

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

January 7, 2022

Scott McGee, P.E.
9700 Sand Verbena Trail NE
Albuquerque, NM 87122

RE: 1719 5th St. NW
Grading and Drainage Plan
Engineer's Stamp Date: 11/04/21
Hydrology File: H14D100

Dear Mr. McGee:

Based upon the information provided in your submittal received 11/23/2021, the Grading & Drainage Plan and Drainage Report **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. It is unclear what is being constructed and what is existing. It is not Hydrology's job to guess and if I can't tell, I know the contractor will not be able to tell as well. In places the line work for the existing is the same line weight as proposed. The only items that stands out are the proposed contour lines. Is the proposed pavement asphalt? At the edge of pavement at places there is a call out of top of curb and at others there is just a spot elevation but the line work is the same at both spots a single line it is not clear where the proposed curbing onsite starts and where it stops. The standard for a curb is a double line. Please clean this up.
2. It appears that there is proposed grading and construction work being done on a tract of land that is not owned by the project Owner. Provide written and signed permission from the adjoining property owner for work on their property. This should be notarized.

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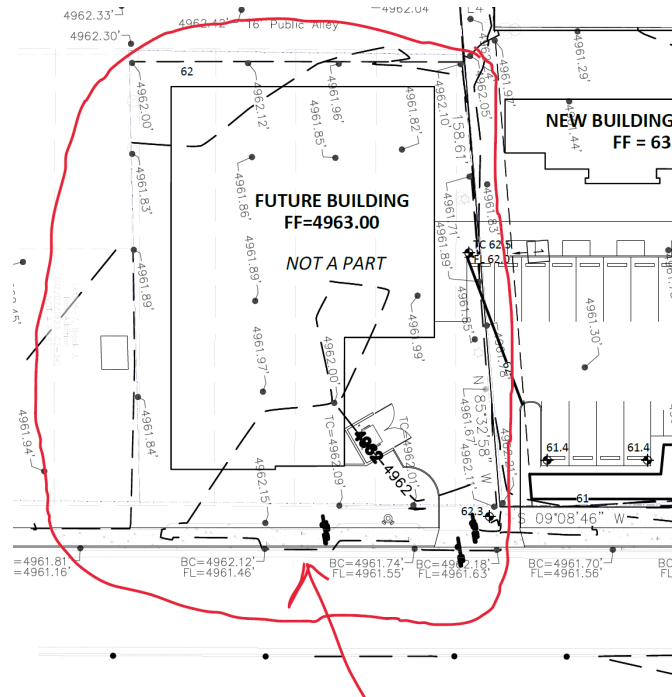
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This property is not owned
by the Project Owner.

BUILDING AND DRAINAGE PLAN

Bernalillo County Parcels

UPC: 101405821651824308
Owner: 1701 5TH STREET PARTNERS LLC
Owner Address: 320 GOLD AVE NW SUITE 1400 ALBUQUERQUE NM 87102-3248
Situs Address: 5TH ST NW ALBUQUERQUE NM 87102
Legal Description: * 001 003IVES ADD L 1 TO 5
Acres: 0.3214
Tax Year: 2021

[View Additional Details](#)



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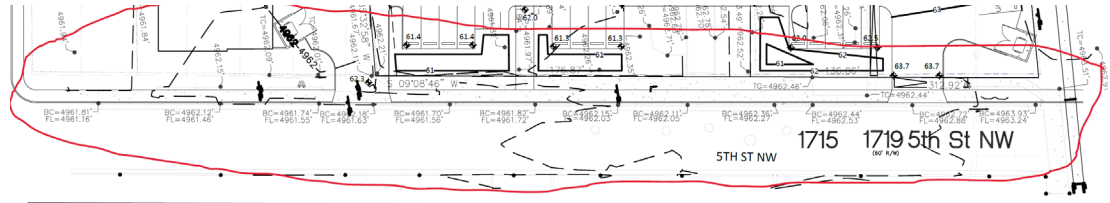
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3. Again, it is unclear at what is being constructed within 5th Street R.O.W.



Currently curb & gutter, sidewalk, and two drives on the adjacent property.



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At this property's southeast corner of the property line, there is a massive drive for trucks when this existing building was a warehouse. This massive drive extends all the way till right before the railroad spur where there is a curb & gutter. So please indicate on the drawings where the proposed curb & gutter starts and where it ends with existing grades at the existing curb & gutter locations. Also, please replace any traffic signs that are present.



