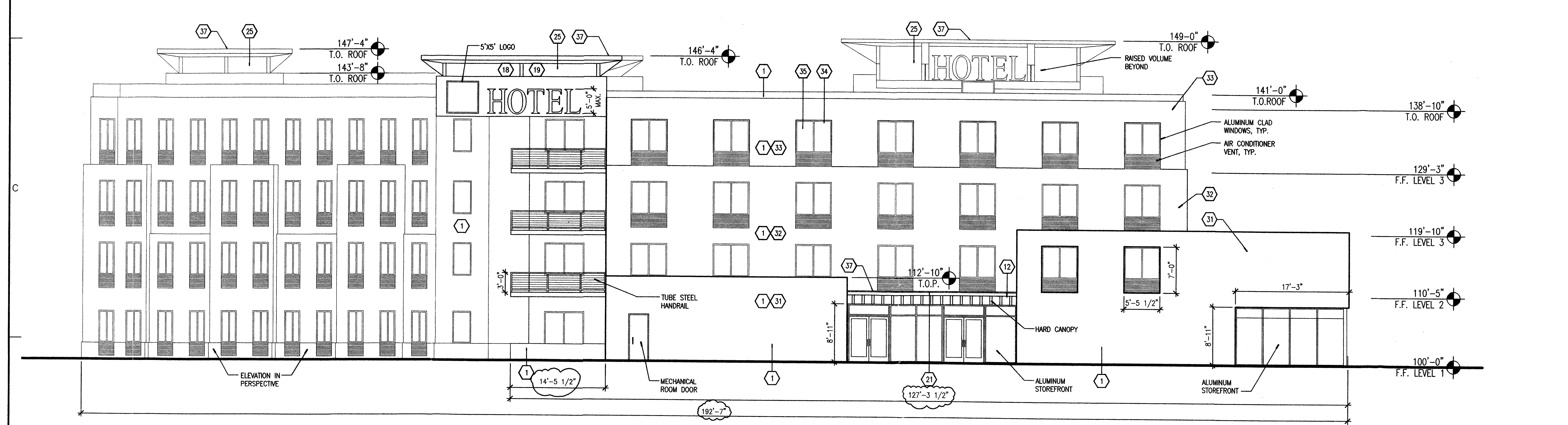
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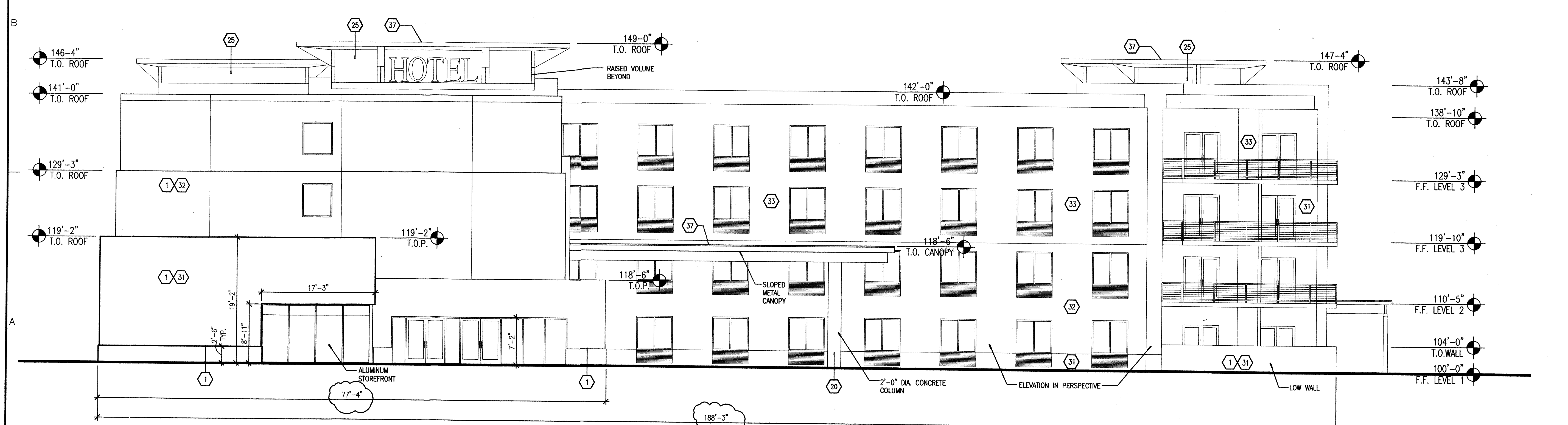
AS401
sheet of . sheets

AS501
sheet of . sheets

MATERIAL	COLOR	1. STUCCO ON 3/8" DENSGLASS SHEATHING ON 6" METAL STUDS @ 16" O.C. WITH FOIL BACKED R-19 INSULATION.	9. NOT USED	21. SUSPENDED SHADE STRUCTURE - PAINTED STEEL
GLASS	CLEAR	2. NOT USED	10. NOT USED	22. NOT USED
STOREFRONT	LIGHT CREAM ALUMINUM	3. NOT USED	11. PRECAST CONCRETE CAP	23. NOT USED
STOREFRONT DOORS	LIGHT CREAM ALUMINUM	4. NOT USED	12. METAL CAP	24. CURVED METAL ROOF
METAL ROOFING	LIGHT GREY	5. NOT USED	13. NOT USED	25. FROSTED INSULATED GLASS PANELS
METAL RAILING	LIGHT GREY POLYURETHANE PAINT	6. NOT USED	14. CANOPY WITH METAL ROOF PANELS, TYP.	26. NOT USED
COLUMNS	RUST ALUMINUM OR CONCRETE	7. NOT USED	15. PAINTED STEEL TUBE	27. NOT USED
SHADE CANOPIES	LIGHT GREY POLYURETHANE PAINT	8. NOT USED	16. CONCRETE MASONRY UNITS	28. NOT USED
BICYCLE RACKS	RUST/BROWN		17. STONE ON MORTAR SETTING BED ON 1/2" MORTAR APPLIED DIRECTLY TO CONCRETE MASONRY UNITS	29. NOT USED
			18. SHIELDED LIGHT FIXTURE	30. NOT USED
			19. TRANSLUCENT PANEL SYSTEM	31. STUCCO COLOR 1 TERRA COTTA
			20. PRECAST CONCRETE COLUMN	32. STUCCO COLOR 2 BEIGE
				33. STUCCO COLOR 3 LIGHT BEIGE



