

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 16, 2023

Treveston Elliott, RA
Treveston Elliott Architect
9811 12th St. NW
Albuquerque, NM 87102

**Re: Fabrica en la Quinta/ 1715 5th St. NW/ PHASE 1
Request for Certificate of Occupancy
Transportation Development Final Inspection**
Architect's Stamp dated 06-08-2022 (H14-D100A)
Certification dated 08-01-23

Dear Mr. Elliott,

Based upon the information provided in your submittal received 08-07-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\xxx via: email
C: CO Clerk, File

TREVESTON ELLIOTT ARCHITECT

811 12TH STREET NW
ALBUQUERQUE NM
87102

o 505.259.4617

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TRAFFIC CERTIFICATION

1711 5TH STREET

H14-D100A

BP-2022-14696

I, TREVESTON ELLIOTT ARCHITECT HEREBY CERTIFY THAT THE PROJECT AT 1715 5th STREET SW ALBUQUERQUE NM 87102 IS IN PARTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN (H14-D100A) DATED JUNE 8,2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TREVESTON ELLIOTT OF THE FIRM TREVESTON ELLIOTT ARCHITECT . I FUTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JULY 28,2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DESIGN PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

ITEMS MISSING

1- NORTHER HALF OF SITE IS INCOMPLETE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Treveston Elliott Architect AUGUST 1, 2023

This has been approved for a Hazard Route only



CODE DATA
 2015 International Building Code
 2015 Uniform Plumbing Code
 2015 Uniform Mechanical Code
 2017 National Electrical Code
 2009 International Energy Conservation Code

City of Albuquerque
 Location: 1715 5th St
 Albuquerque, New Mexico 87102

Zoning: NR-LM

Parking:
 UC-MS-PT Corridor
 2.5/1,000 GSF (Office) 1715 Address 8,960 =22.4
 5/1,000 GSF (Restaurant) 1715 Address 7,902 =39.5
 0 GSF (Outdoor seating)
 3/1,000 GSF (Artisanal Manufacturing) 1711 Address 8,584 =25.7

Total Spaces required before reduction = 88
 ADA = 3
 (1 Van) = 3
 Motorcycle = 3
 Bicycle = 4

Shared Parking Reduction TABLE 5-5-3
 Other to Food / 1.7
 (25.7 + 39.5) / 1.7 = 38.3 + 22.4 (Office) = 61

Total Spaces Required = 61
 Total Spaces Provided = 66
 (note: shared parking access agreement will be provided)

