

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

January 31, 2020

Ron Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Place, NE  
Albuquerque, NM 87109

RE: **Maverick at University & Menaul**  
**1901 Menaul NE**  
**Grading Plan Stamp Date: 1/29/20**  
**Drainage Report Stamp Date: 12/11/19**  
**Hydrology File: H15D068**

Dear Mr. Bohannon,

Based on the submittal received on 1/29/20, this project is approved for Building Permit.

Prior to Certificate of Occupancy (For Information):

1. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.
2. City acceptance and close-out of the public Work Order will be required, unless a financial guarantee has been posted.
3. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the storm water ponds. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Maverik University & Menaul **Building Permit #:** BP-2019-50502 **Hydrology File #:** H15D068  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** TR OF LD IN SEC 9 T10N R3E IN THE S/2 SW/4 SE/4 NE/4 EXC THE SELY PORT OUT TO R/W AT THE NW CORNER OF MENAUL & UNIVERSITY & EXC A WLY PORT OUT TO R/W AT MENAUL & I-25

**City Address:** 1901 Menaul Blvd NE, Albuquerque, NM 87107

**Applicant:** Tierra West, LLC **Contact:** Vinny Perea

**Address:** 5571 Midway Park Place NE, Albuquerque, NM 87109

**Phone#:** 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** vperea@tierrawestllc.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 1/29/2020 **By:** Vinny Perea 505-858-3100

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





# TIERRA WEST, LLC

January 28, 2020

Mr. Dana Peterson, P.E.  
Sr. Engineer-Hydrology  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**RE: MAVERIK AT UNIVERSITY & MENAUL  
GRADING PLAN & DRAINAGE REPORT RESPONSE TO COMMENTS  
ENGINEER'S STAMP DATE 12/11/19 (H15D068)**

Dear Mr. Peterson:

Per your correspondence dated December 13, 2019, please find the following responses addressing the comments listed below:

Prior to Building Permit:

1. Provide a Revocable Permit and Slope Easement (measured at a 3:1 slope from top of wall to bottom of wall) for the retaining wall encroaching on University. Final recorded documents can be provided at CO, but they need to be initiated now. Turn in the documents to DRC on the 4<sup>th</sup> floor for routing and then provide a copy along with a DTIS sheet when resubmitting for building permit approval. There is no resubmittal fee for this action; please include a copy of this letter when resubmitting to receive the reduced fee.  
**Response: The slope easement has been completed and recorded and is attached with this letter. A 12'-wide easement has been established in the location of the proposed retaining wall adjacent to University Blvd. This retaining wall has been shifted to the west to be away from the property line and using an L-footing. The cross section A-A of this wall has been updated on Sheet C6 and an L-Footing retaining wall detail has been added to Detail Sheet C9.**
2. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Curtis Cherne, PE, [ccherne@cabq.gov](mailto:ccherne@cabq.gov), 924-3420) 14 days prior to any earth disturbance.  
**Response: We have received approval from COA on an Erosion and Sediment Control Plan on 1-15-2020 for this site. We are currently working through the NOI process with the owner and understand that no earth disturbance will occur prior to submittal of the NOI to COA.**

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, PE

JN: 2018062  
RRB/vp

5571 Midway Park Pl. NE  
Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118  
1-800-245-3102  
tierrawestllc.com





## Legal Description

### Public Slope Easement

A 12' WIDE PUBLIC SLOPE EASEMENT LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF A PORTION OF TRACT B-1, TRUCK STOP PLAZA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON DECEMBER 06, 2019, IN MAP BOOK 2019C, PAGE 122, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS;

BEGINNING AT THE NORTHEAST CORNER OF DESCRIBED EASEMENT, LYING ON THE WEST RIGHT OF WAY LINE OF UNIVERSITY BOULEVARD, N.E., FROM WHENCE A TIE TO FOUND A.G.R.S. MONUMENT 'I\_40\_12" BEARS S 85°36'46" E, A DISTANCE OF 3459.75 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID WEST RIGHT OF WAY LINE, S 00°33'30" W, A DISTANCE OF 180.06 FEET TO THE SOUTHEAST CORNER OF DESCRIBED EASEMENT;

THENCE LEAVING SAID RIGHT OF WAY LINE, N 89°26'30" W, A DISTANCE OF 12.00 FEET TO THE SOUTHWEST CORNER OF DESCRIBED EASEMENT;

THENCE N 00°33'30" E, A DISTANCE OF 180.06 FEET TO THE NORTHWEST CORNER OF DESCRIBED EASEMENT;

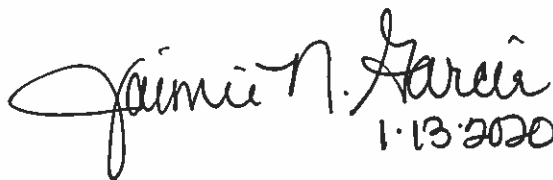
THENCE S 89°26'30" E, A DISTANCE OF 12.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.0496 ACRES (2,161 SQUARE FEET), MORE OR LESS, ALL AS SHOWN ON ATTACHED EXHIBIT "A"

#### Surveyor's Certificate

I, LARRY W. MEDRANO LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS LEGAL DESCRIPTION, WAS PREPARED BY ME OR UNDER MY DIRECTION FROM NOTES OF AN ACTUAL FIELD SURVEY, AND THE SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.



 01/13/2020  
LARRY W. MEDRANO  
N.M.P.S. NO. 11993

 1.13.2020

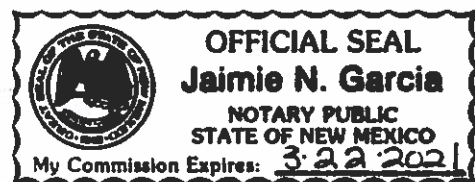




Exhibit "A"

A PORTION OF THE N 1/2 OF S 1/2 OF SECTION 9, TOWNSHIP 10 NORTH, RANGE 3 EAST, SPECIAL WARRANTY DEED (04/13/1993, DOC. NO. 1993036682)

A.G.R.S. MONUMENT "CANDELARIA" (FOUND IN PLACE)  
STANDARD U.S.C. & G.S. BRASS DISC  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,497,091.458 US SURVEY FEET  
E=1,528,901.06 US SURVEY FEET  
PUBLISHED EL.=5090.486 US SURVEY FT (NAVD 1988)  
GROUND TO GRID FACTOR=0.99967407  
DELTA ALPHA ANGLE=-072°52'18"

FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP (ILLEGIBLE)

A.G.R.S. MONUMENT "L-40-12" (FOUND IN PLACE)  
STANDARD N.M.S.H.C. BRASS DISC  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,495,236.843 US SURVEY FEET  
E=1,532,077.743 US SURVEY FEET  
PUBLISHED EL.=5117.289 US SURVEY FT (NAVD 1988)  
GROUND TO GRID FACTOR=0.999672575  
DELTA ALPHA ANGLE=-072°30'45"

PRIVATE CROSS LOT ACCESS EASEMENT FOR THE BENEFIT OF TRACTS A-1 AND B-1, TO BE MAINTAINED BY THE OWNER OF EACH TRACT, (12/06/2019, 2019C-122)

10' WIDE PUBLIC UTILITY EASEMENT (12/06/2019, 2019C-122)

Tract A-1  
TRUCK STOP PLAZA  
(12/06/2019, 2019C-122)

Tract B-1  
TRUCK STOP PLAZA  
(12/06/2019, 2019C-122)

PRIVATE CROSS LOT ACCESS EASEMENT FOR THE BENEFIT OF TRACTS A-1 AND B-1, TO BE MAINTAINED BY THE OWNERS OF EACH TRACT, (12/06/2019, 2019C-122)

12' WIDE PUBLIC SLOPE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS DOCUMENT

10' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF TRACTS A-1 AND B-1, TO BE MAINTAINED BY THE OWNER OF TRACTS A-1 AND B-1 (12/06/2019, 2019C-122)

FOUND PK NAIL WITH SHINER (REJECTED)

Menaui Boulevard, N.E.  
(106' PUBLIC R.O.W.)

Univeristy Boulevard, N.E.  
(120' PUBLIC R.O.W.)

Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Surveyor's Certificate

I, LARRY W. MEDRANO, A LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS EASEMENT SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR THIS CLASSIFICATION OF SURVEY AS PER THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE N.M. BOARD OF LICENSES FOR ENGINEERS AND SURVEYORS, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



OFFICE LOCATION:  
8200 San Mateo Boulevard, NE  
Albuquerque, NM 87113  
505.856.5700 PHONE  
505.856.7900 FAX



COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROJECT INFORMATION			
TRAIL POINT DATA	POINT NUMBER	POINT DESCRIPTION	TIME	LAND GRANT	TOWN OF ATRISCO GRANT	CREW/TECH	DATE OF SURVEY	MT	10/2/2018		
NM-C	GRID	STANDARD									
TRAIL POINT DATA	POINT NUMBER	POINT DESCRIPTION	TIME								
NAD83	NAVDS8	07:00:00.00"									
CENTRAL ZONE	SECTION	TOWNSHIP	RANGE								
ALBUQUERQUE GEODETIC REFERENCE SYSTEM	9	10 NORTH	3 EAST								
GROUND TO GRID FACTOR											
GROUND TO GROUND 1.000326784											
GROUND TO GRID 0.999673323											

LARRY W. MEDRANO  
N.M.P.S. No. 11993  
DATE 01/13/2020  
WET SIGNATURE IS INVALID IF NOT IN BLUE INK WITH BLUE



NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES:

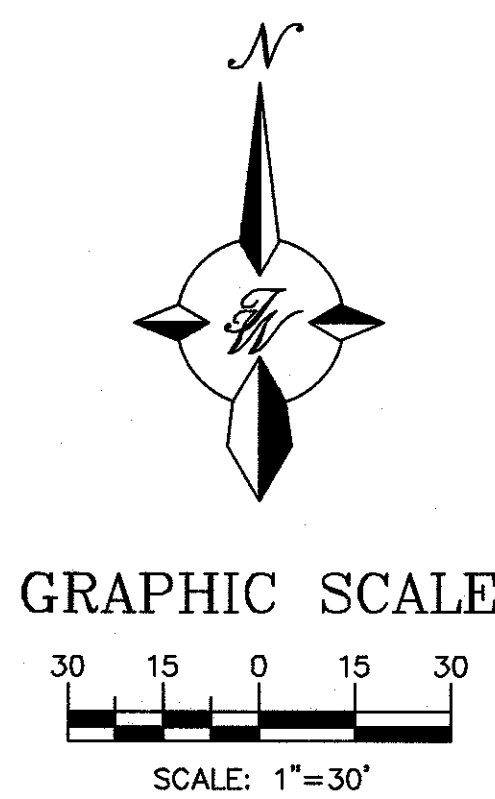
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION
- DROP INLET
- CONCRETE FLUME