B1 SOUTH ELEVATION - PROPOSED HOTEL
SCALE: 1/8"=1'-0"



A1 EAST ELEVATION - PROPOSED HOTEL
SCALE: 1/8"=1'-0"

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CONSULTANTS

Architect Engineer

DRB
SUBMITTAL

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
MASTER PLAN

MARK	DATE	DESCRIPTION
ISSUE:	DRB SET	
PROJECT NO:	0510	
CAD DWG FILE:	DCSW	
DRAWN BY:	LJ	
CHECKED BY:	RB	
DATE:	7/21/06	

SHEET TITLE

EXTERIOR
ELEVATIONS
PROPOSED HOTEL

A-201

sheet of sheets

MATERIAL & COLOR LEGEND

SHEET KEYNOTES

GENERAL NOTES

MATERIAL

GLASS
STOREFRONT
STOREFRONT DOORS
METAL ROOFING
METAL RAILING
COLUMNS
SHADE CANOPIES
BICYCLE RACKS

COLOR

CLEAR
LIGHT CREAM ALUMINUM
LIGHT CREAM ALUMINUM
LIGHT GREY
LIGHT GREY POLYURETHANE PAINT
RUST ALUMINUM OR CONCRETE
LIGHT GREY POLYURETHANE PAINT
RUST/BROWN

SHEET KEYNOTES

1. STUCCO ON 5/8" DENSGLASS SHEATHING ON 6" METAL STUDS @ 16" O.C. WITH FOIL BACKED R-19 INSULATION.
2. NOT USED
3. NOT USED
4. NOT USED
5. NOT USED
6. NOT USED
7. NOT USED
8. NOT USED

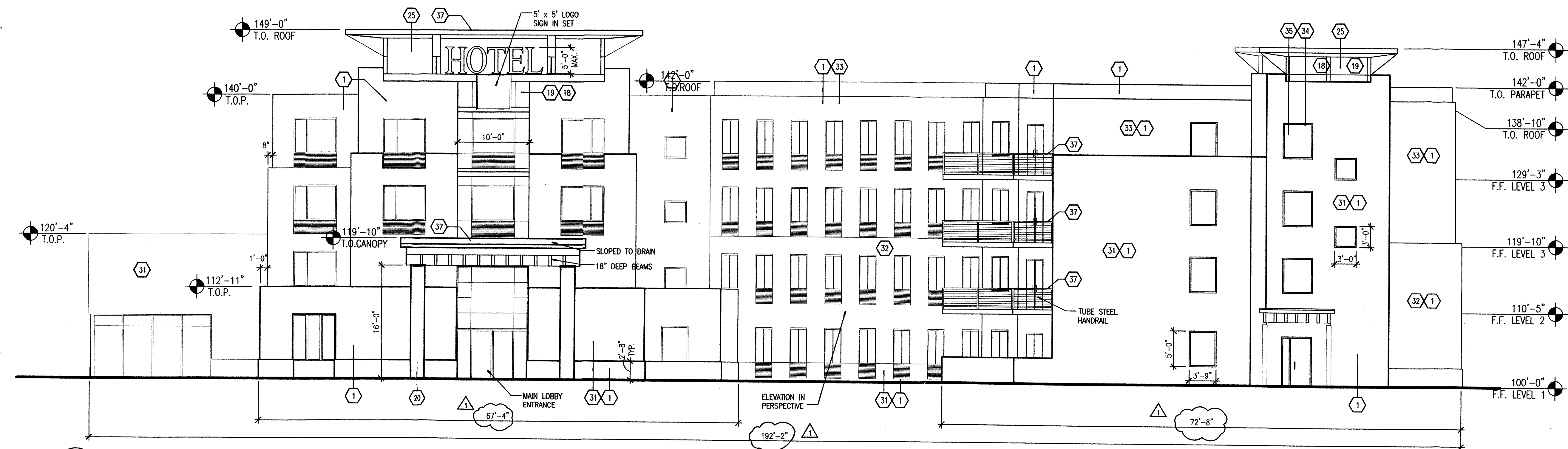
9. NOT USED
10. NOT USED
11. PRECAST CONCRETE CAP
12. METAL CAP
13. NOT USED
14. CANOPY WITH METAL ROOF PANELS, TYP.
15. PAINTED STEEL TUBE
16. CONCRETE MASONRY UNITS
17. STONE ON MORTAR SETTING BED ON 1/2" MORTAR APPLIED DIRECTLY TO CONCRETE MASONRY UNITS
18. SHIELDED LIGHT FIXTURE
19. TRANSLUCENT PANEL SYSTEM
20. PRECAST CONCRETE COLUMN

21. SUSPENDED SHADE STRUCTURE - PAINTED STEEL
22. NOT USED
23. NOT USED
24. CURVED METAL ROOF
25. FROSTED INSULATED GLASS PANELS
26. NOT USED
27. NOT USED
28. NOT USED
29. NOT USED
30. NOT USED
31. STUCCO COLOR 1 TERRA COTTA
32. STUCCO COLOR 2 BEIGE
33. STUCCO COLOR 3 LIGHT BEIGE