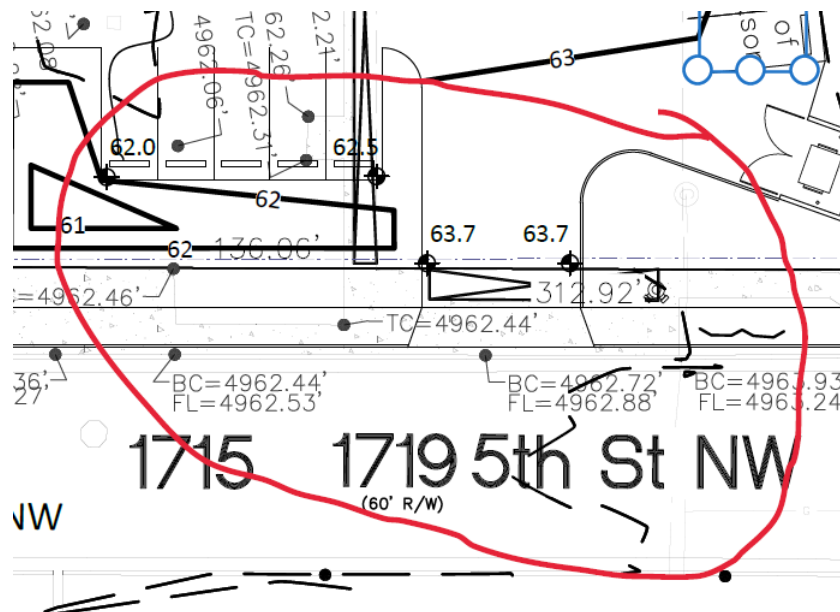
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- The entrances proposed on 5th St. do not adhere to the City's private entrance detail #2426. These entrances need to provide a curb returns and ADA ramps as shown. This drive is also needed to ensure the water block requirement as shown in the detail.

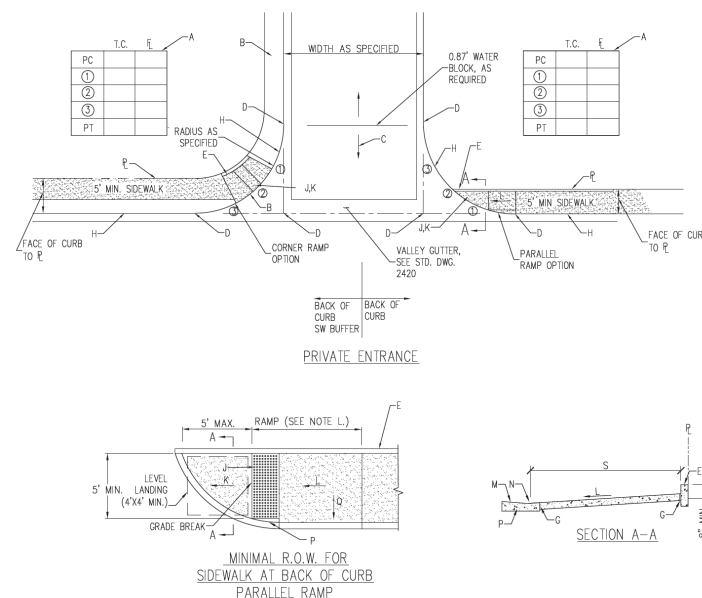


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MANUAL

2. SEE STD. DWGS. 2441 TO 2445 FOR ALTERNATE CURB ACCESS RAMP DETAILS. SEE DETAIL 2446 FOR DETECTABLE WARNING DEVICE DETAILS.

CONSTRUCTION NOTES

A. INCLUDE QUARTER POINT ELEVATIONS. SEE STD. DETAIL DWG. 2420. SEE LOCATION FOR QUARTER POINTS ON PLAN VIEW BELOW.

B. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PROVIDED - CONSTRUCT CURB ACCESS RAMP PER STD. DETAIL DWGS. 2440 - 2445.

C. INITIAL GRADE TO BE 4% OR LESS WHEN CONNECTING TO COLLECTOR OR ARTERIAL STREETS. 6% OR LESS WHEN CONNECTING TO LOCAL STREETS. INCLUDE A 4-FOOT WIDE ADA ACCESSIBLE PATHWAY ACROSS ENTIRE WIDTH OF PRIVATE ENTRANCE.