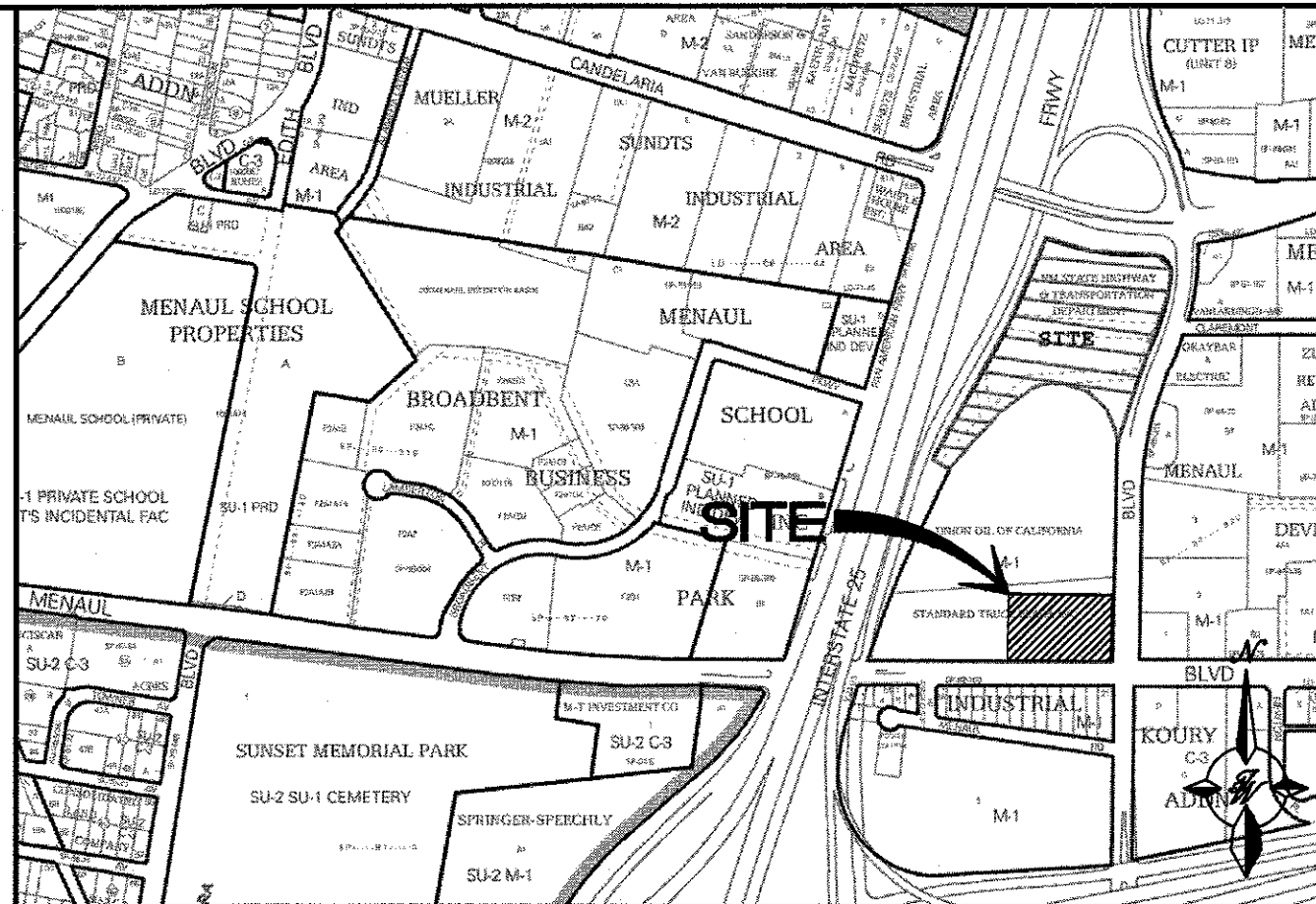


KEYED NOTE:

- (A) SINGLE "D" WATER QUALITY INLET W/ BIOSNOUT (SEE DETAIL SHT. C11)
- (B) ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C8)
- (C) UNIDIRECTIONAL ACCESSIBLE RAMP (SEE DETAIL SHT. C10)
- (D) TRUNCATED DOMES (SEE DETAIL SHT. C10)
- (E) ON-SITE CURB & GUTTER (SEE DETAIL SHT. C8)
- (F) ZERO CURB
- (G) CONCRETE SIDEWALK (SEE DETAIL SHT. C9)
- (H) ASPHALT PAVING (SEE GEOTECH REPORT)
- (I) CONCRETE SLAB W/ CHAMFERED CORNERS
- (J) RETAINING WALL WITH RAILING (SEE DETAIL SHT. C11)
- (K) 2' CURB CUT
- (L) ASPHALT CURB
- (M) 2' WIDE CONCRETE FLUME (SEE DETAIL SHT. C11)
- (N) L-FOOTING RETAINING WALL W/ RAILING (SEE DETAIL SHT. C9)
- (O) ADA RAMP AND ACCESSIBLE RAMP FROM MENAUL BLVD

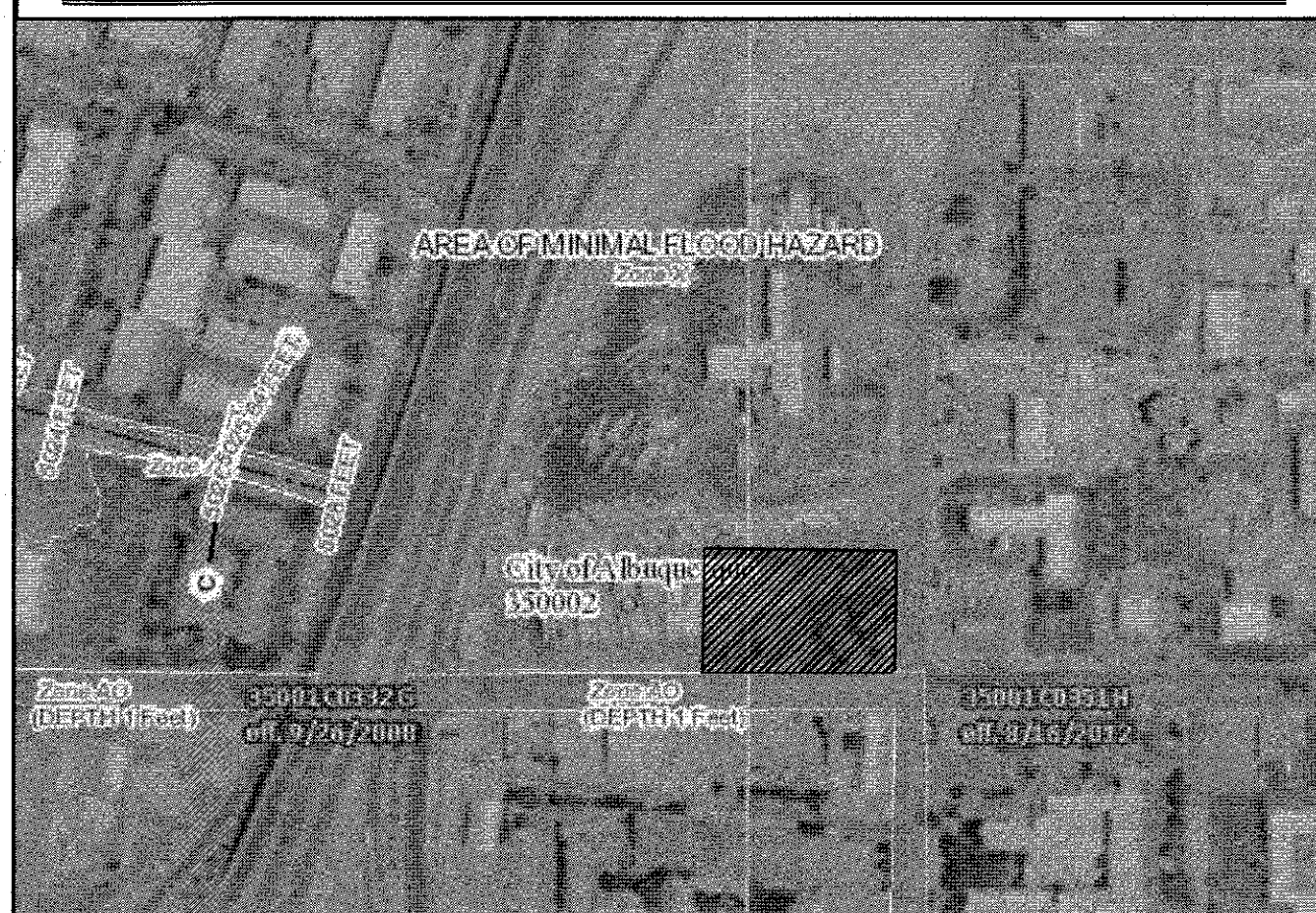
SPOT ELEVATION NOTE:

ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.