COLOR LEGEND

- COLOR 31 - TERRA COTTA
COLOR 32 - BEIGE
COLOR 33 - LIGHT BEIGE

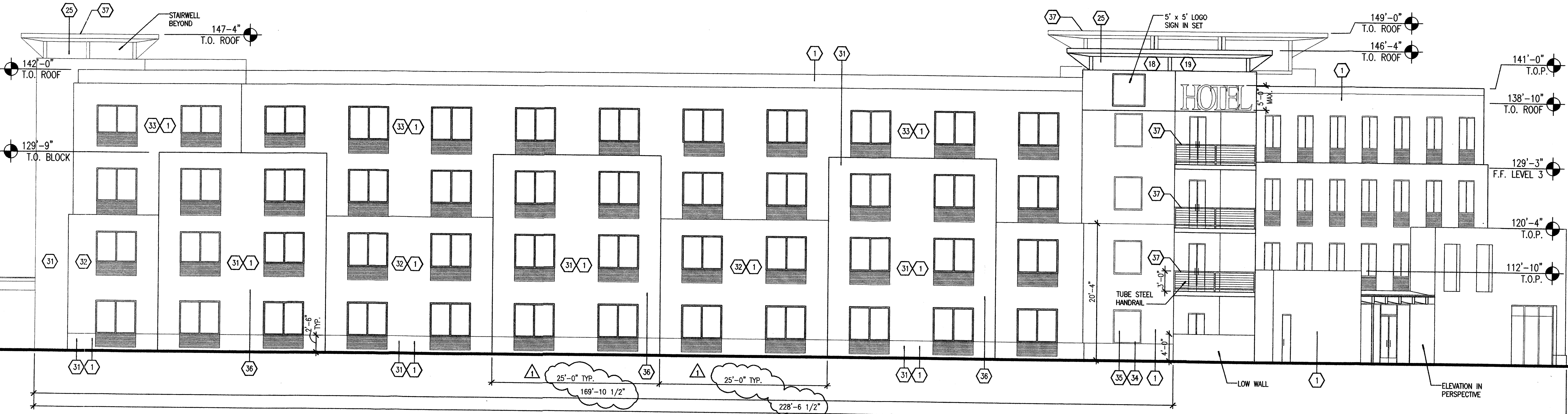
- A. REFER TO GENERAL RETAIL SIGN CRITERIA FOR SIGNAGE SIZES AND STANDARDS.
- B. THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNS SHALL BE 2'-0" HIGH. LOGO SIGNS SHALL NOT EXCEED 2'-0" IN HEIGHT OR WIDTH.
- C. PAINT ALL EXPOSED METAL LINTELS, TUBES, SHAPES AND COLUMNS
- D. FACADE MATERIALS AND COLORS WILL BE LOW REFLECTING AND WILL ADHERE TO PALLET OF COLORS
- E. ALL ROOF MOUNTED AND SURFACE MOUNTED MECHANICAL UNITS SHALL BE CONCEALED BY A SCREENWALL EQUAL TO OR GREATER THAN THE HEIGHT OF THE EQUIPMENT.



B1 NORTH -EAST ELEVATION - PROPOSED HOTEL

SCALE: 1/8"=1'-0"

0 4' 8' 16'



A1 WEST ELEVATION - PROPOSED HOTEL

SCALE: 1/8"=1'-0"

0 4' 8' 16'

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CONSULTANTS

Architect Engineer

**DRB
SUBMITTAL**

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC MASTER PLAN

8/11/06 COMMENT REVISIONS

MARK	DATE	DESCRIPTION
ISSUE:	DRB SET	
PROJECT NO:	0510	
CAD DWG FILE:	DCSW	
DRAWN BY:	LJ	
CHECKED BY:	RB	
DATE:	7/21/06	

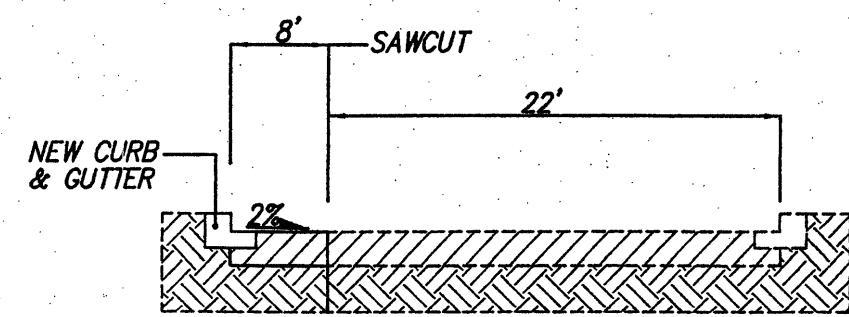
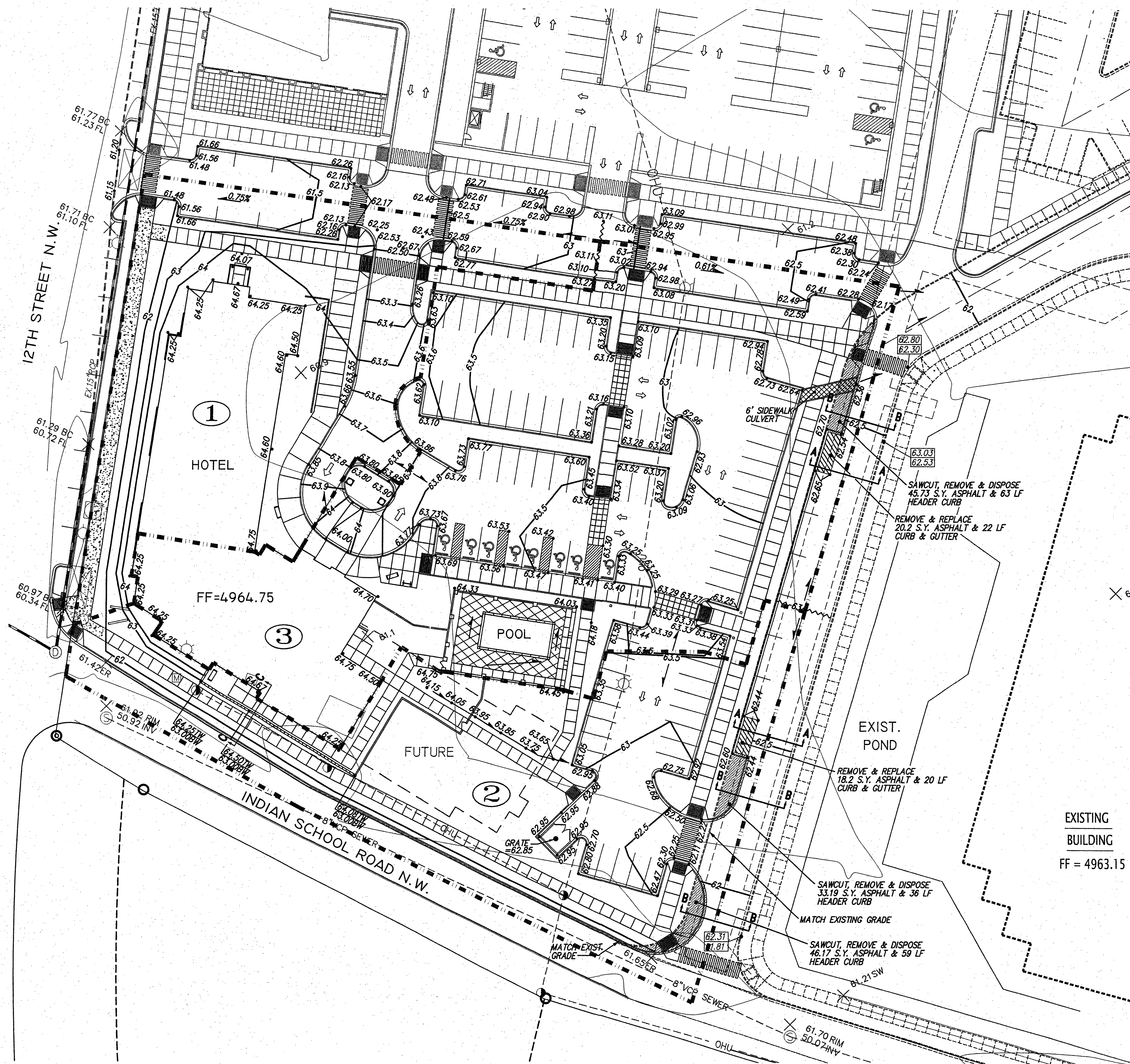
SHEET TITLE