D. INCLUDE ELEVATIONS AT EACH END OF CURB RETURN AND INTERSECTIONS OF PROJECTED FLOWLINES. SEE STD. DWG. 2420.

E. AT PROPERTY LINE, CONSTRUCT HEADER CURB. SEE STD. DWG. 2415B AND SECTION A-A, THIS SHEET.

F. IF SIDEWALK IS AGAINST CURB, THE SIDEWALK SHOULD BE TRANSECTED TO KEEP THE CURB ACCESS RAMP IN THE LOCATION SHOWN.

G. 1/2" EXPANSION JOINT.

H. THEORETICAL FACE OF CURB OR FLOWLINE.

J. DETECTABLE WARNING DEVICES FOR DRIVE ENTRANCES 230 FEET BETWEEN FACES OF CURB (SEE STD. DWG. 2446 FOR PLACEMENT DETAILS).

K. LEVEL LANDING (2% MAXIMUM SLOPE).

L. 8.3% MAXIMUM SLOPE, 7% PREFERRED SLOPE.

M. SLOPE OF GUTTER NOT TO EXCEED 2% ADJACENT TO RAMP.

N. FLUSH WITH RAMP AND GUTTER.

P. CURB AND GUTTER (SEE STD. DWG. 2415 - GUTTER AT CURB ACCESS RAMP).

Q. 2% MAXIMUM CROSS-SLOPE, 1.5% PREFERRED CROSS-SLOPE.

R. NOT USED

S. VARIES WITH AVAILABLE RIGHT-OF-WAY.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	PRIVATE ENTRANCE DETAILS-
	ILLUSTRATING TWO R/W CONDITIONS
	DWG. 2426 JUNE 2019

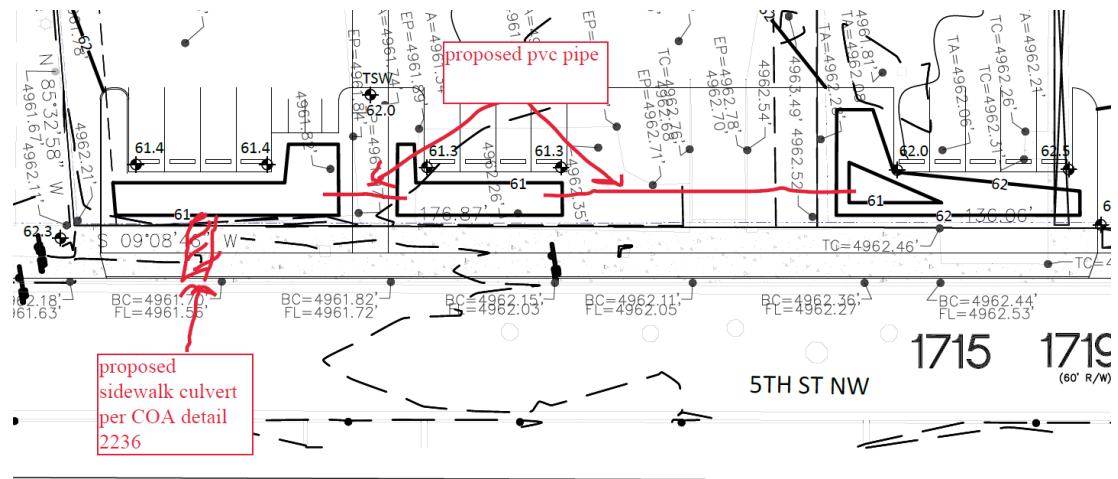
- Please call out the stormwater quality ponds and include the provided SWQV and elevation of the SWQV and the bottom of the pond elevation. Also, please connect the ponds with a pipe so that the spillway required is just one sidewalk culvert.

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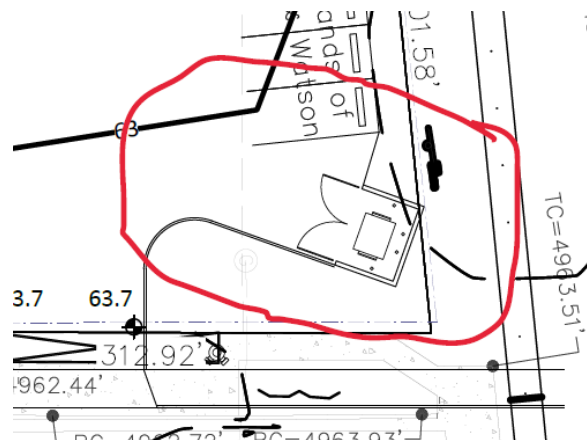
6. Please reference City of Albuquerque standard detail No. 2236 – Sidewalk Culvert with Steel Plate Top at the sidewalk culvert. Also, please provide the invert elevation inside the SWQ pond (this should be equal to the SWQV elevation) and the invert at the gutter.
7. Please provide the weir calculations, per DPM Article 6-16(A), for the sidewalk culverts. A coefficient of 2.7 is typically used for the weir equation $Q = CLH^{2/3}$.
8. For trash enclosures serving food service developments, demonstrate control of liquids from dumpster areas per DPM by: containing runoff from the dumpster area, preventing outside drainage from entering the dumpster area, and discharging to the sanitary sewer. Please show the inlet and state, “Drain to proposed sanitary sewer. See Utility Plans”.