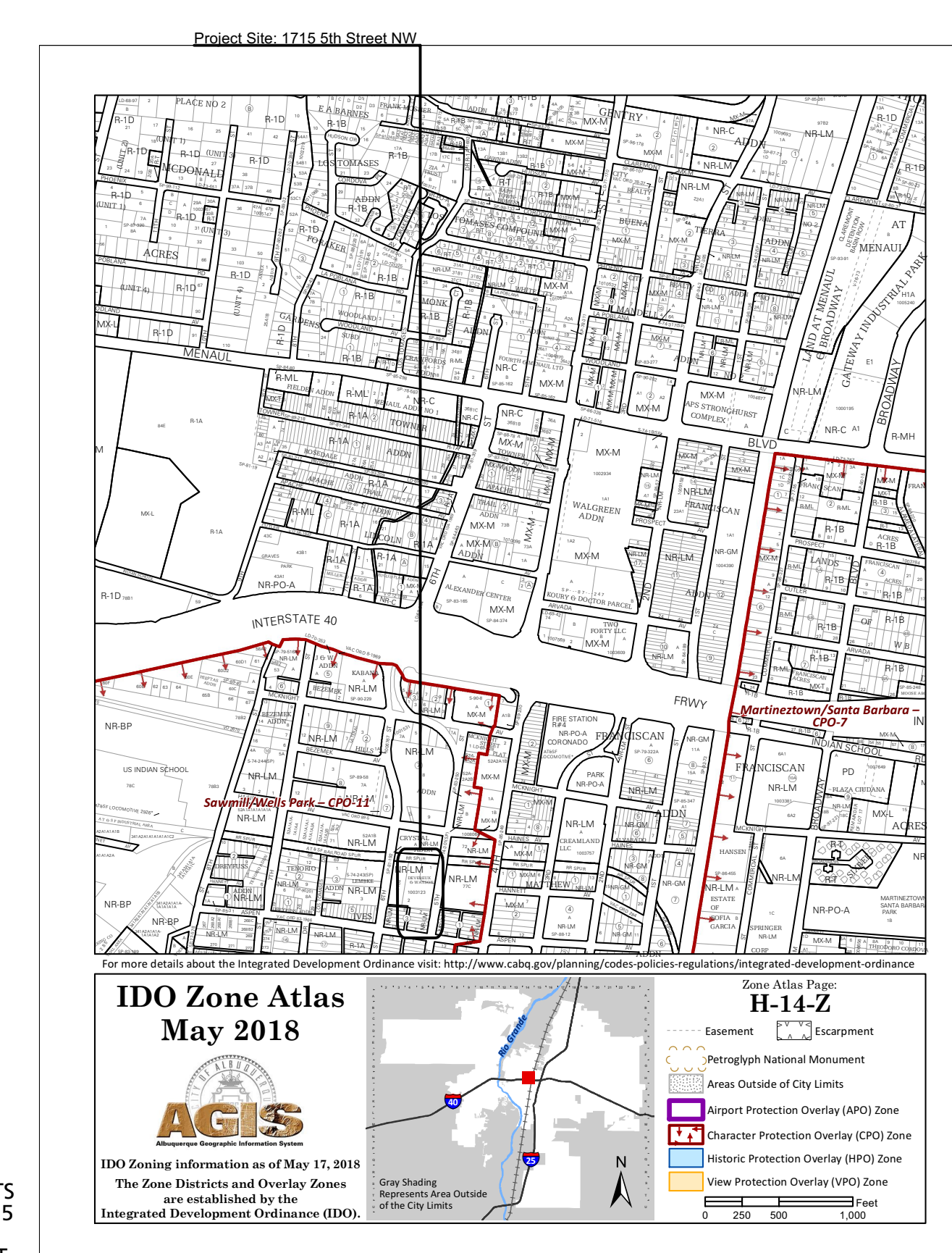
Occupancy:

2Hour Separation Wall Required between B and A-2
 2Hour Separation Wall Required between M and A-2
 2Hour Separation Wall Required between M and B
 Office B NS Type Vb Allowable area 9,000 sq.ft.
 Restaurant A-2 NS Type Vb Allowable area 6,000 sq.ft.
 Retail M NS Type Vb Allowable area 9,000 sq.ft.

