

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 10, 2021

Treveston Elliott, RA
811 12th St NW
Albuquerque, NM 87114

**Re: 5th Street
1715 5th St NW
Traffic Circulation Layout
Architect's Stamp 08-10-2021 (H14-D100A)**

Dear Mr. Treveston Elliott,

The TCL submittal received 08-10-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

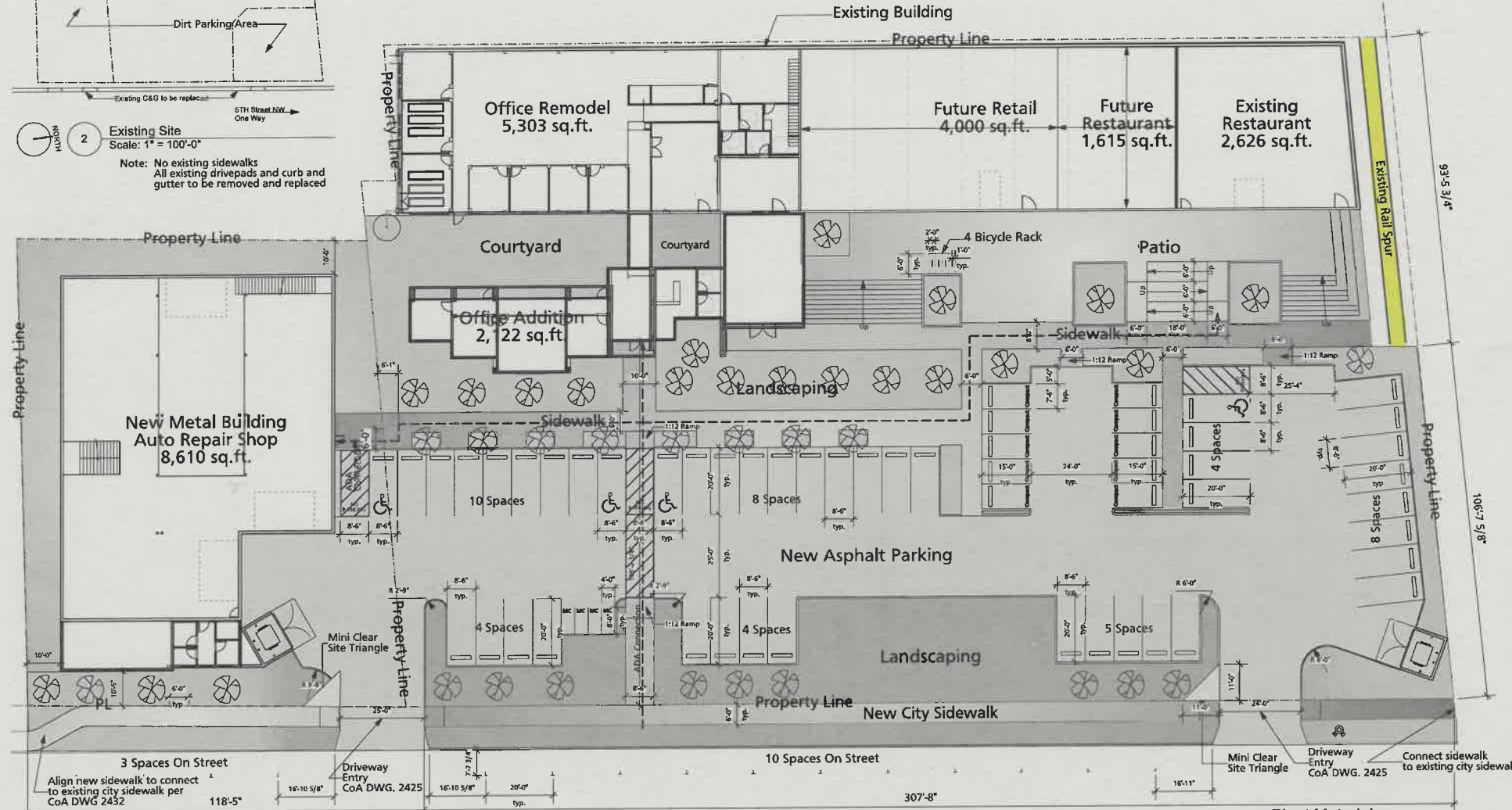
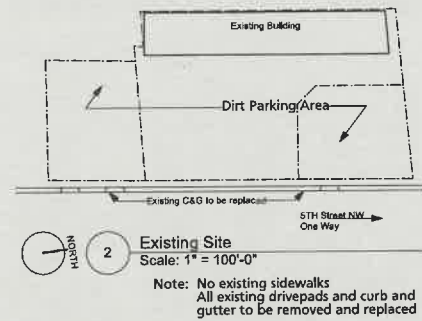
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