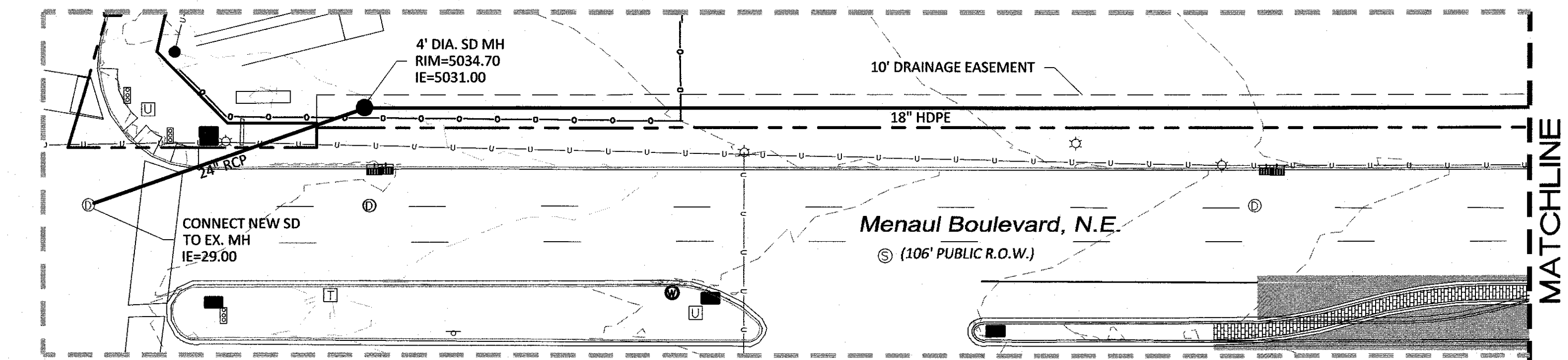
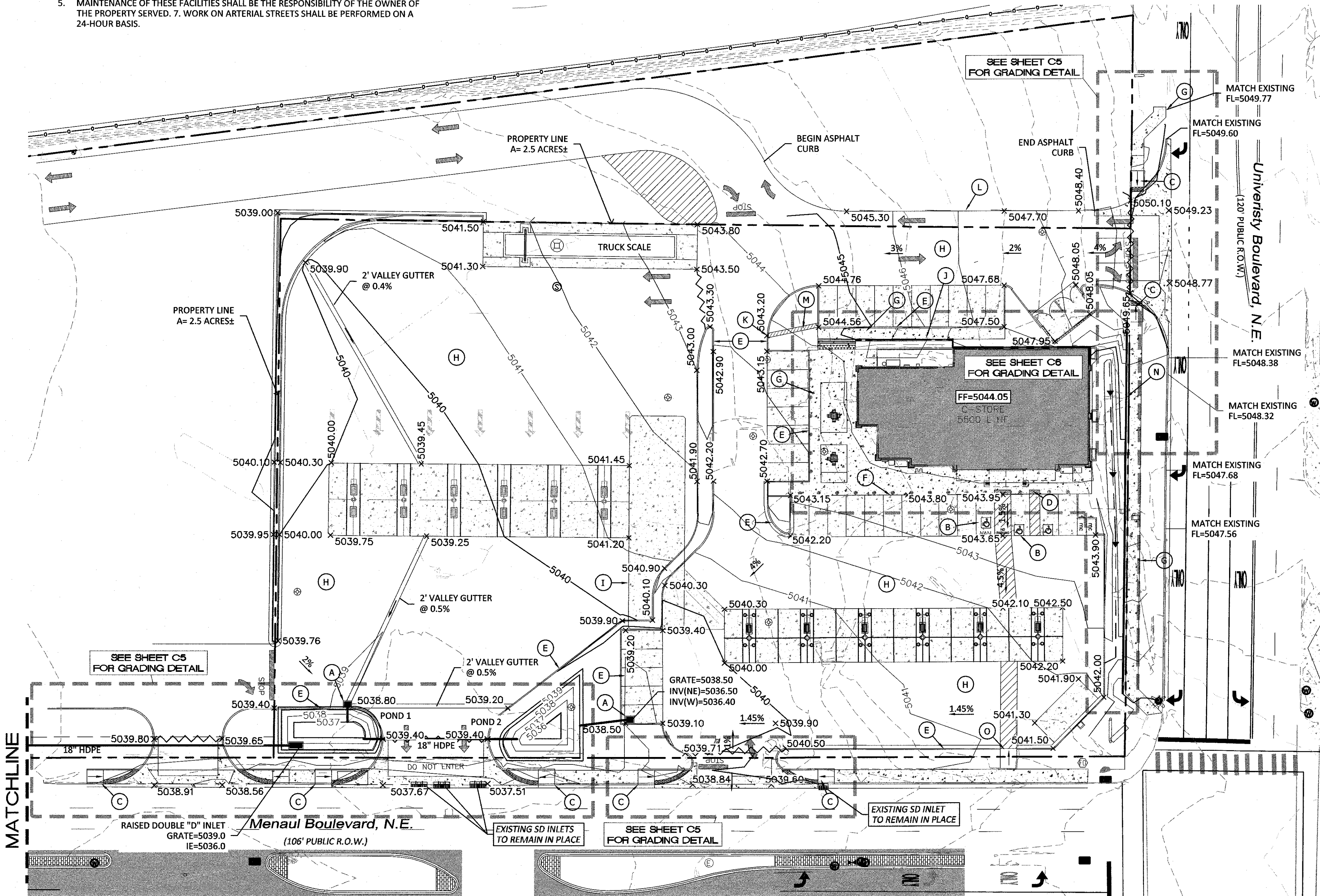
VICINITY MAP:



H-15-Z



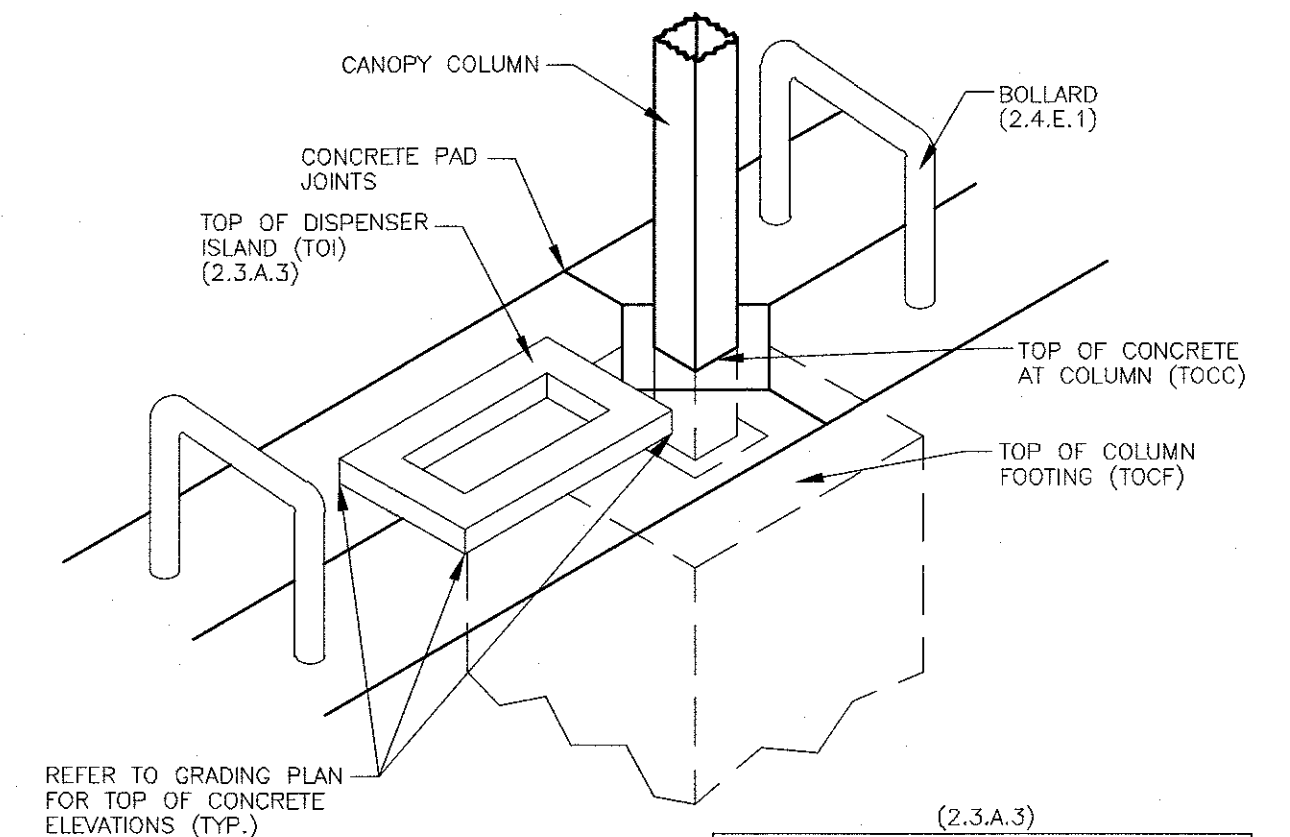
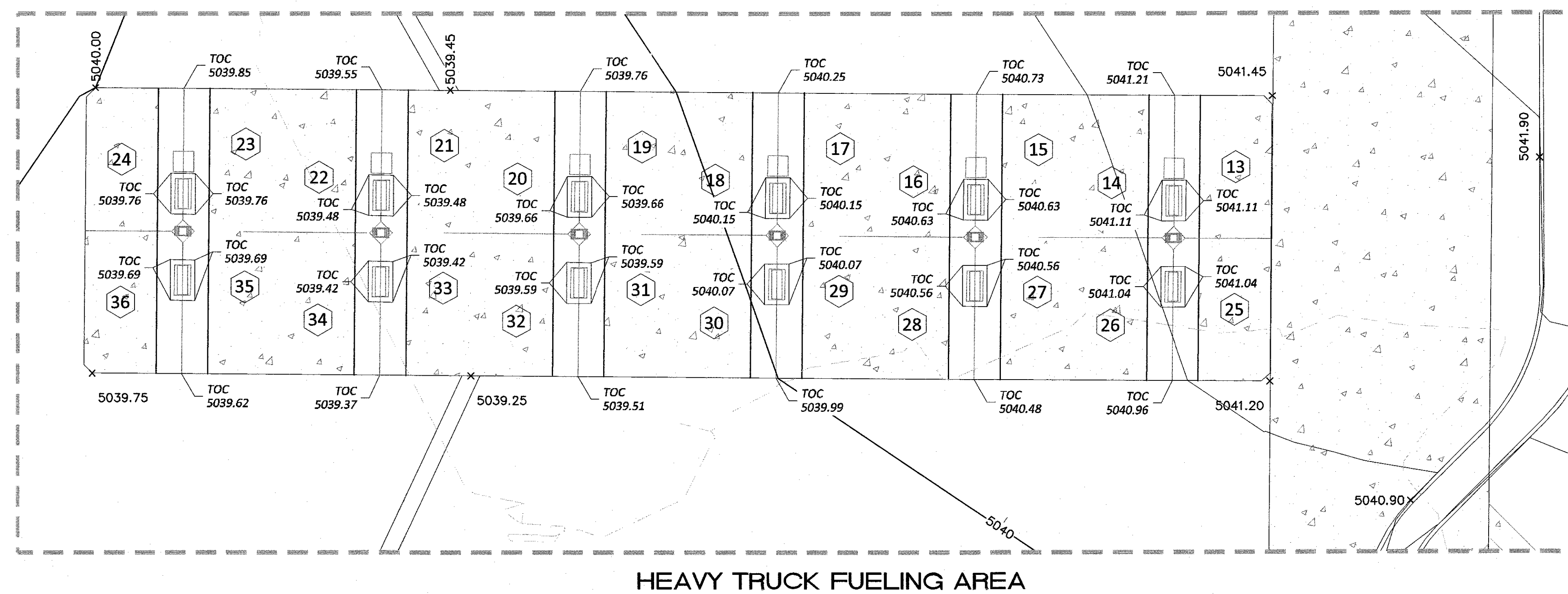
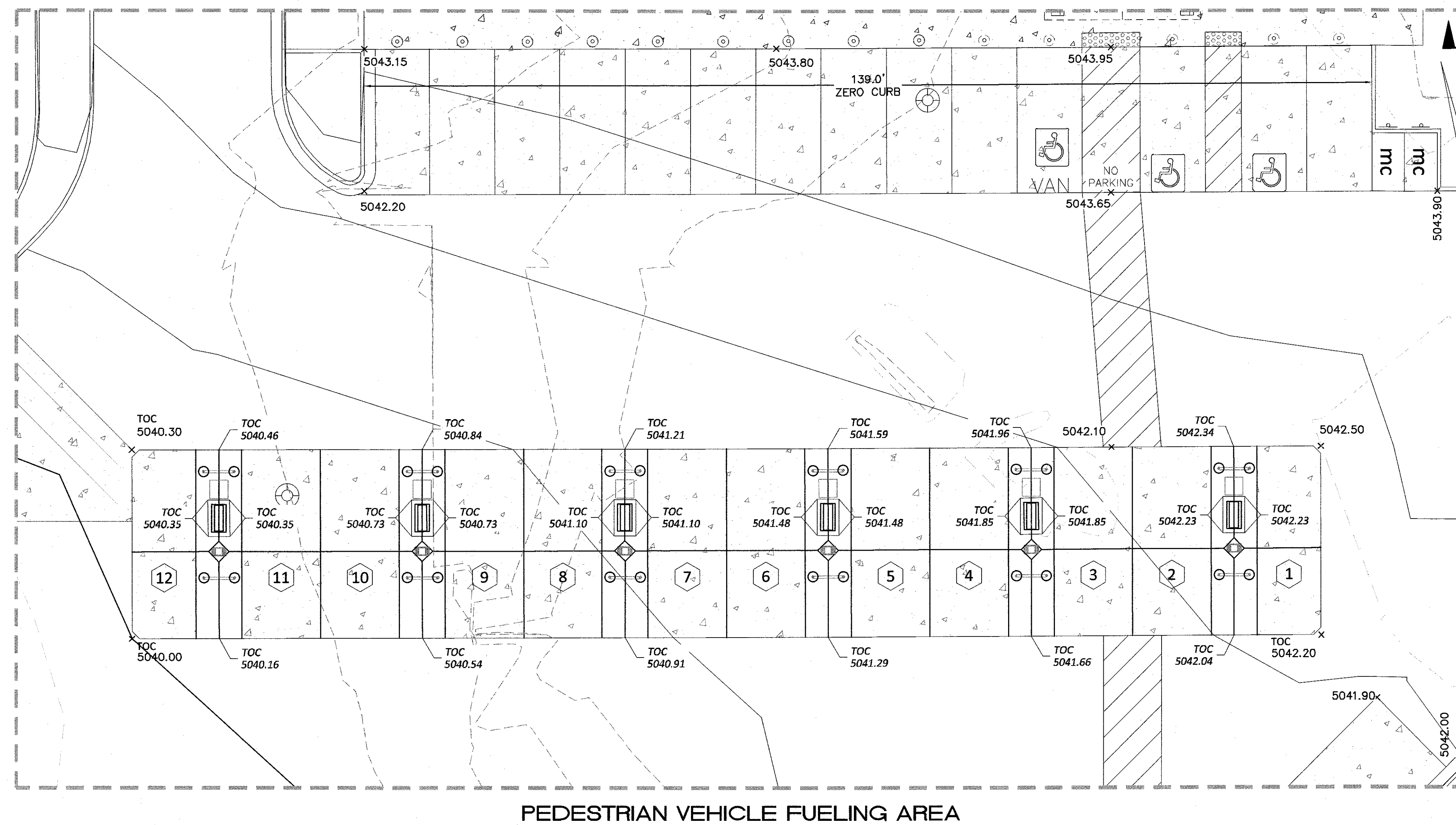
FIRM MAP:

35001C0332G & 35001C0351H



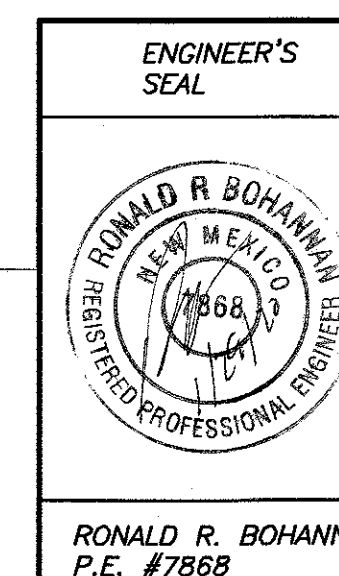
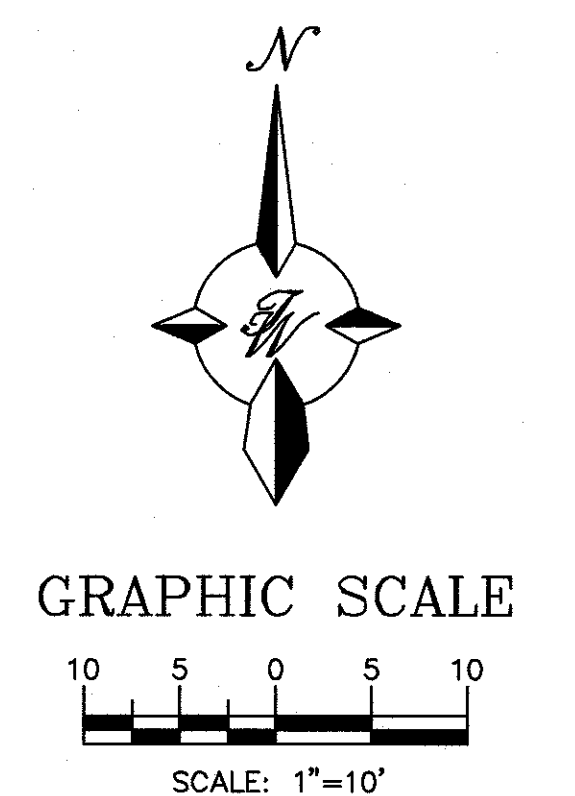
<div>ENGINEER'S SEAL</div> <div></div>	<div>MAVERIK</div> <div>UNIVERSITY &amp; MENAUL</div> <div>GRADING AND DRAINAGE PLAN</div>	DRAWN BY DY
		DATE 9/3/2019
		2018062-C2-GRB
<div>RONALD R. BOHANNAN P.E. #7868</div>	<div> <i>TERRA WEST, LLC</i></div> <div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div>	SHEET #  C2
		JOB # 2018062





NOTE: TOC=TOP OF CONCRETE  
FUEL DISPENSER ELEVATIONS

FUEL DISPENSER	TOP OF ISLAND	T.O.C. @ COLUMN	TOP OF COL. FTP
1-2	5042.73	5042.19	5039.19
3-4	5042.35	5041.81	5038.81
5-6	5041.98	5041.44	5038.44
7-8	5041.60	5041.06	5038.06
9-10	5041.23	5040.69	5037.69
11-12	5040.85	5040.31	5037.31
13-14	5041.61	5041.08	5038.08
15-16	5041.13	5040.60	5037.60
17-8	5040.65	5040.12	5037.12
19-20	5040.16	5039.63	5036.63
21-22	5039.98	5039.46	5036.46
23-24	5040.26	5039.73	5036.73
25-26	5041.54	5041.08	5038.08
27-28	5041.06	5040.60	5037.60
29-30	5040.57	5040.12	5037.12
31-32	5040.09	5039.63	5036.63
33-34	5039.92	5039.46	5036.46
35-36	5040.19	5039.73	5036.73



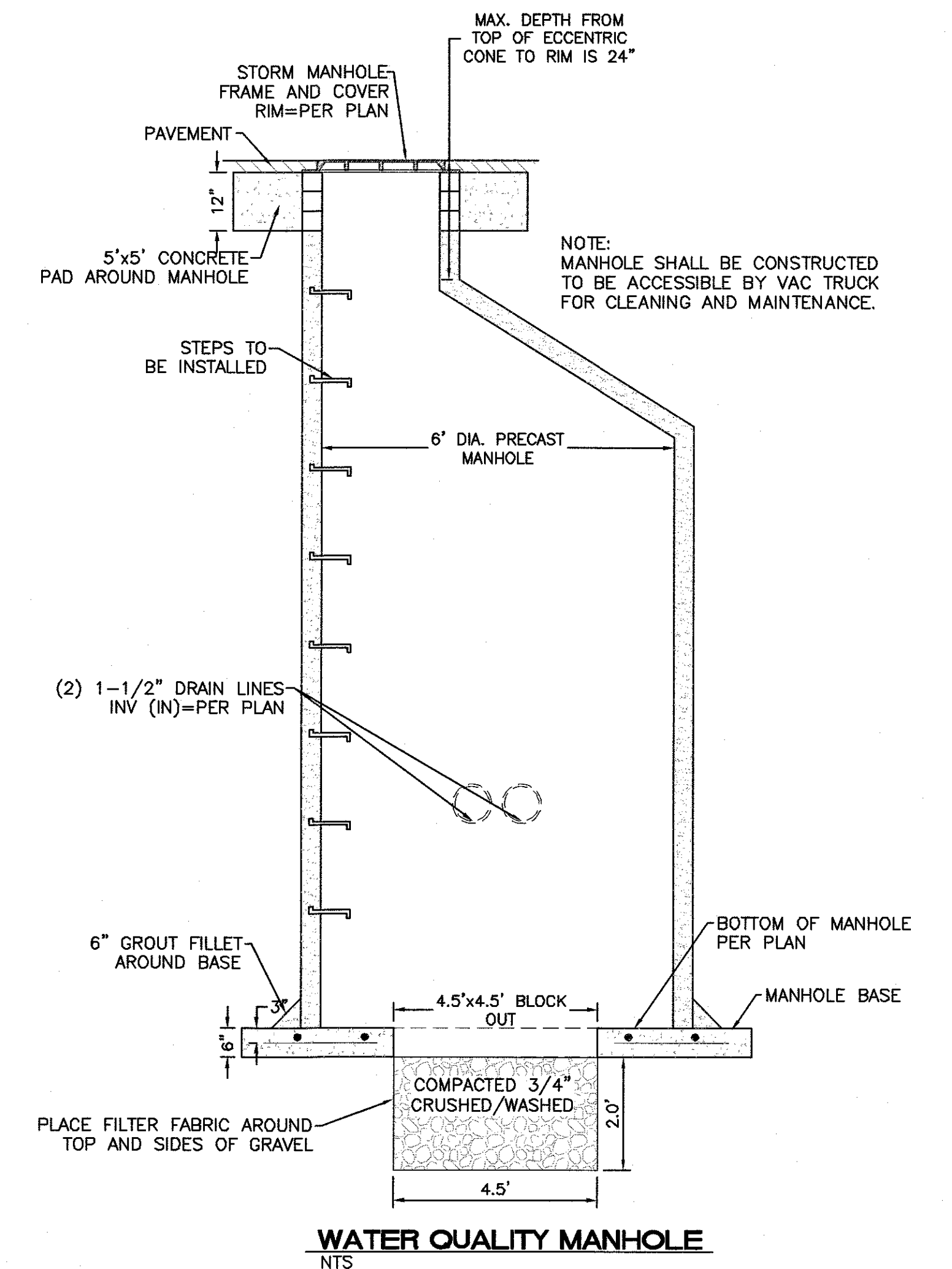
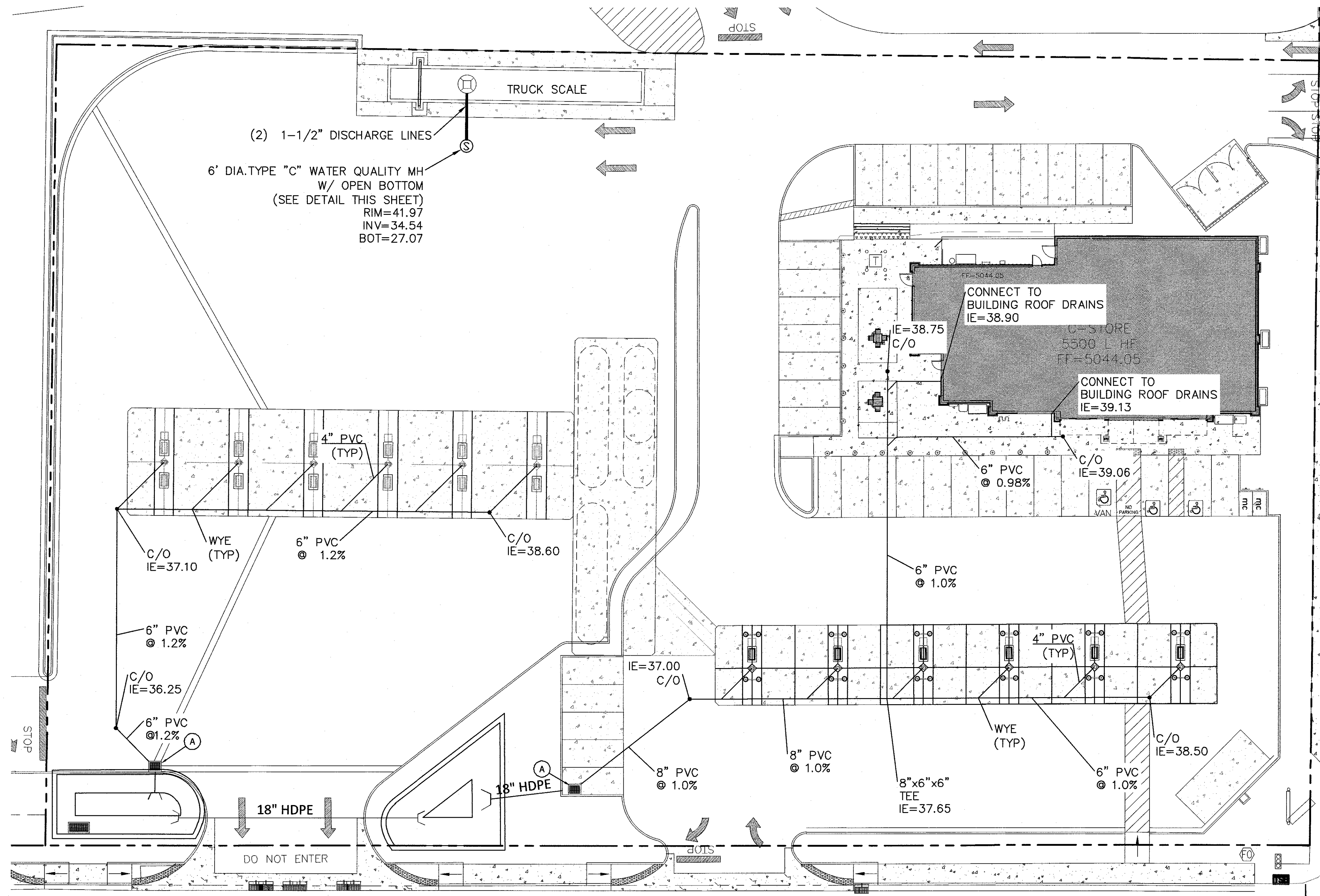
## MAVERIK UNIVERSITY & MENAUL