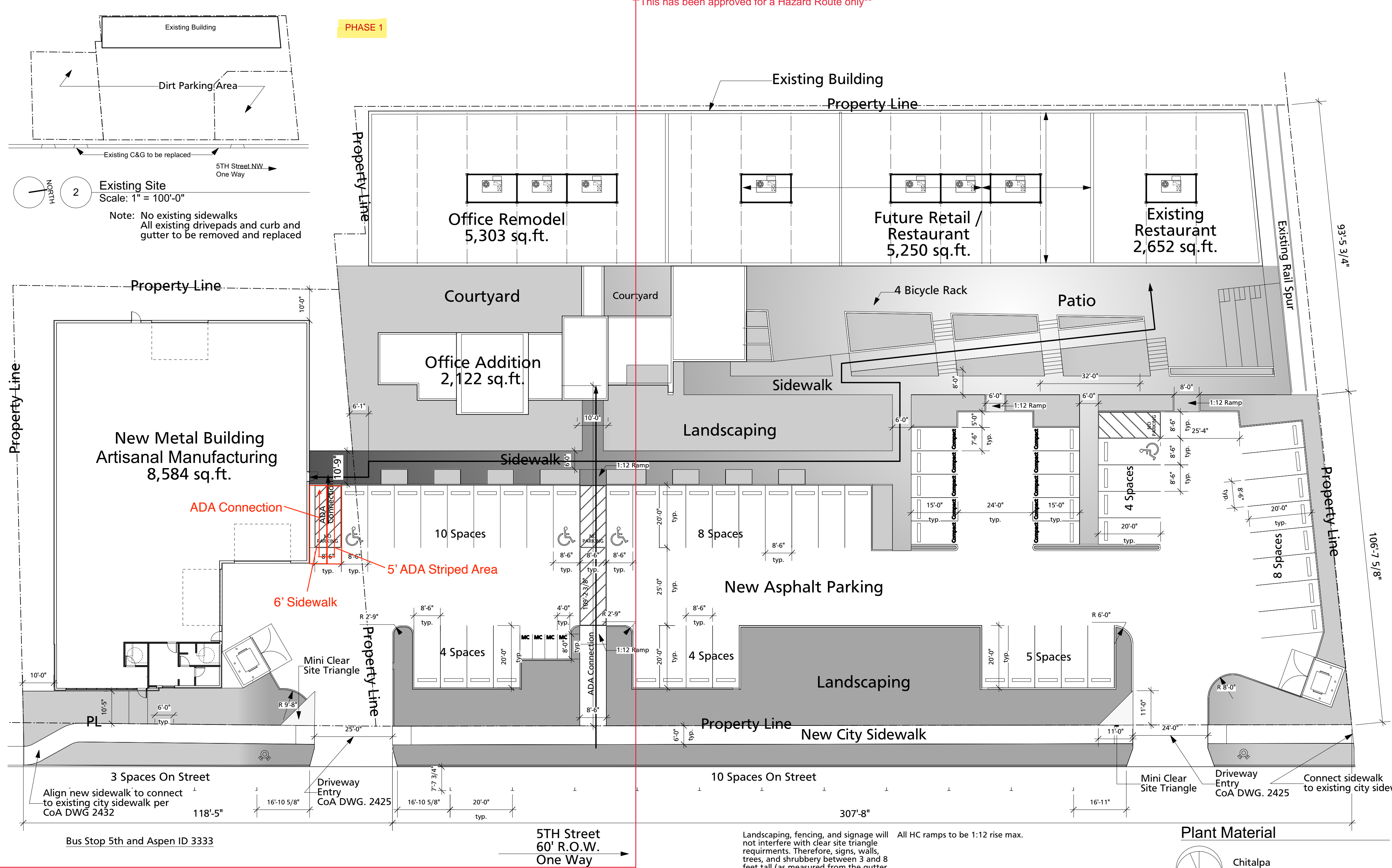
Factory F-1 NS Type III Allowable area 12,000sq.ft.

Agenda Office: 8,266 sq.ft.
 Future Retail or Restaurant: 5,250 sq.ft.
 Existing Restaurant: 2,652 sq.ft.
 Artisanal Manufacturing: 8,584 sq.ft.

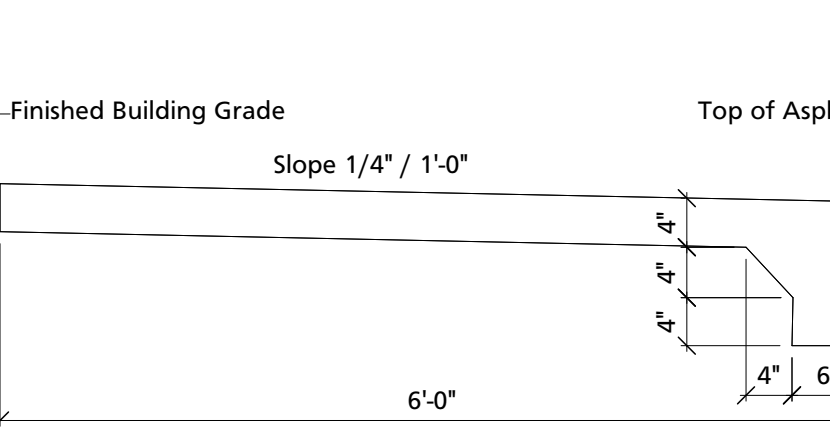
No urban center
 With in Main Street Corridor Area