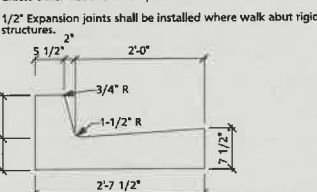
Approved for access by the Solid Waste Department
Herman Gallegos 07-13-21 *Herman Gallegos*
This has been approved for a Hazard Route Only



1 Site Plan
Scale: 1" = 20'-0"

2 Standard Sidewalk Detail
Scale: 3/4" = 1'-0"

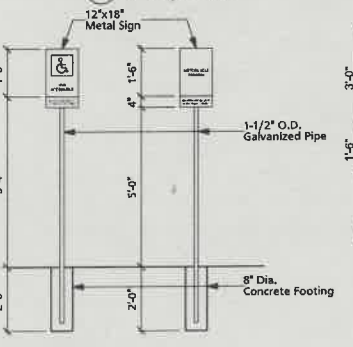
Per CoA std. dwg 2430
cross slope of 1/4" per foot shall be provided and shall slope towards the direction of the drainage area.
Concrete walks shall have contraction joints at 6' o.c. Intervals. 1/2" Expansion joints shall be installed every 36', unless otherwise shown on plans.



3 Standard Curb / Gutter Detail
Scale: 3/4" = 1'-0"

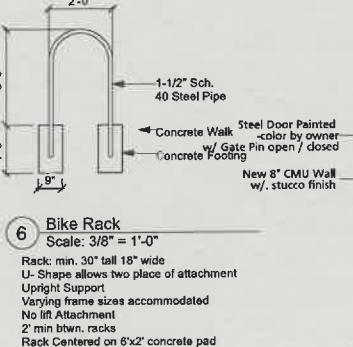
Per CoA std. dwg 2415A
Provide 1/2" Expansion joints at 36' o.c. at immovable objects and at the beginning and end of curves
Provide contraction joints at 6' o.c.
All exposed concrete corners to have 3/4" radius.

4 Dumpster Enclosure Wall Detail
Scale: 3/8" = 1'-0"

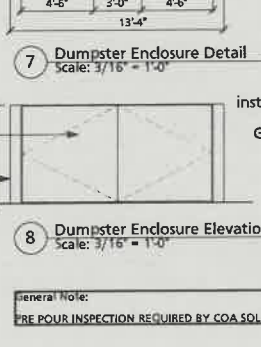


5 HC / Motorcycle Sign Detail
Scale: 3/8" = 1'-0"

6 Bike Rack
Scale: 3/8" = 1'-0"



7 Dumpster Enclosure Detail
Scale: 3/16" = 1'-0"



General Note:
PRE POUR INSPECTION REQUIRED BY COA SOLID WASTE DEPARTMENT

Plant Material

- Chitalpa mature 15' spread 20' hgt.
- Desert Willow mature 15' spread 20' hgt.
- Fountain Grass mature 2' spread 3' hgt.
- Apache Plume mature 4' spread 3' hgt.
- Russian Sage mature 4' spread 4' hgt.

Landscape Requirements

Site Area 1.764 Acres	76,757 sq.ft.
Existing Building Footprint	14,195 sq.ft.
Building Addition Footprint	3,035 sq.ft.
Building #2 Footprint	8,588 sq.ft.
Total Buildings	26,818 sq.ft.
Landscape Area:	50,939 sq.ft.
Required Landscape %	.15 sq.ft.
Landscape Area Required:	7,641 sq.ft.
Landscape Area Provided:	16,712 sq.ft.
Parking Lot Area	22,421 sq.ft.
Sidewalk Area	11,806 sq.ft.