### GRADING DETAILS - FUEL CANOPIES

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505) 858-3100  
[www.tierrawestllc.com](http://www.tierrawestllc.com)

DRAWN BY DY
DATE 9/3/2019
018062-C2-GRB
SHEET #  C3
JOB # 2018062





#### CAUTION:

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#### NOTICE TO CONTRACTORS

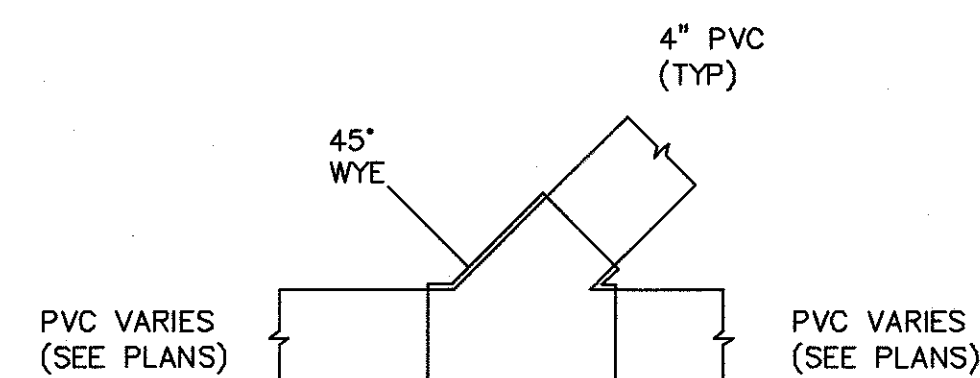
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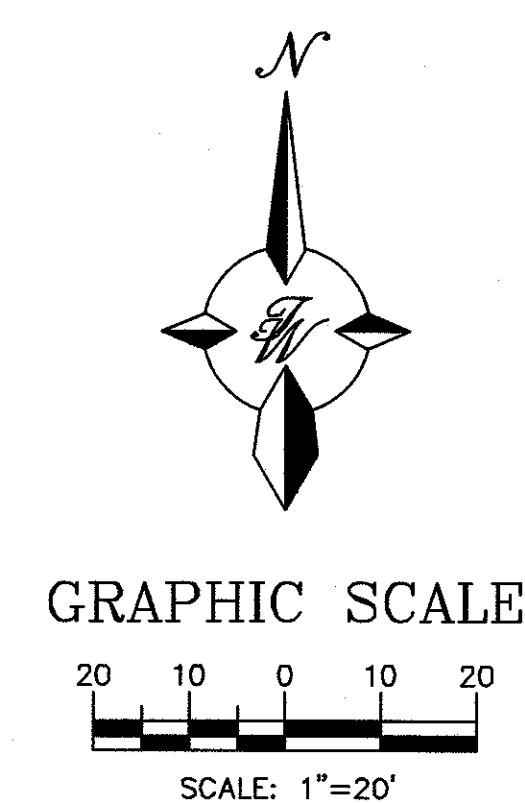
#### KEYED NOTE:

- (A) WATER QUALITY INLET W/ BIOSNOUT - SEE DETAIL SHEET C11



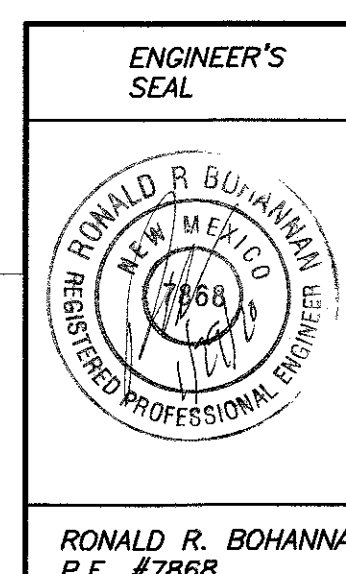
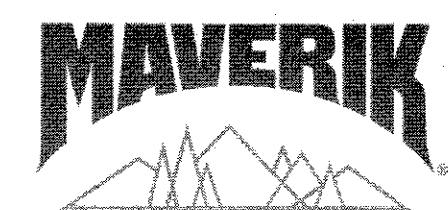
#### WYE TYPICAL

NOT TO SCALE



#### LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	12"x12" CATCH BASIN (NDS OR EQUAL)
	DROP INLET
	CURB INLET

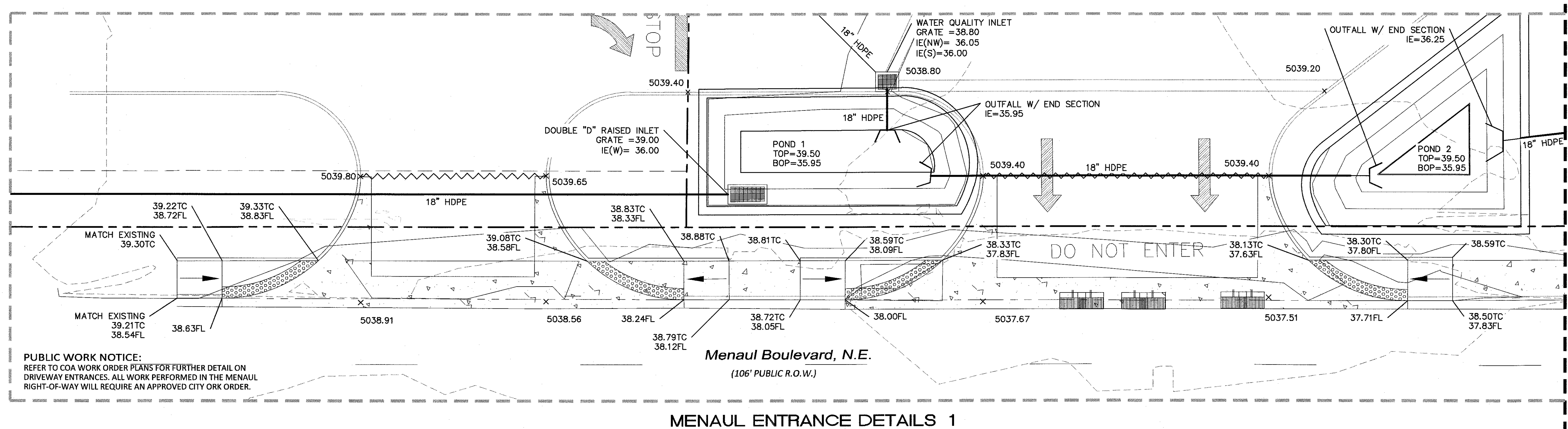


**MAVERIK**  
UNIVERSITY & MENAUL  
**ROOF STORM**  
**DRAINAGE PLAN**

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505) 858-3100  
www.tierrawestllc.com