IDO Zone Atlas May 2018
 The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).
 Legend: Easement, Encumbrance, Petriograph National Monument, Areas Outside of City Limits, Airport Protection Overlay (APO) Zone, Character Protection Overlay (CPO) Zone, Historic Protection Overlay (HPO) Zone, View Protection Overlay (VPO) Zone.
 Scale: 1" = 200'

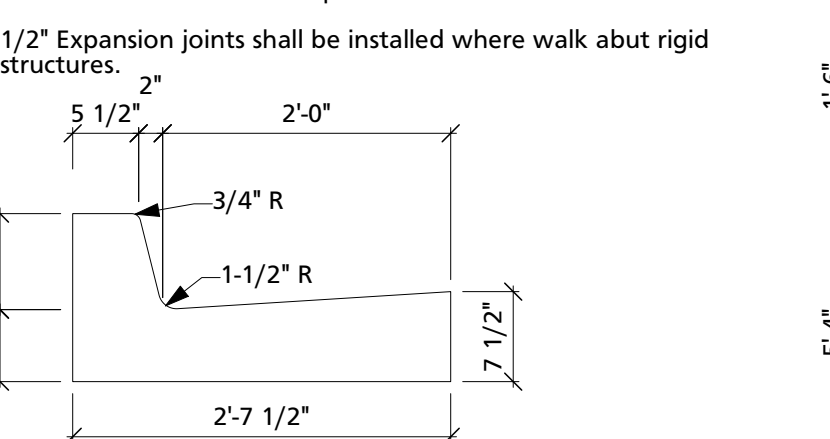


1 Site Plan
 Scale: 1" = 20'-0"



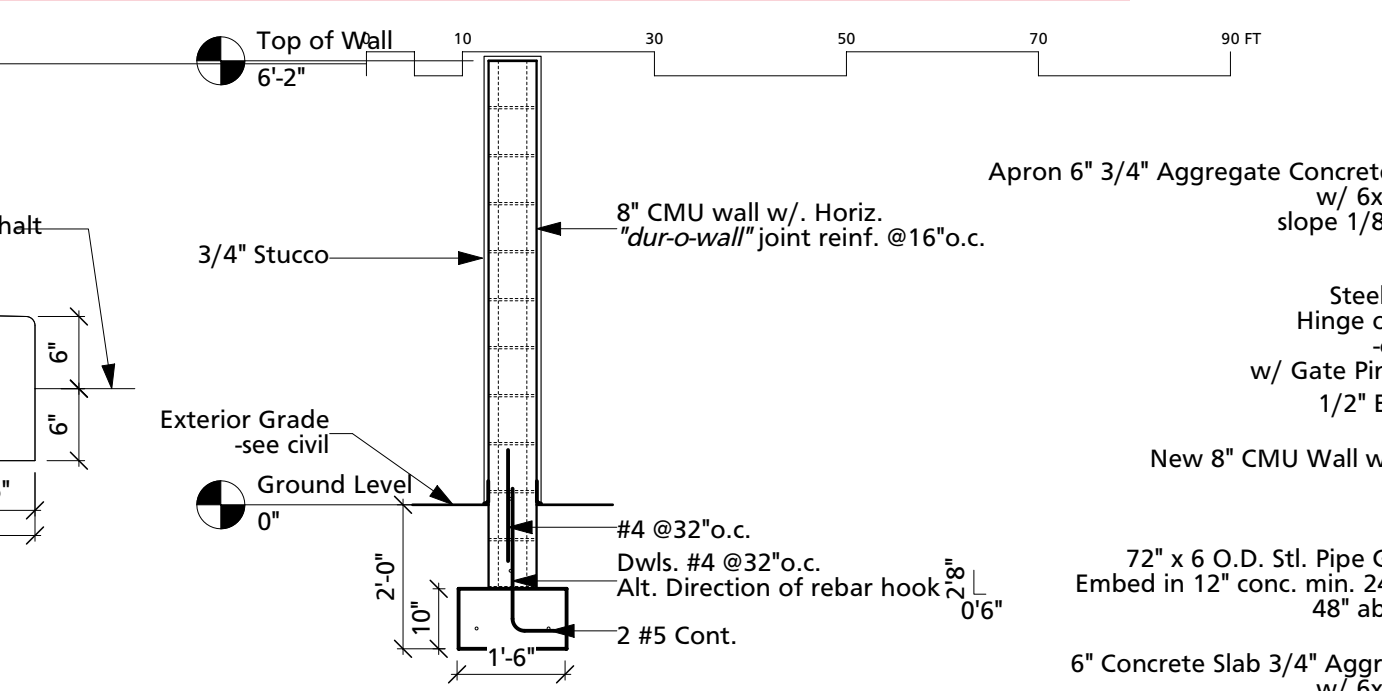
2 Standard Sidewalk Detail
 Scale: 3/4" = 1'-0"

