

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 11, 2023

Treveston Elliott, R.A.  
Treveston Elliott Architect  
811 12<sup>th</sup> St. NW  
Albuquerque, NM 87102

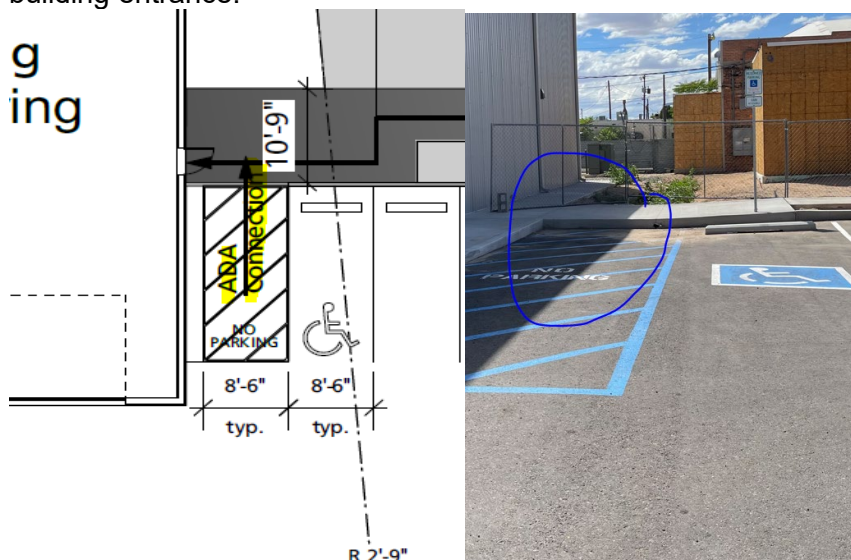
**Re: Fabrica en la Quinta/PHASE1**  
**1715 5<sup>TH</sup> St. NW**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 06-08-22 (H14-D100A)  
Certification dated 06-30-23

Dear Mr. Elliott,

Based upon the information provided in your submittal received 08-07-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per approved site plan, please provide an ADA connection from the ADA parking aisle to the building entrance.



Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

A handwritten signature in black ink, appearing to read 'Marwa Al-najjar', with a long, sweeping horizontal line extending from the end of the signature.

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

Ma via: email

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 5th Street Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: 1715 5th Street NW Albuquerque, New Mexico 87102

Applicant: Treveston Elliott Architect Contact: Treveston Elliott

Address: 811 12th St NW

Phone#: 505.259.4617 Fax#: \_\_\_\_\_ E-mail: Treveston@tearchitect.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

TYPE OF DEVELOPMENT: 3 PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE \_\_\_\_\_

IS THIS A RESUBMITTAL? x Yes \_\_\_\_\_ No

DEPARTMENT x TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: August 1, 2023 By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**TREVESTON ELLIOTT ARCHITECT**

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811 12TH STREET NW  
ALBUQUERQUE NM  
87102

o 505.259.4617

www TEarchitect.com

**TRAFFIC CERTIFICATION**

**1711 5TH STREET**

**H14-D100A**

**BP-2022-14696**

I, TREVESTON ELLIOTT ARCHITECT HEREBY CERTIFY THAT THE PROJECT AT 1715 5th STREET SW ALBUQUERQUE NM 87102 IS IN PARTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN (H14-D100A) DATED JUNE 8, 2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TREVESTON ELLIOTT OF THE FIRM TREVESTON ELLIOTT ARCHITECT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JULY 28, 2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DESIGN PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

**ITEMS MISSING**

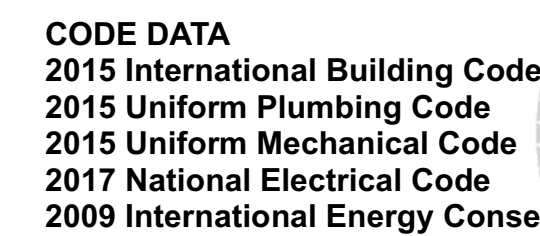
1- NORTHER HALF OF SITE IS INCOMPLETE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