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9. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

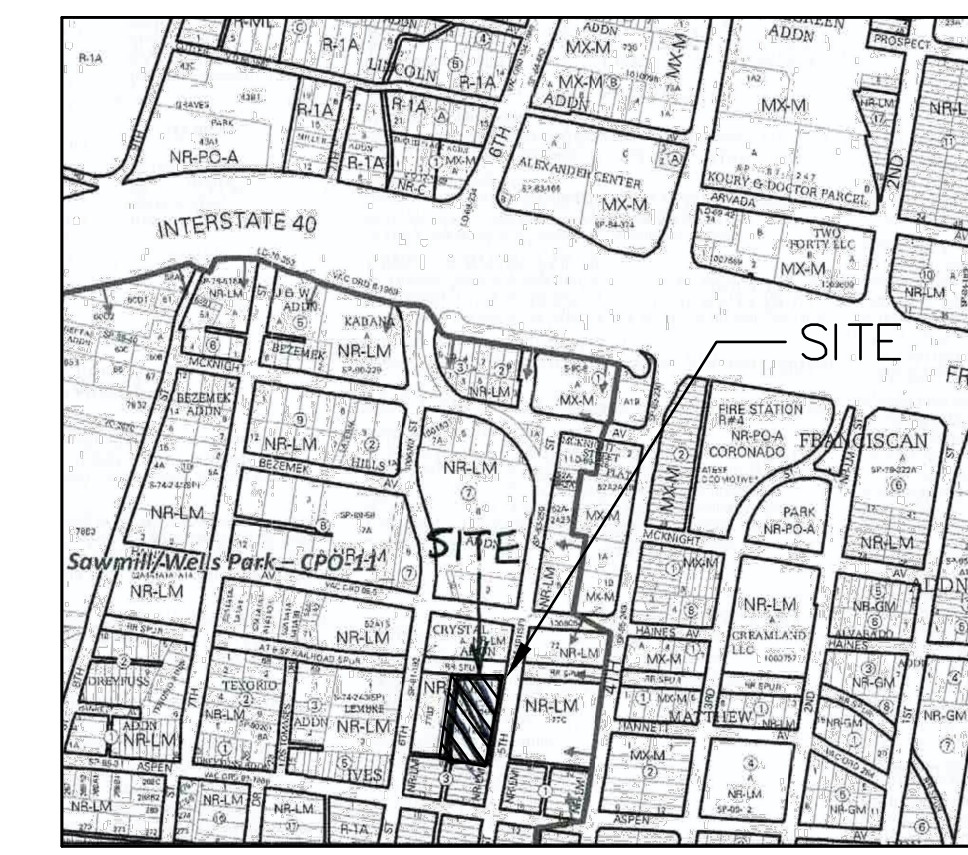
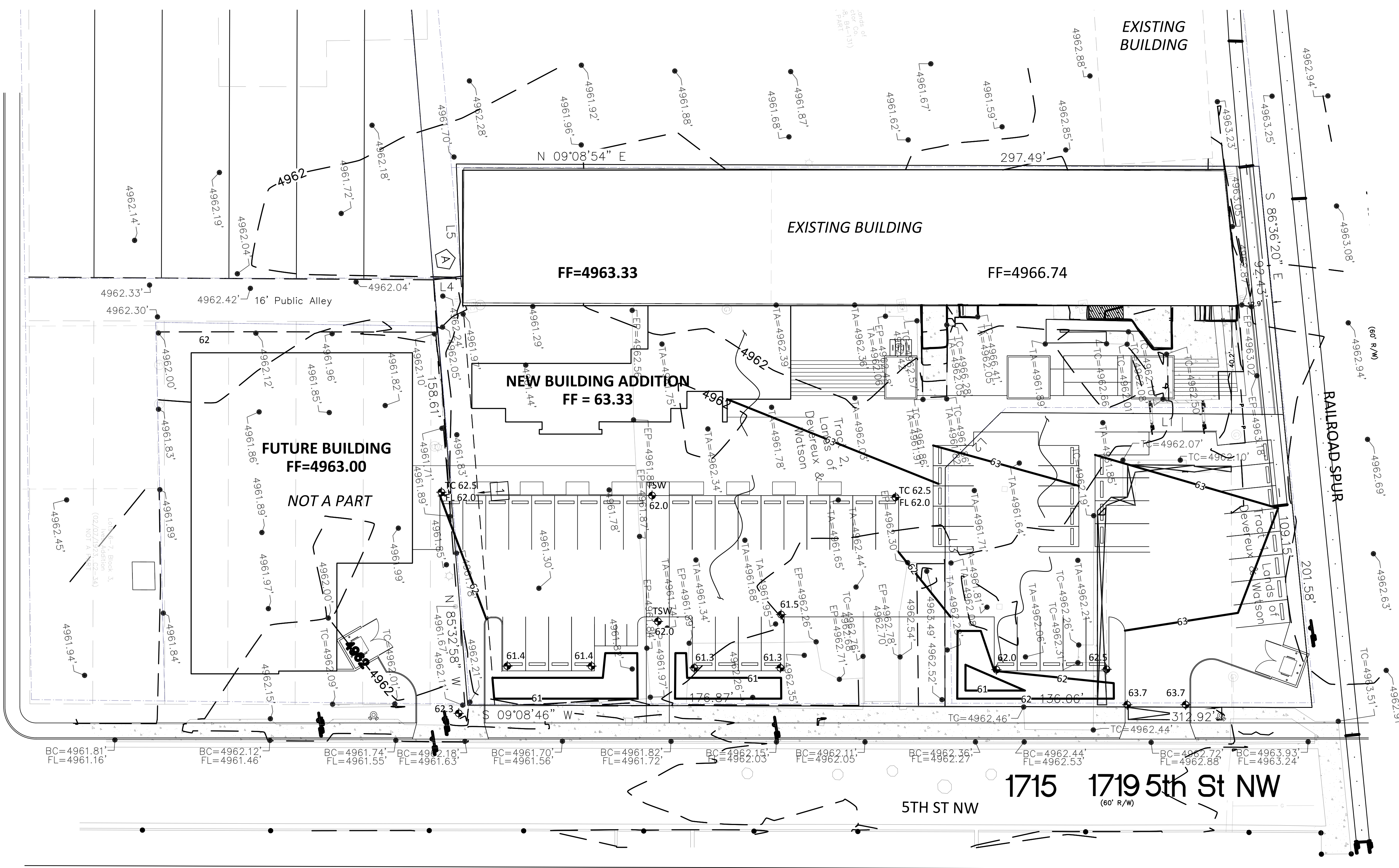
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