Per CoA std. dwg 2430
 cross slope of 1/4" per foot shall be provided and shall slope towards the direction of the drainage area.
 Concrete walks shall have contraction joints at 6' o.c. Intervals. 1/2" Expansion joints shall be installed every 36', unless otherwise shown on plans.
 1/2" Expansion joints shall be installed where walk abut rigid structures.

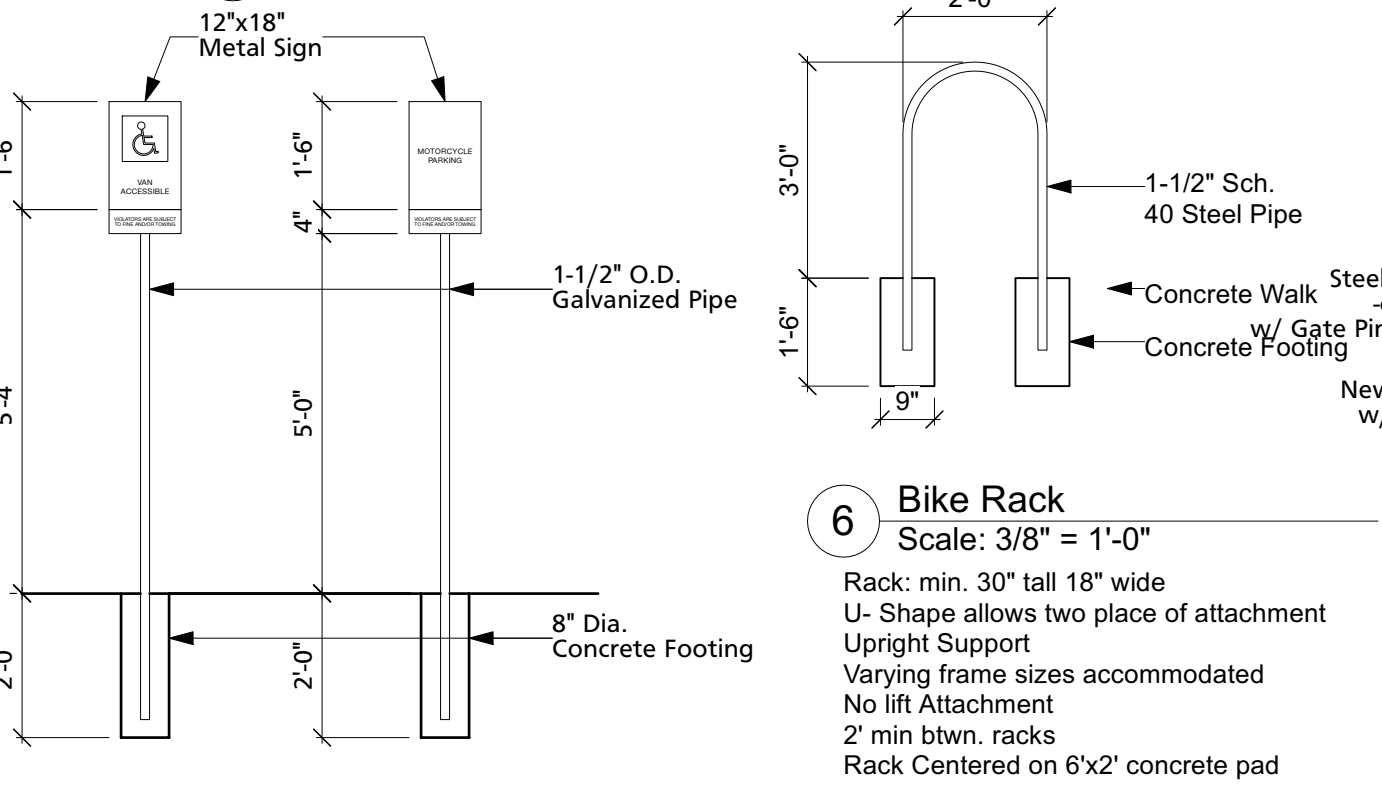


3 Standard Curb / Gutter Detail
 Scale: 3/4" = 1'-0"

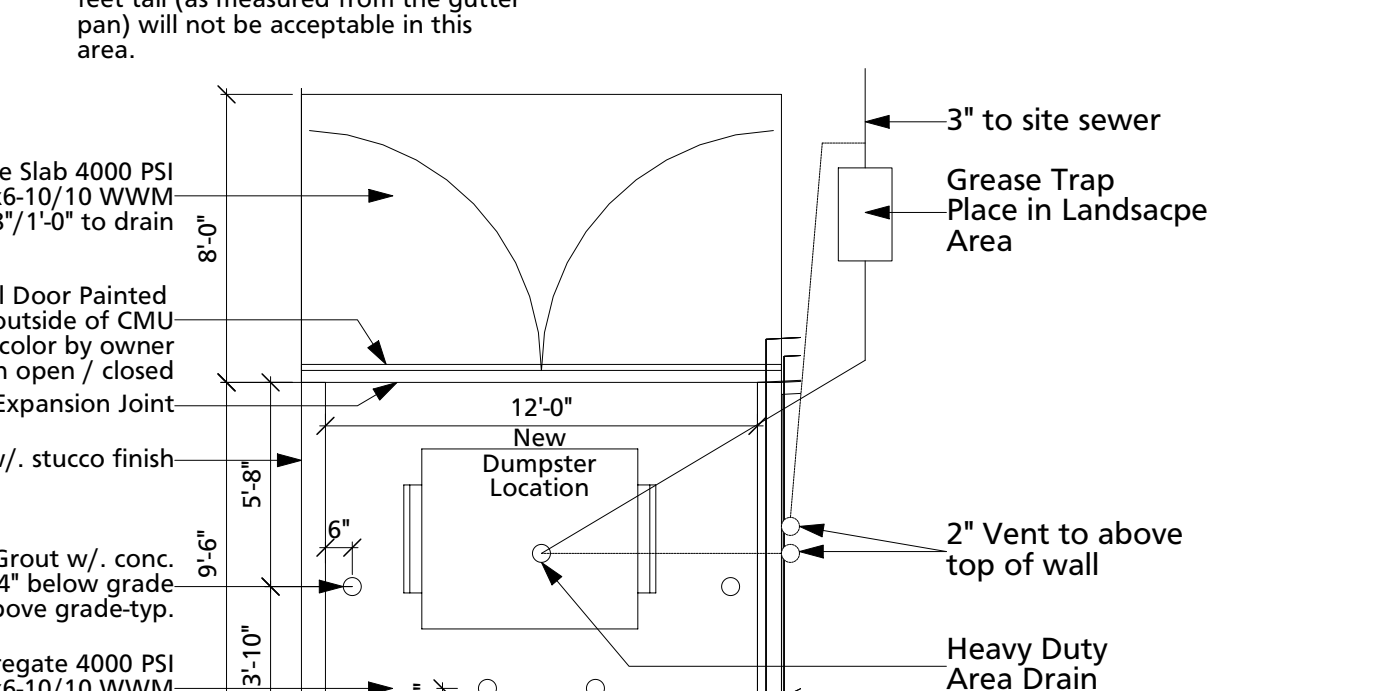
Per CoA std. dwg 2415A
 Provide 1/2" Expansion joints at 36' o.c. at immovable objects and at the beginning and end of curves
 Provide contraction joints at 6' o.c.
 All exposed concrete corners to have 3/4" radius.