EXTERIOR
ELEVATIONS
PROPOSED HOTEL

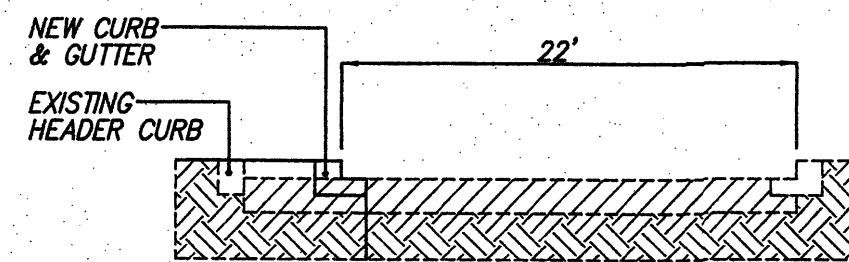
A-202

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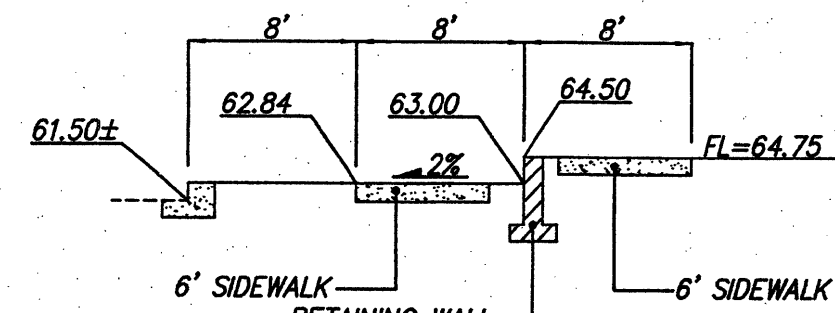
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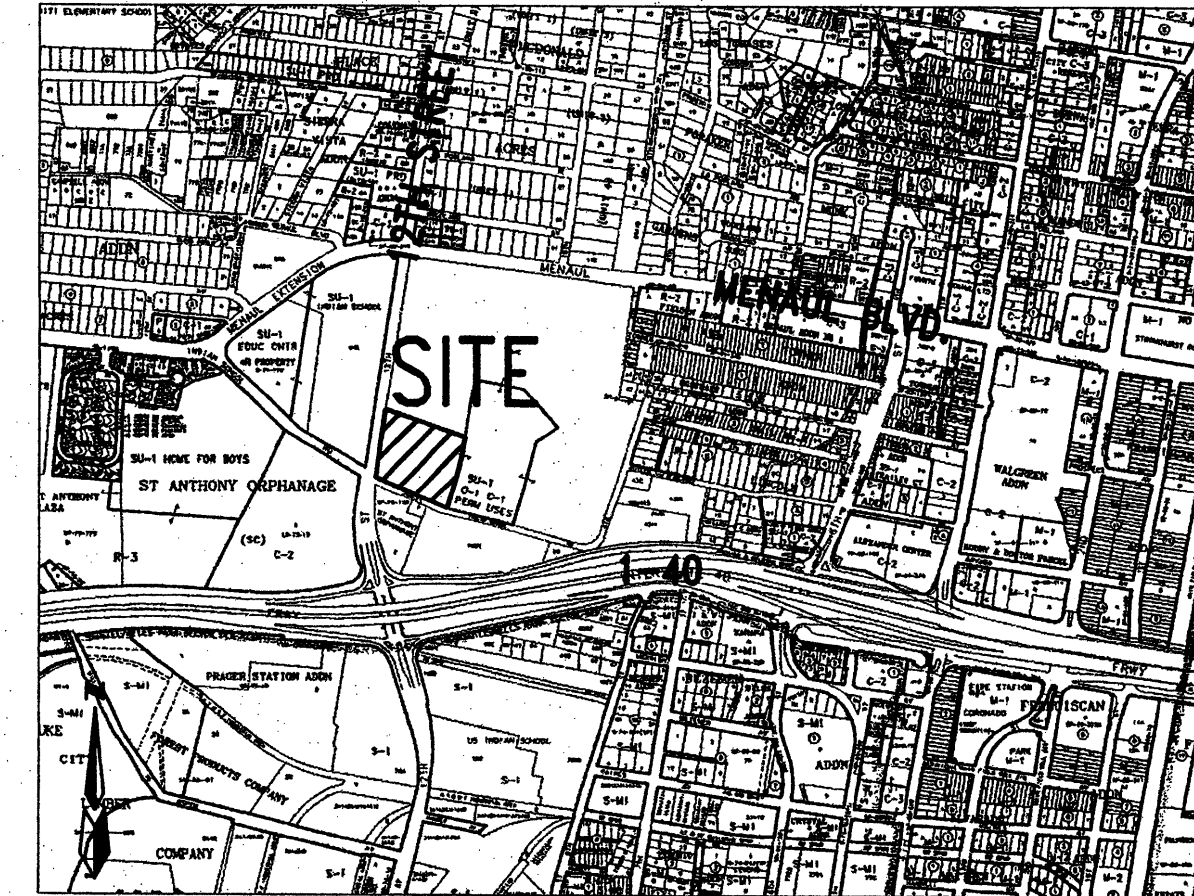
SAWCUT REMOVE & REPLACE
DETAIL A-A
NTS