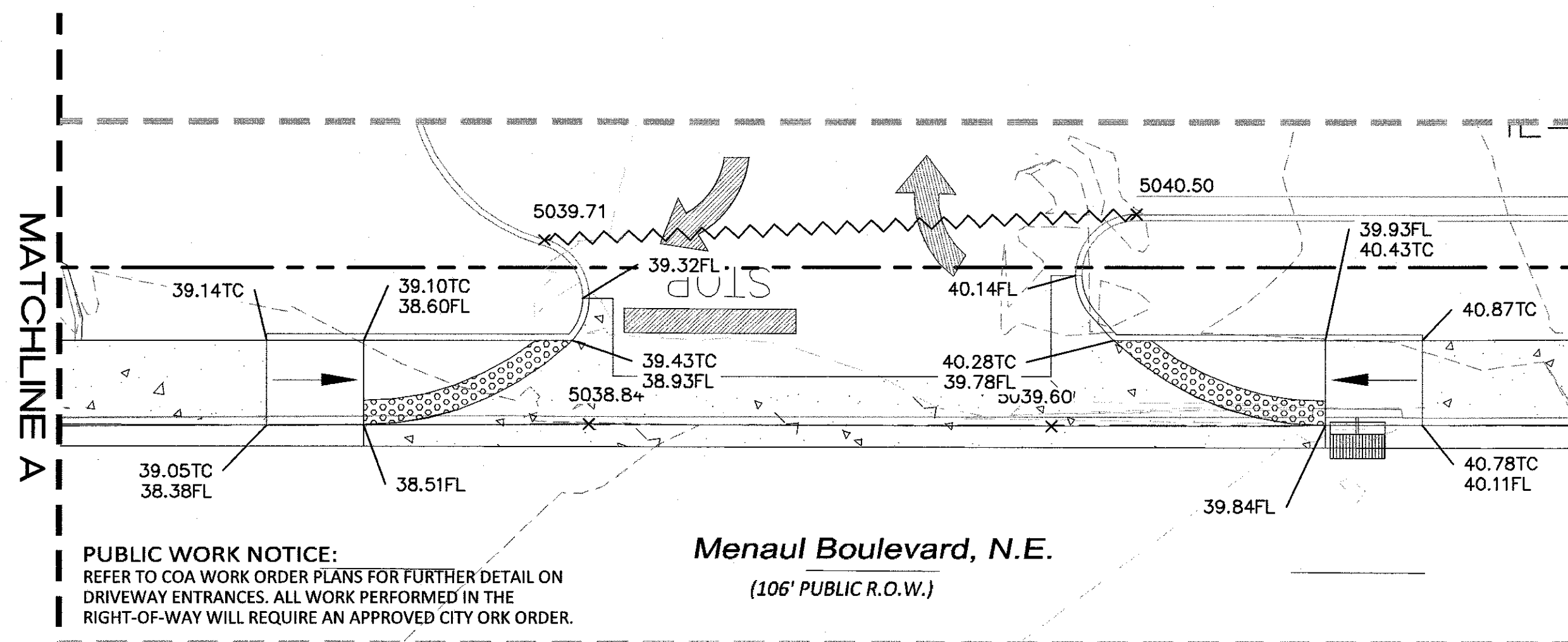
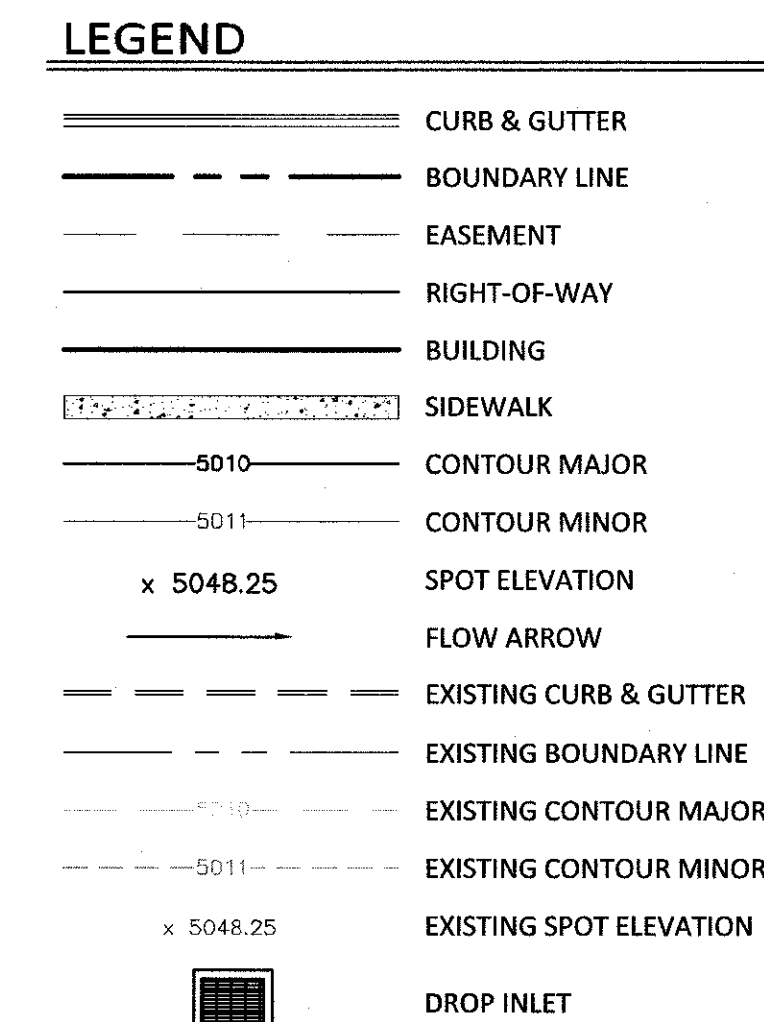
DRAWN BY  
BJF  
DATE  
9/3/2019  
2018062-C2-GRB  
SHEET #  
**C4**  
JOB #  
2018062





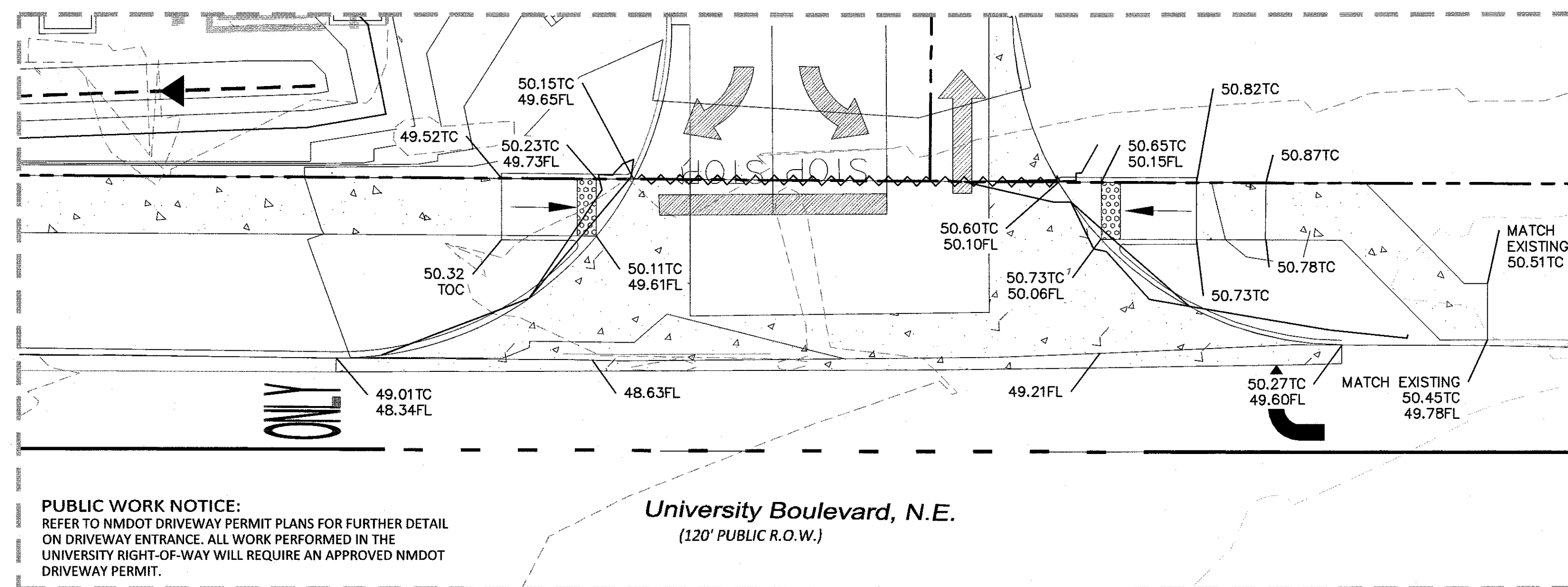
**MENAU ENTRANCE DETAILS 1**

SCALE: 1"=10'



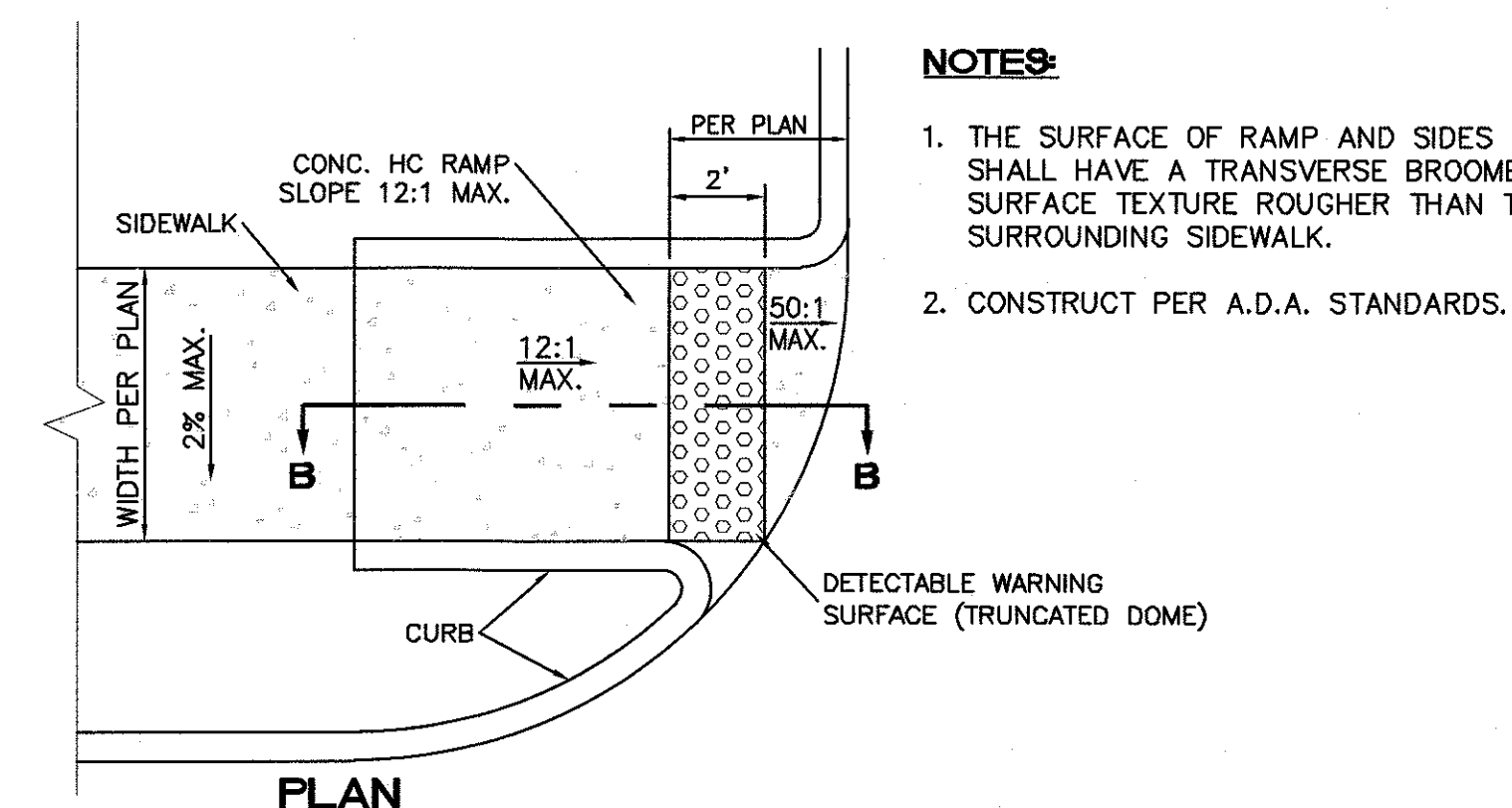
**MENAU ENTRANCE DETAILS 2**

SCALE: 1"=10'