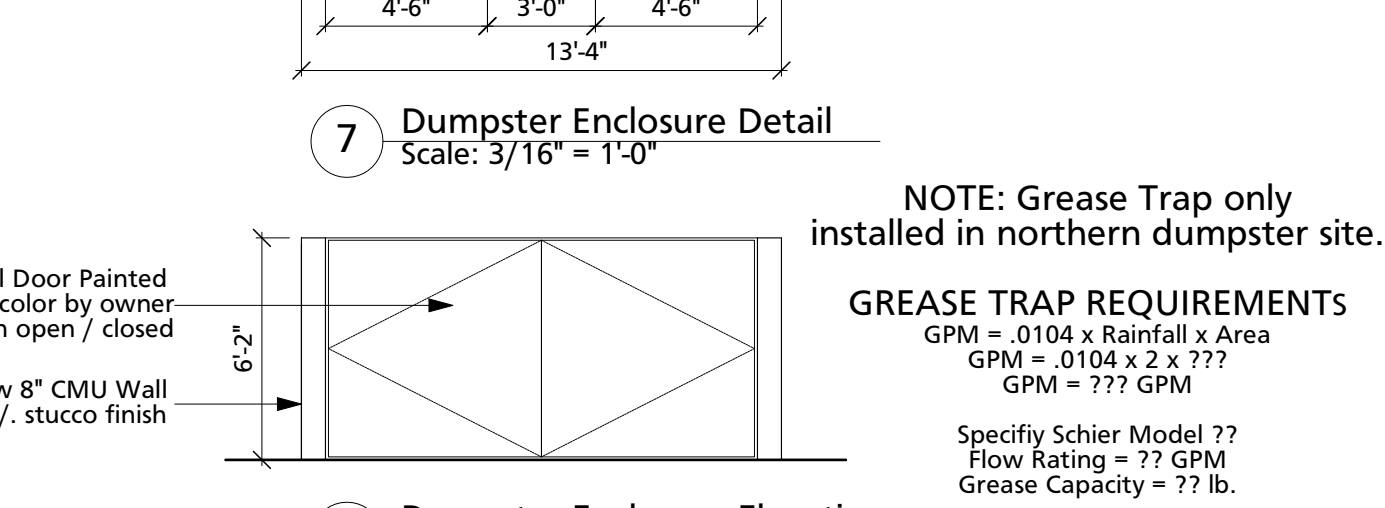
5 HC / Motorcycle Sign Detail
 Scale: 3/8" = 1'-0"