SAWCUT REMOVE & DISPOSE
DETAIL B-B
NTS



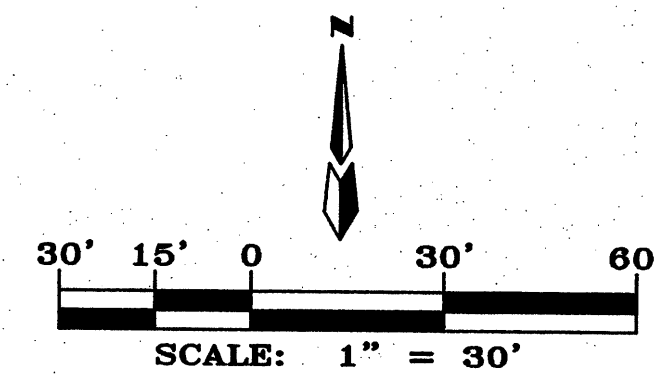
DETAIL C-C
SCALE: 1"=10'



ZONE MAP: H-14

LEGEND

- X 00.0 EXISTING SPOT ELEVATION
- 1-00.00 SW EXISTING SIDEWALK ELEVATION
- 1-00.00 BC EXISTING CURB ELEVATION
- 1-00.00 FL EXISTING PAVEMENT ELEVATION
- 1-00.00 RM EXISTING RIM & INV ELEVATION
- 1-00.00 INV EXISTING TRAFFIC SIGNAL BOX
- 1-00.00 EXISTING TRAFFIC SIGNAL
- 1-00.00 EXISTING LIGHT POLE
- 1-00.00 EXISTING POWER POLE
- 1-00.00 EXISTING OVERHEAD UTILITY LINE
- 1-00.00 EXISTING GAS LINE
- 1-00.00 EXISTING SEWER LINE
- 1-00.00 EXISTING WATER LINE
- 1-00.00 EXISTING ANCHOR
- 1-00.00 EXISTING SEWER MANHOLE
- 1-00.00 EXISTING STORM MH
- 1-00.00 EXISTING STORM DRAIN
- 1-00.00 EXISTING SIDEWALK
- 1-00.00 EXISTING WATER VALVE
- 1-00.00 EXISTING METER RISER
- 1-00.00 EXISTING BILLBOARD
- 1-00.00 EXISTING FIRE HYDRANT
- 1-00.00 EXISTING DROP INLET
- 1-00.00 EXISTING FENCE
- 1-00.00 EXISTING PROPERTY LINE
- 1-00.00 EXISTING CONTOURS
- 1-00.00 EXISTING LOT LINES
- 1-00.00 EXISTING CURB & GUTTER
- 1-00.00 NEW STANDARD CURB & GUTTER
- 1-00.00 NEW BUILDING
- 1-00.00 NEW EXTRUDED CONCRETE CURB
- 1-00.00 NEW PARKING STRIPES
- 1-00.00 NEW CONTOURS
- 1-00.00 NEW RETAINING WALL
- 1-00.00 NEW WATER BLOCK
- 1-00.00 NEW DRAINAGE BASIN BOUNDARY
- 1-00.00 NEW SPOT ELEVATION
- 1-00.00 NEW FLOW ARROW
- 1-00.00 NEW DRAINAGE BASIN ID



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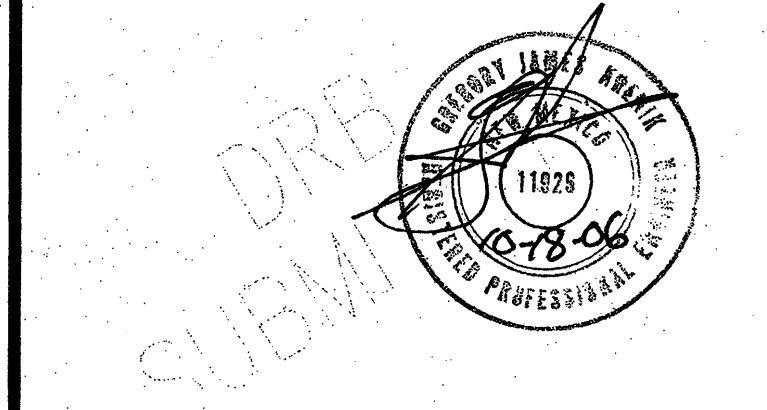
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CONSULTANTS