Irrigation System
Irrigation system standards outlined in the Water Conservation Landscape and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system is existing and shall be tested by the contractor and repaired if required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

ALL BROKEN OR CRACKED CURB & GUTTER / CURB CUTS AND SIDEWALK TO BE REPLACED PER CoA Std dwg 2415

ALL IMPROVEMENTS LOCATED IN RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER

CODE DATA
2015 International Building Code
2015 Uniform Plumbing Code
2015 Uniform Mechanical Code
2017 National Electrical Code
2009 International Energy Conservation Code

City of Albuquerque
Location: 1715 5th St
Albuquerque, New Mexico 87102

Zoning: NR-LM

Parking:	UC-MS-PT Corridor	9,608	=24
	2.5/1,000 GSF (Office)	3,677	=9.2
	2.5/1,000 GSF (Retail)	4,238	=21.2
	5/1,000 GSF (Restaurant)		
	0 GSF (Outdoor seating)		
	1/1,000 GSF (Light Vehicle Repair)	8,610	=8.6

Total Spaces required before reduction = 63
ADA = 3 (1 Van)
Motorcycle = 3
Bicycle = 4

Shared Parking Reduction TABLE 5-5-3
Office to Food / 1.7
(24 + 21.2) / 1.7 = 26.6 + 9.2(Retail) + 8.6(LVR) = 45

Total Spaces Required = 45
Total Spaces Provided = 66
(note: shared parking access agreement will be provided)

Occupancy:

2Hour Separation Wall Required between B and A-2
2Hour Separation Wall Required between M and A-2
2Hour Separation Wall Required between M and B
Office B NS Type Vb Allowable area 9,000 sq.ft.
Restaurant A-2 NS Type Vb Allowable area 6,000 sq.ft.
Retail M NS Type Vb Allowable area 9,000 sq.ft.

Factory F-1 NS Type III Allowable area 12,000sq.ft.

Adgenda Office: 8,635 sq.ft.
Future Retail: 4,000 sq.ft.
Future Restaurant: 1,615 sq.ft.
Existing Restaurant: 2,626 sq.ft.
Light Vehicle Repair: 14,822 sq.ft.

Project Scope: Remodel existing southern portion of existing brick building into new office area with approximately 3,000 sq.ft. addition. Center portion of existing brick building to be vanilla shell. North suite to remain existing restaurant. New metal Building for construction of custom land rover vehicles.

No urban center
With in Main Street Corridor Area

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed *[Signature]* Date 08/10/21

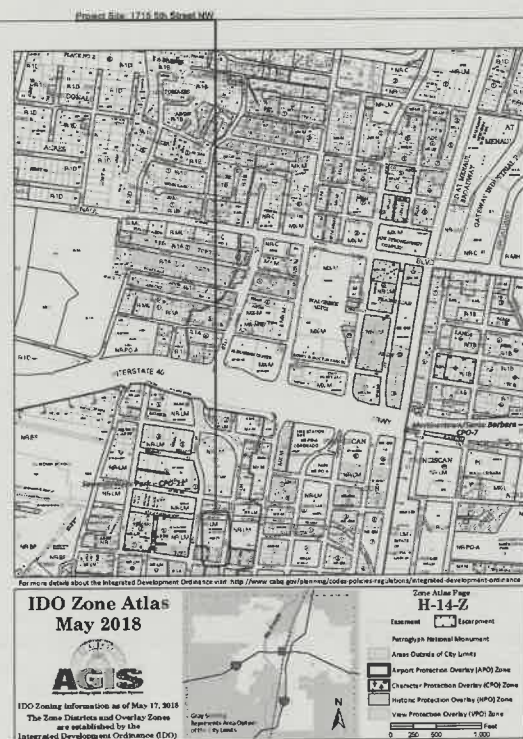
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1715 5TH STREET
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Date: August 10, 2021

Sheet: Traffic Circulation Layout



TCL

H14 - D100A