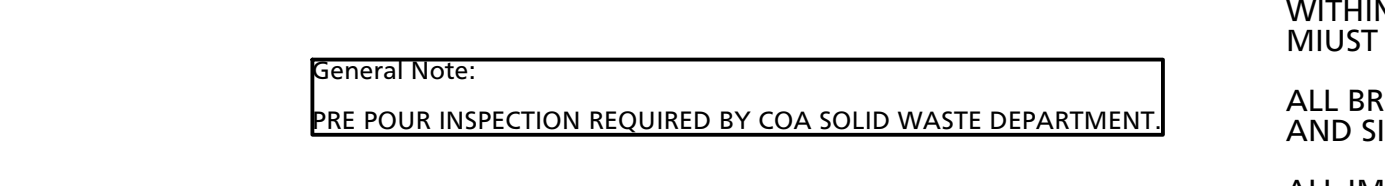
6 Bike Rack
 Scale: 3/8" = 1'-0"



4 Dumpster Enclosure Wall Detail
 Scale: 3/8" = 1'-0"



7 Dumpster Enclosure Detail
 Scale: 3/16" = 1'-0"



8 Dumpster Enclosure Elevation
 Scale: 3/16" = 1'-0"

Landscaping, fencing, and signage will not interfere with clear site triangle requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.
 All HC ramps to be 1:12 rise max.

Plant Material

- Chitalpa mature 15' spread 20' hgt.
- Desert Willow mature 15' spread 20' hgt.
- Fountain Grass mature 2' spread 3' hgt.
- Apache Plume mature 4' spread 3' hgt.
- Russian Sage mature 4' spread 4' hgt.

Landscape Requirements

Site Area 1.764 Acres	76,757 sq.ft.
Existing Building Footprint	14,195 sq.ft.
Building Addition Footprint	3,035 sq.ft.
Building #2 Footprint	8,588 sq.ft.
Total Buildings	26,818 sq.ft.
Landscape Area:	50,939 sq.ft.
Required Landscape %	.15 sq.ft.
Landscape Area Required:	7,641 sq.ft.
Landscape Area Provided:	16,712 sq.ft.
Parking Lot Area	22,421 sq.ft.
Sidewalk Area	11,806 sq.ft.

Irrigation System
 Irrigation system standards outlined in the Water Conservation Landscape and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system is existing and shall be tested by the contractor and repaired if required.

GREASE TRAP REQUIREMENTS
 GPM = .0104 x Rainfall x Area
 GPM = .0104 x 2 x ???
 GPM = ??? GPM
 Specify Schier Model ??
 Flow Rating = ?? GPM
 Grease Capacity = ?? lb.

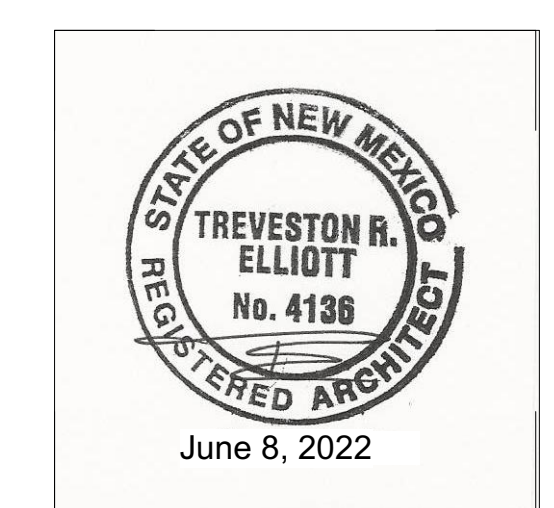
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
 ALL BROKEN OR CRACKED CURB & GUTTER / CURB CUTS AND SIDEWALK TO BE REPLACED PER CoA Std dwg 2415
 ALL IMPROVEMENTS LOCATED IN RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER

General Note:
PRE POUR INSPECTION REQUIRED BY COA SOLID WASTE DEPARTMENT

TREVESTON ELLIOTT
 ARCHITECT

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Fábrica en la Quinta
 ALBUQUERQUE, NEW MEXICO 87102



Date: May 20, 2022
 Sheet: Traffic Circulation Layout