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Architect Engineer



PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC MASTER PLAN

MARK	DATE	DESCRIPTION
------	------	-------------

ISSUE:	DRB SET
PROJECT NO:	0510
CAD DWG FILE:	
DRAWN BY:	
CHECKED BY:	
DATE:	7/21/06

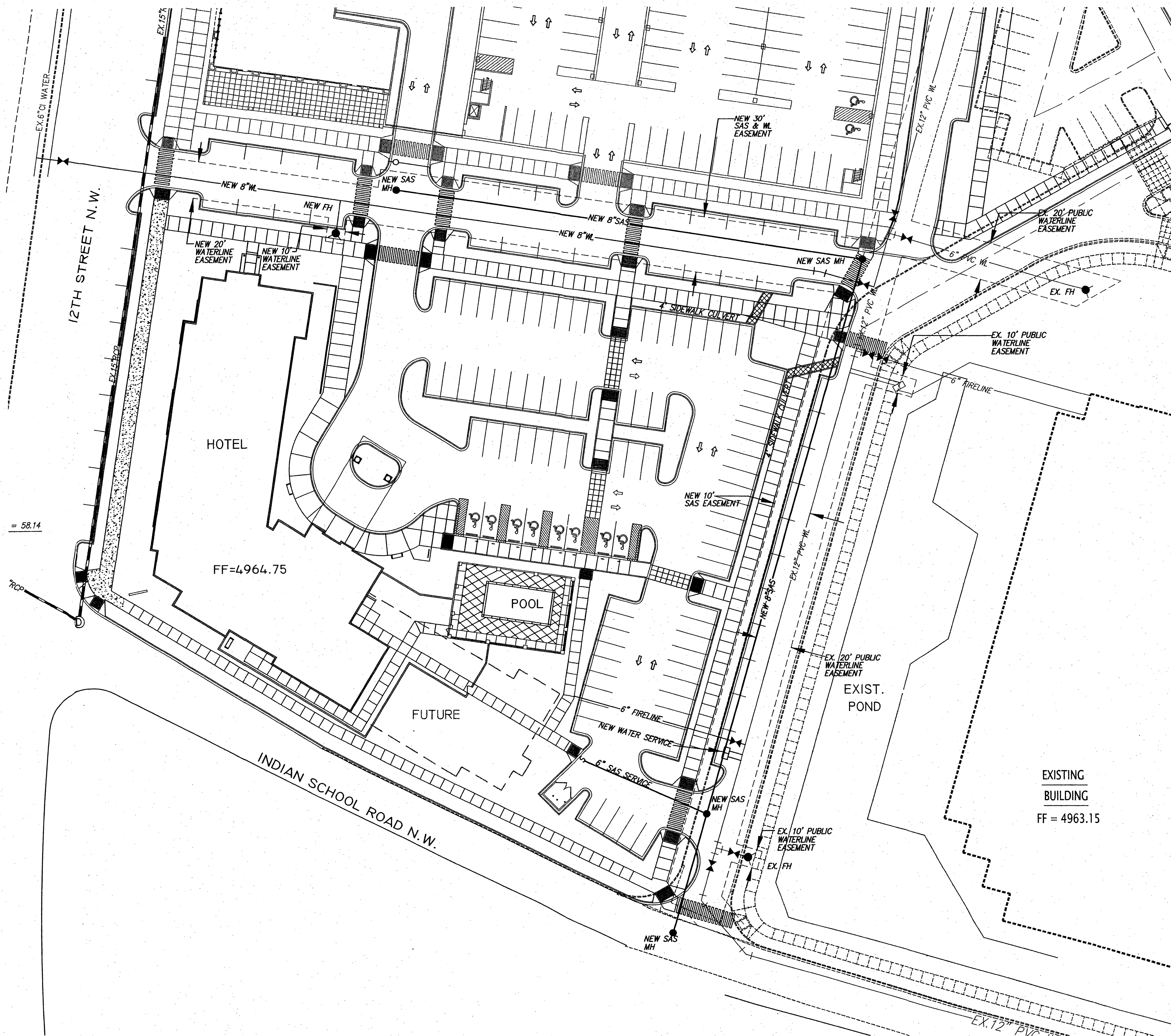
SHEET TITLE

GRADING & DRAINAGE
PLAN

sheet C101 of sheets

LEGEND

- X 06.0 EXISTING SPOT ELEVATION
- X 00.00 SW EXISTING SIDEWALK ELEVATION
- X 00.00 BC EXISTING CURB ELEVATION
- X 00.00 FL EXISTING PAVEMENT ELEVATION
- X 00.00 RM EXISTING RIM & INV ELEVATION
- EXISTING TRAFFIC SIGNAL BOX
- EXISTING TRAFFIC SIGNAL
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING ANCHOR
- EXISTING SEWER MANHOLE
- EXISTING STORM MH
- EXISTING SIDEWALK
- EXISTING WATER VALVE
- EXISTING METER RISER
- EXISTING BILLBOARD
- EXISTING FIRE HYDRANT
- EXISTING DROP INLET
- EXISTING FENCE
- EXISTING PROPERTY LINE
- EXISTING CONTOURS
- EXISTING LOT LINES
- EXISTING CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- NEW BUILDING
- NEW EXTRUDED CONCRETE CURB
- NEW PARKING STRIPES
- NEW RETAINING WALL
- FF = 4964 NEW FINISH FLOOR
- 12"SAS NEW SAS LINE
- 12"WL NEW WATERLINE



30' 15' 0 30' 60'
SCALE: 1" = 30'

STUDIO
SW
ARCHITECTS

STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd. NW, Albuquerque, NM 87104
505.843.9639 fax 505.843.9683
Web Site: www.studioswarch.com
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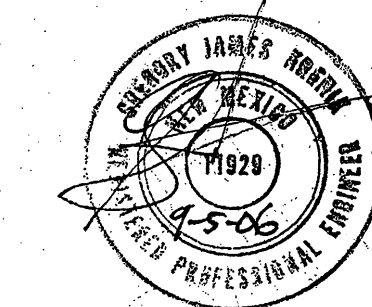
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Architect