**UNIVERSITY ENTRANCE DETAILS 3**

SCALE: 1"=10'



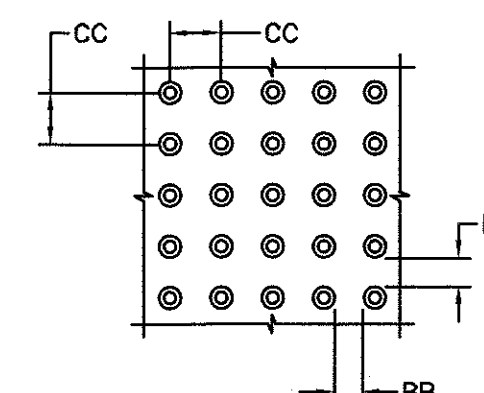
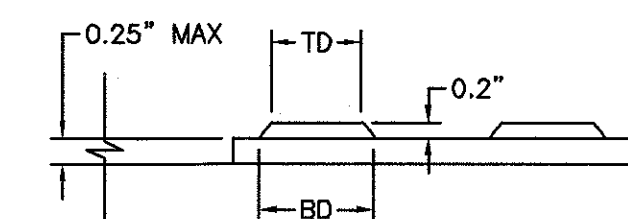
**SECTION B-B**

**UNIDIRECTIONAL HC RAMP**

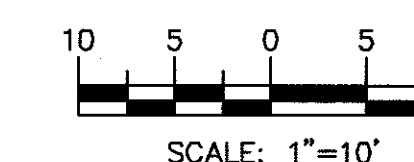
NOT TO SCALE

**NOTES:**

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



**GRAPHIC SCALE**



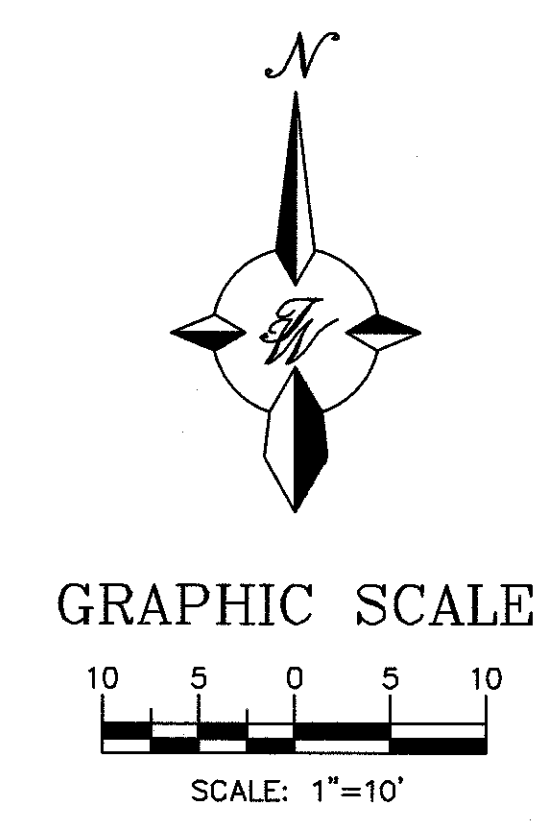
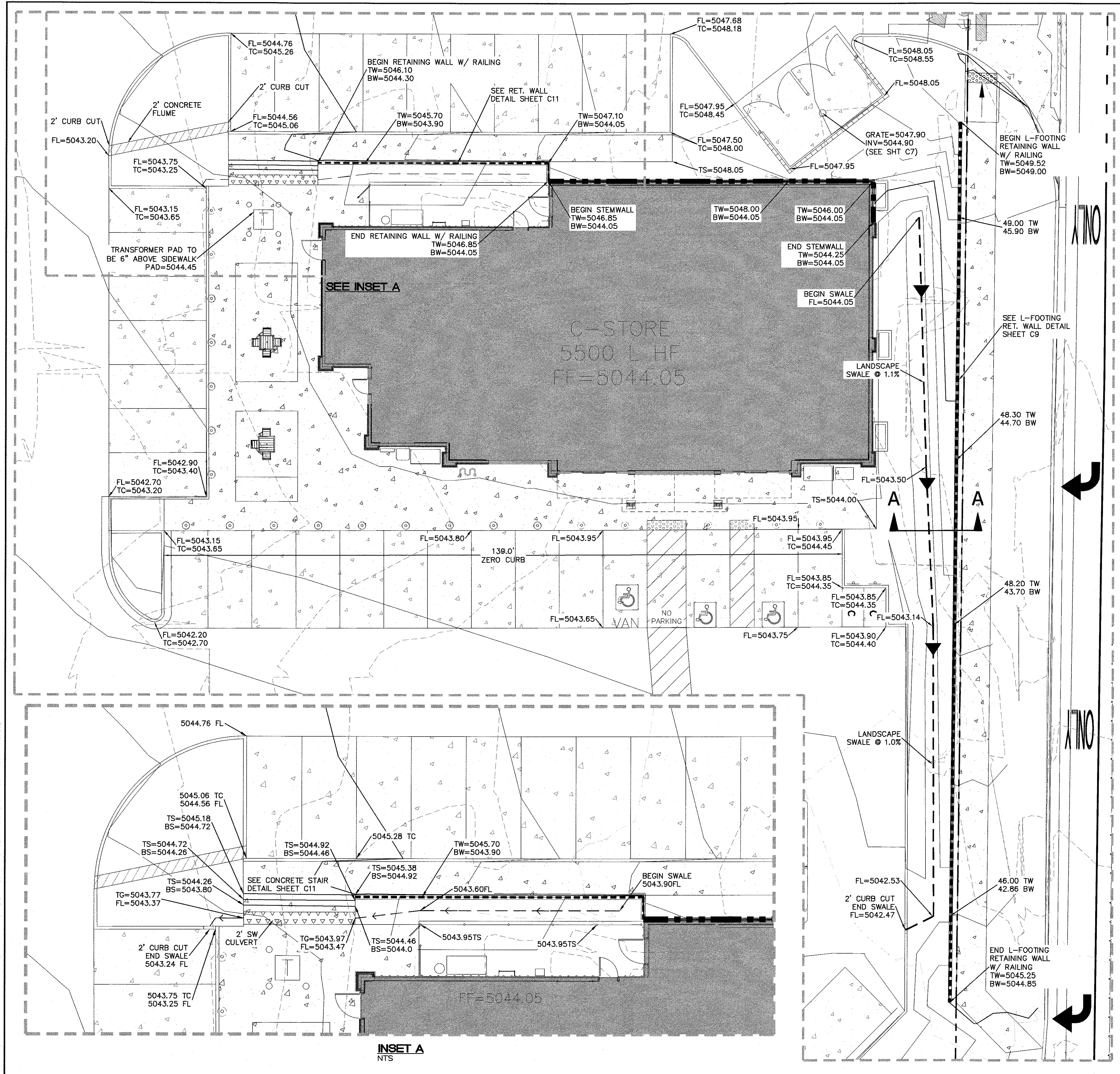
**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



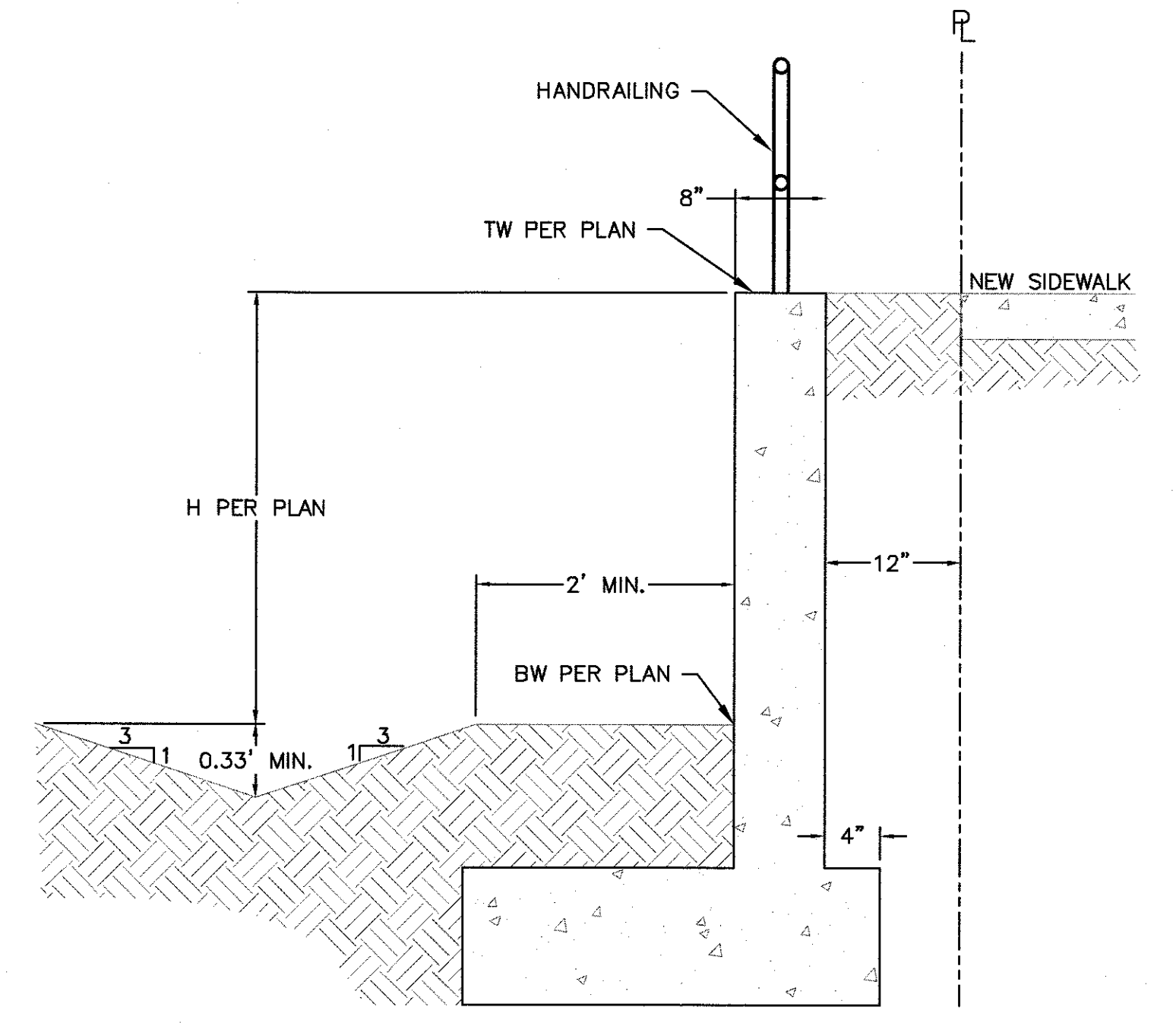
<b>ENGINEER'S SEAL</b>  <b>RONALD R. BOHANNAN</b> P.E. #7968	<b>MAVERIK</b>		DRAWN BY
	UNIVERSITY & MENAUL		BJF
	<b>ENTRANCE/POND DETAILS</b>		DATE
			9/3/2019
 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com			2018062-C2-GRB
			SHEET #
			<b>C5</b>
			JOB #
			2018062