VICINITY MAP

H-14-Z

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=4966.4 PROPOSED BUILDING FINISH FLOOR ELEV
- XX.X NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB

DRAINAGE ANALYSIS

ADDRESS: 1715 5th Street NW, Albuquerque, NM

LEGAL DESCRIPTION: TRACTS 1 & 2, LANDS OF DEVEREUX & WATSON

SITE AREA: 61,984 SF (1.423 acre)

BENCHMARK: City of Albuquerque Station '17-114' being a brass cap with ELEV= 4957.484 (NAVD 1988)

SURVEYOR: CSI-Cartesian Surveys Inc. dated January, 2021

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0332G (8/16/12), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: There is no offsite flow that enters this site.

EXISTING CONDITIONS: The site is a developed commercial site that is flat but slopes down slightly to the south and discharges to 5th Street. One of the two commercial buildings has recently been demolished. There is an existing 13,900 SF building and the remainder of the site is asphalt paving and landscaping.

PROPOSED IMPROVEMENTS: The proposed 2,900 SF building addition will be attached to the existing building with patio areas between. The addition roof area will slope to the east side of the building. The new asphalt parking will be sloped to direct surface runoff to depressed landscape areas as.0 shown.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions with the incorporation of the onsite retention pond for the SWQ volume.

Existing land treatment: 18% C and 82% D Precipitation Zone: 2
 $Q = [(1.18)(3.14) + (0.82)(4.7)](1.423) = 6.3$ CFS

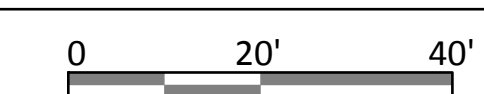
Proposed land treatment: 5% B, 9% C and 86% D
 $Q = [(0.05)(2.28) + (0.09)(3.14) + (0.86)(4.70)](1.423) = 6.3$ CFS

Redeveloped SWQ $V = (38,200)(0.26/12) = 828$ CF

The proposed retention storage areas will provide:
 $V = 900$ CF (900 > 828 OK)

GRADING AND DRAINAGE PLAN

1" = 20'



Scott M McGee PE

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