Engineer



PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

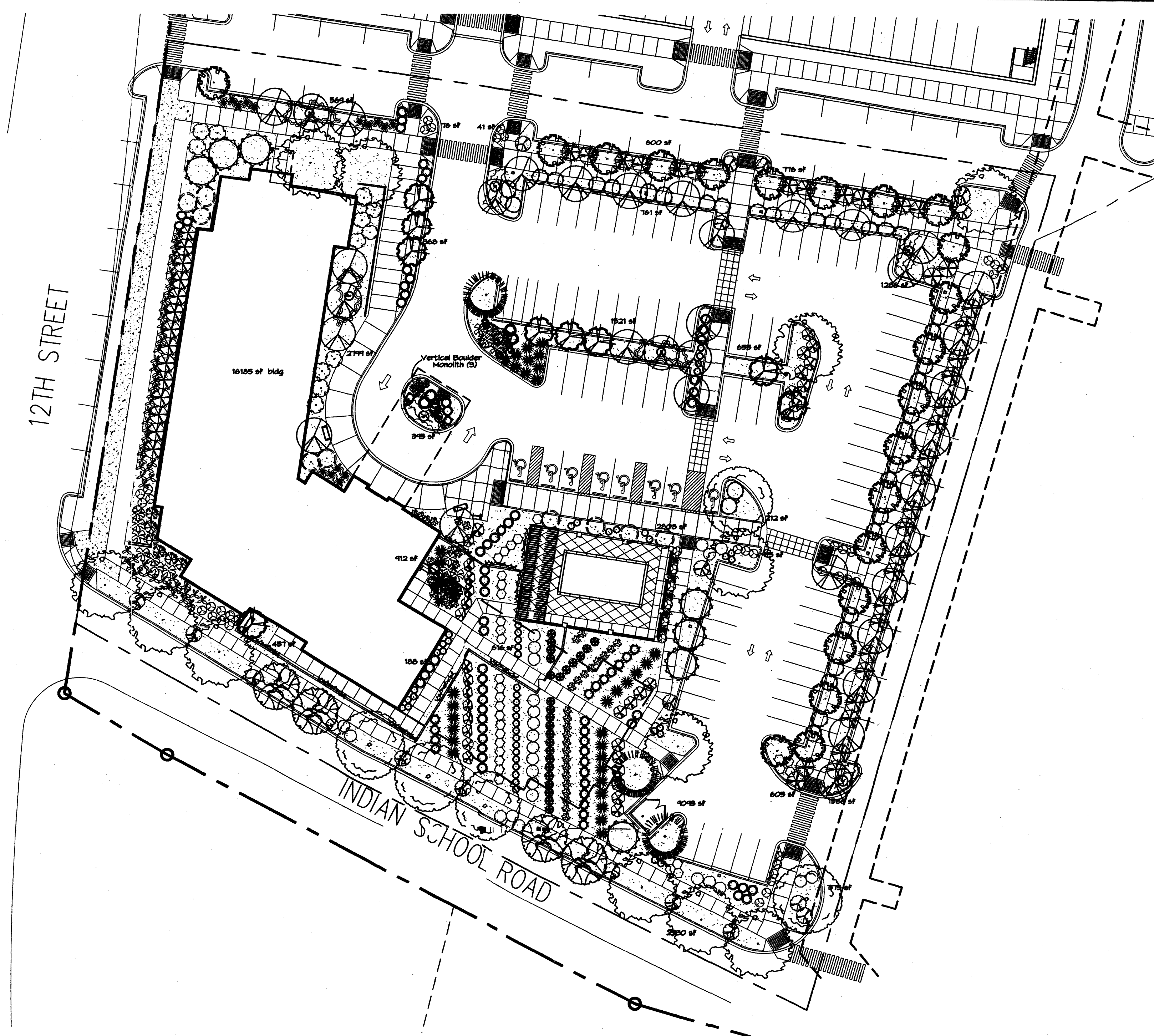
IPFDC MASTER PLAN

MARK	DATE	DESCRIPTION
ISSUE:	DRB SET	
PROJECT NO:	0510	
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:	7/21/06	

SHEET TITLE

CONCEPTUAL
UTILITY
PLAN

sheet C102 of . sheets



PLANT LEGEND

- CHINESE PISTACHE (M) 12
Pistachia chinensis
2" Cal.
- PURPLE ROBE LOCUST (M) 5
Robinia pseudoacacia
2" Cal.
- CHITALPA (M) 4
Chilopsis X Catalpa
2" Cal.
- DESERT WILLOW (L) 7
Chilopsis linearis
15 Gal.
- OCOTILLO (L) 9
Fouquieria splendens
- MUGO PINE (M) 6
Pinus mugo
5 Gal. 4sf
- SILVERBERRY (M) 50
Eleagnus pungens
5 Gal. 100sf
- BIRD OF PARADISE (L) 12
Caesalpinia gilliesii
5 Gal. 100sf
- BUTTERFLY BUSH (M) 9
Buddleia davidii
5 Gal. 100sf
- RED TIP PHOTINIA (M+) 35
Photinia fraseri
5 Gal. 64sf
- RED YUCCA (L) 34
Hesperaloe parviflora
5 Gal. 4sf
- MAIDENGRASS (M) 20
Miscanthus sinensis
5 Gal. 16sf
- REGAL MIST (M) 25
Muhlenbergia capillaris
5 Gal. 4sf
- INDIAN HAMTHORN (M) 34
Raphiolepis indica
5 Gal. 36sf
- GREYLEAF COTONEASTER (M) 9
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- TRUMPET VINE (M) 9
Campsis radicans
1 Gal. 400sf
- COMMERCIAL GRADE
STEEL EDGING
- SANTA FE BROWN GRAVEL
WITH FILTER FABRIC
- AUSTRIAN PINE (M) 3
Pinus nigra
6-8'
- FLOWERING PEAR (M+) 35
Pyrus calleryana
2" Cal.
- CRABAPPLE (H) 21
Malus cultivars
1 1/2" Cal. B&B
- PURPLE-LEAF PLUM (M) 9
Prunus spp.
1 1/2" Cal.
- PALM YUCCA (L) 2
- APACHE PLUME (L) 26
Falugia paradoxa
5 Gal. 25sf
- LANAS/ SCOTCH BROOM (M) 22
Cytisus scoparius
Genista hispanica
5 Gal. 16sf
- ARP ROSEMARY (M) 56
Rosmarinus officinalis
5 Gal. 25sf
- AUTUMN SAGE (M) 30
Salvia greggii
1 Gal. 4sf
- LAVENDER (M) 50
Lavandula angustifolia
1 Gal. 4sf
- HONEYSUCKLE (M) 18
Lonicera japonica 'Halliana'
1 Gal. 14sf
Unstaked-Groundcover
- WILDFLOWER 45
1 Gal. 4sf
- THREADGRASS (M) 37
Stipa tenuissima
1 Gal. 4sf
- SHADE LOVING PERENNIALS 13
1 Gal. 4sf
- CREeping ROSEMARY (L) 12
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
Symbol indicates 3 plants
- AGAVE (L) 13
Agave spp.
16 sf
- PRICKLY PEAR (L) 55
Opuntia macrocentra
9 sf
- VERTICAL BOULDER MONOLITH 3
- OVERSIZED GRAVEL
4 & BOULDERS