**Treveston Elliott Architect AUGUST 1, 2023**





1715 5th St  
Albuquerque, New Mexico 87102

NR-LM

UC-MS-PT Corridor		
2.5/1,000 GSF (Office) 1715 Address	8,960	=22.4
5/1,000 GSF (Restaurant) 1715 Address	7,902	=39.5
0 GSF (Outdoor seating)		
3/1,000 GSF (Artisanal Manufacturing) 1711 Address	8,584	=25.7

Shared Parking Reduction TABLE 5-5-3  
Other to Food / 1.7  
 $(25.7 + 39.5) / 1.7 = 38.3 + 22.4(\text{Office}) = 61$

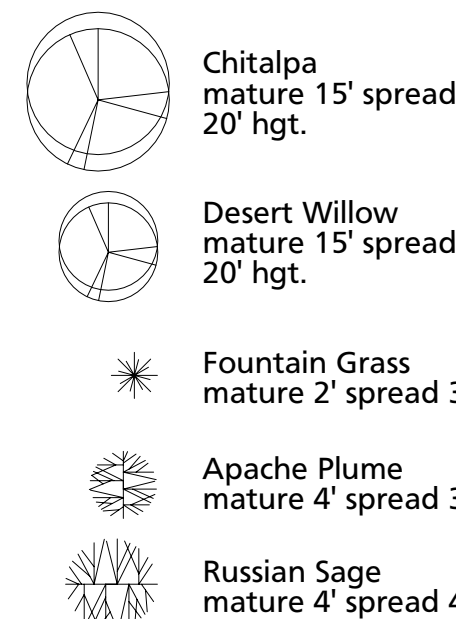
Occupancy:

2Hour Separation Wall Required between B and A-2		
2Hour Separation Wall Required between M and A-2		
2Hour Separation Wall Required between M and B		
Office	B	NS Type Vb Allowable area 9,000 sq.ft.
Resturant	A-2	NS Type Vb Allowable area 6,000 sq.ft.
Retail	M	NS Type Vb Allowable area 9,000 sq.ft.

Factory	F-1	NS Type III Allowable area 12,000sq.ft
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Adgenda Office:	8,266 sq.ft.
Future Retail or Restaurant:	5,250 sq.ft.
Existing Restaurant:	2,652 sq.ft.
Artisanal Manufacturing	8,584 sq.ft.

No urban center  
With in Main Street Corridor Area

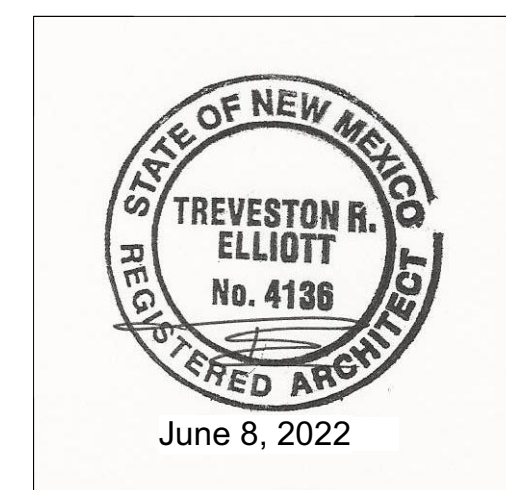


Site Area 1.764 Acres	76,757 sq.ft.
Existing Building Footprint	14,195 sq.ft.
Building Addition Footprint	3,038 sq.ft.
Building #2 Footprint	8,588 sq.ft.
Total Buildings	26,818 sq.ft.
Landscape Area:	50,939 sq.ft.
Required Landscape %	.15 sq.ft.
Landscape Area Required:	7,641 sq.ft.
Landscape Area Provided:	16,712 sq.ft.
Parking Lot Area	22,421 sq.ft.
Sidewalk Area	11,806 sq.ft.

**Irrigation System**  
Irrigation system standards outlined in the Water Conservation Landscape and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system is existing and shall be tested by the contractor and repaired if required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

ALL IMPROVEMENTS LOCATED IN RIGHT OF WAY MUST  
BE INCLUDED ON THE WORK ORDER



Date: May 20, 2022

Sheet:  
Traffic Circulation Layout

**TCL**