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	121208	square feet
TOTAL BUILDINGS AREA	16185	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	103699	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	15555	square feet
TOTAL BED PROVIDED	30124	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	22593	square feet
TOTAL GROUND COVER PROVIDED	23021 (76%)	square feet
TOTAL LANDSCAPE PROVIDED	30124 (29%)	square feet

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end.

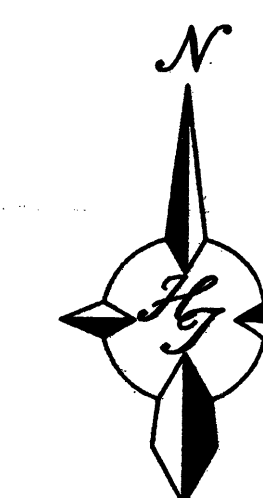
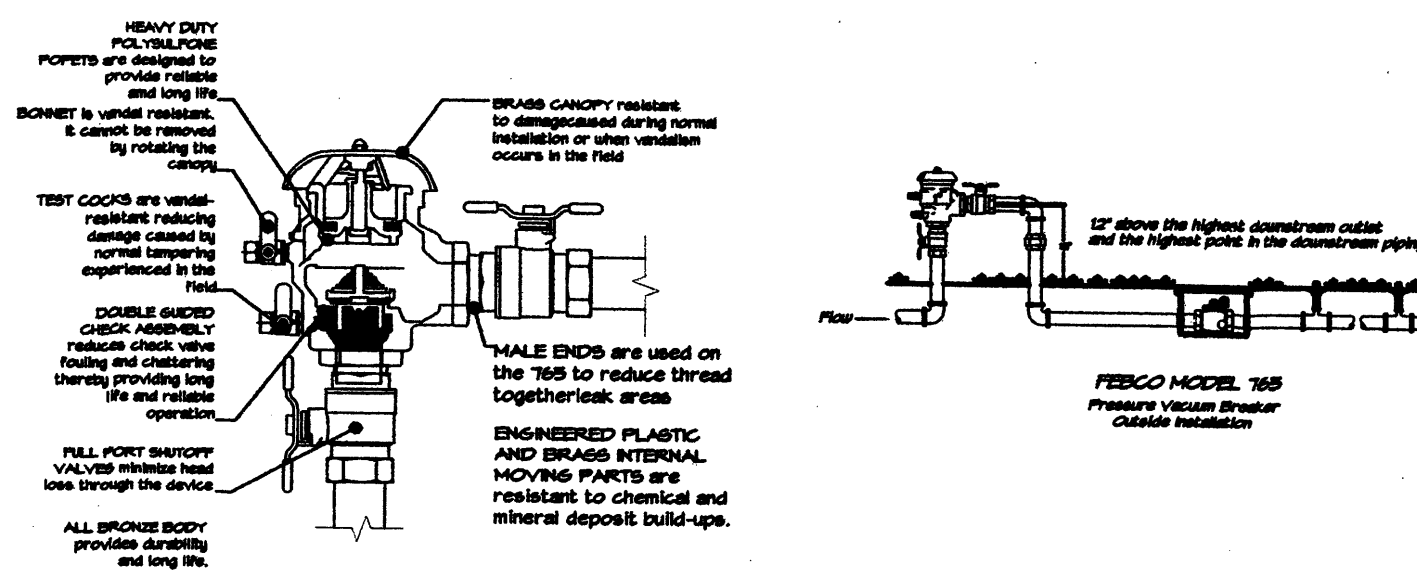
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

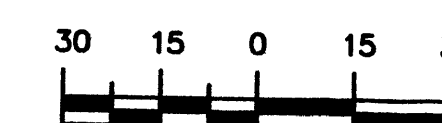
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



GRAPHIC SCALE



SCALE: 1"=30'



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SW
ARCHITECTS

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CONSULTANTS

Architect Engineer

DRB
SUBMITTAL

PROPOSED HOTEL

INDIAN SCHOOL BLVD
ALBUQUERQUE, NM

IPFDC
LANDSCAPE PLAN

REV	DATE	DESCRIPTION
rev 4	9/18/06	site plan & comments
rev 3	8/31/06	site plan & comments
rev 2	8/11/06	revised per comments
rev 1	7/19/06	site plan revision

MARK DATE DESCRIPTION

ISSUE: DRB SET

PROJECT NO: 0510

CAD DWG FILE:

DRAWN BY: aof

CHECKED BY: c.j

DATE: 6/26/05

SHEET TITLE

L1 L1
sheet of sheets