- LEGEND**
- RETAINING WALL
  - EXTENDED STEM WALL
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
  - EXISTING CONTOUR MAJOR
  - EXISTING CONTOUR MINOR
  - EXISTING SPOT ELEVATION
  - CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - RIGHT-OF-WAY
  - BUILDING
  - SIDEWALK
  - CONTOUR MAJOR
  - CONTOUR MINOR
  - SPOT ELEVATION
  - FLOW ARROW
  - LANDSCAPE SWALE
  - FLUME
  - SIDEWALK CULVERT

- SPOT ELEVATION LEGEND**
- FL=FLOWLINE
  - TC=TOP OF CURB
  - TS=TOP OF SIDEWALK/STEP
  - BS=BOTTOM OF STEP
  - BW=BOTTOM OF WALL
  - TW=TOP OF WALL
  - TG=TOP OF GRATE



NOTE: SEE SHT C9 FOR DETAILS ON WALL & FOOTING DIMENSIONS AT THIS LOCATION

**SECTION A-A**  
NTS



<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	<div>MAVERIK</div> <div>UNIVERSITY &amp; MENAUL</div> <div>BUILDING ELEVATION</div> <div>DETAILS</div> <div></div> <div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div>	DRAWN BY FB
		DATE 3/13/2019
		2018062-C2-GRB
		SHEET # C6
		JOB # 2018062



**SPECSHEET** SPEC-SS6-08/22/2017

**SlowStop® Rebounding Bollard – 6" (SS6Y-42)**

Color: RAL 1023 Safety Yellow Bollard  
RAL 9005 Black Base

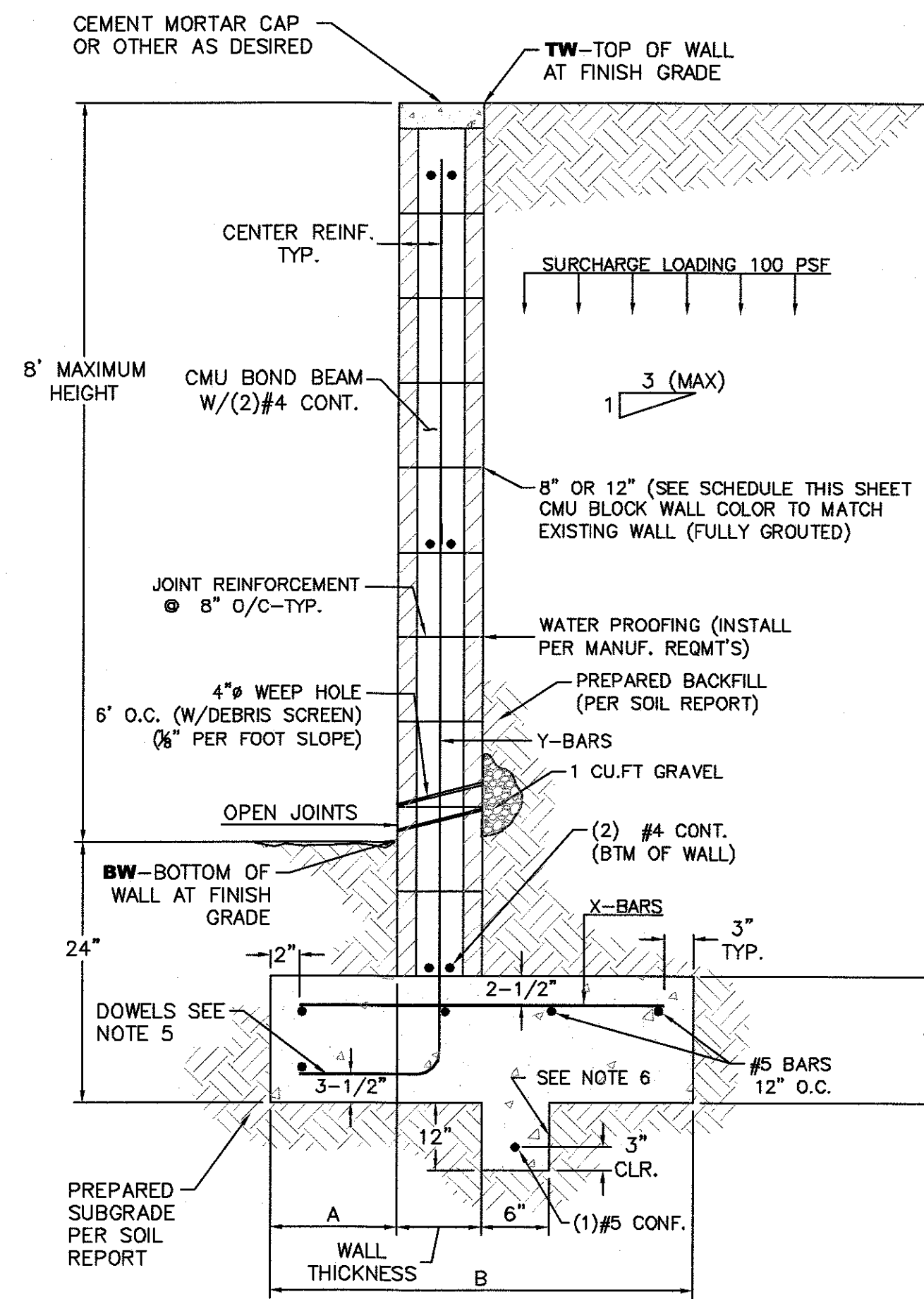
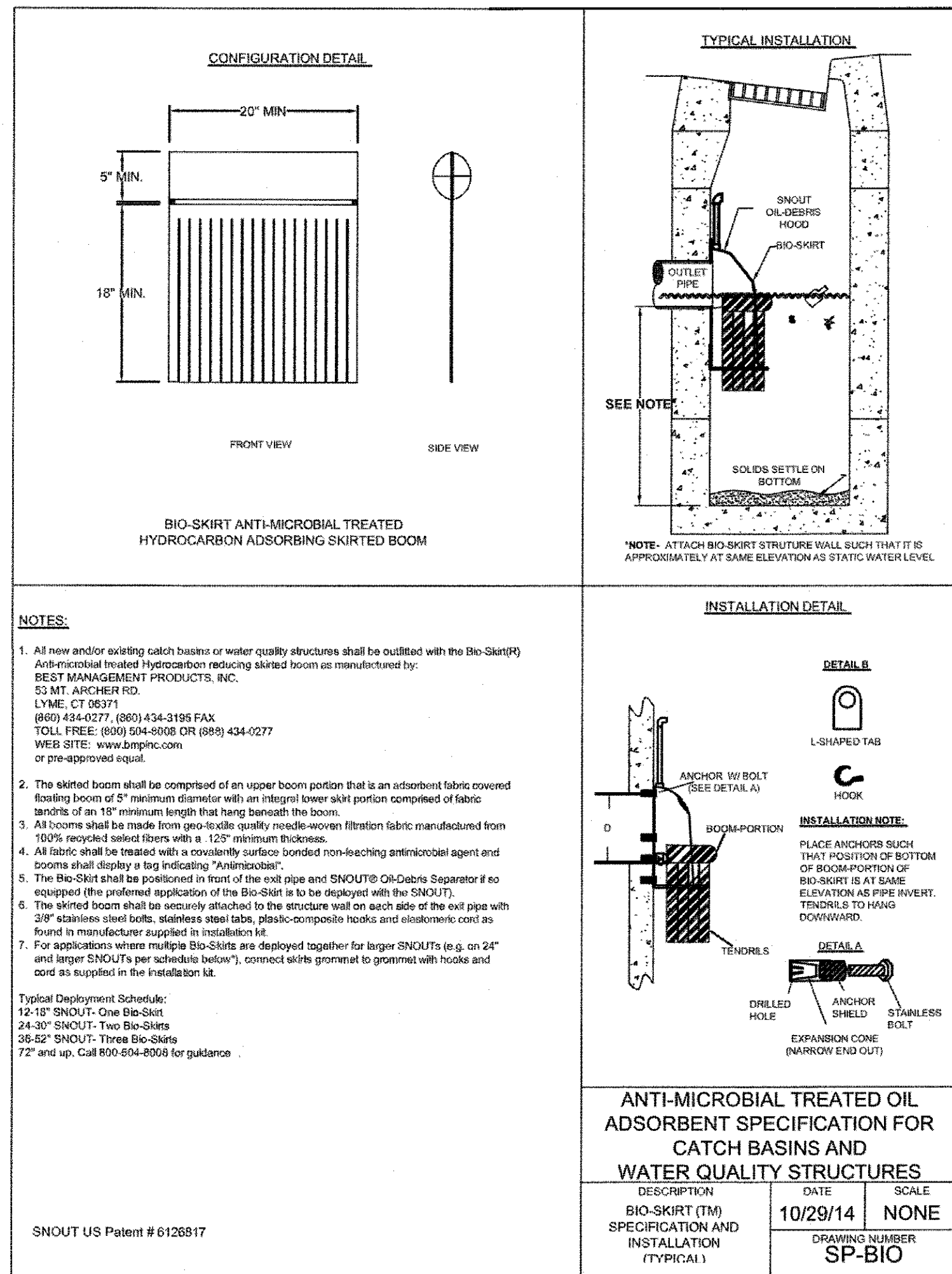
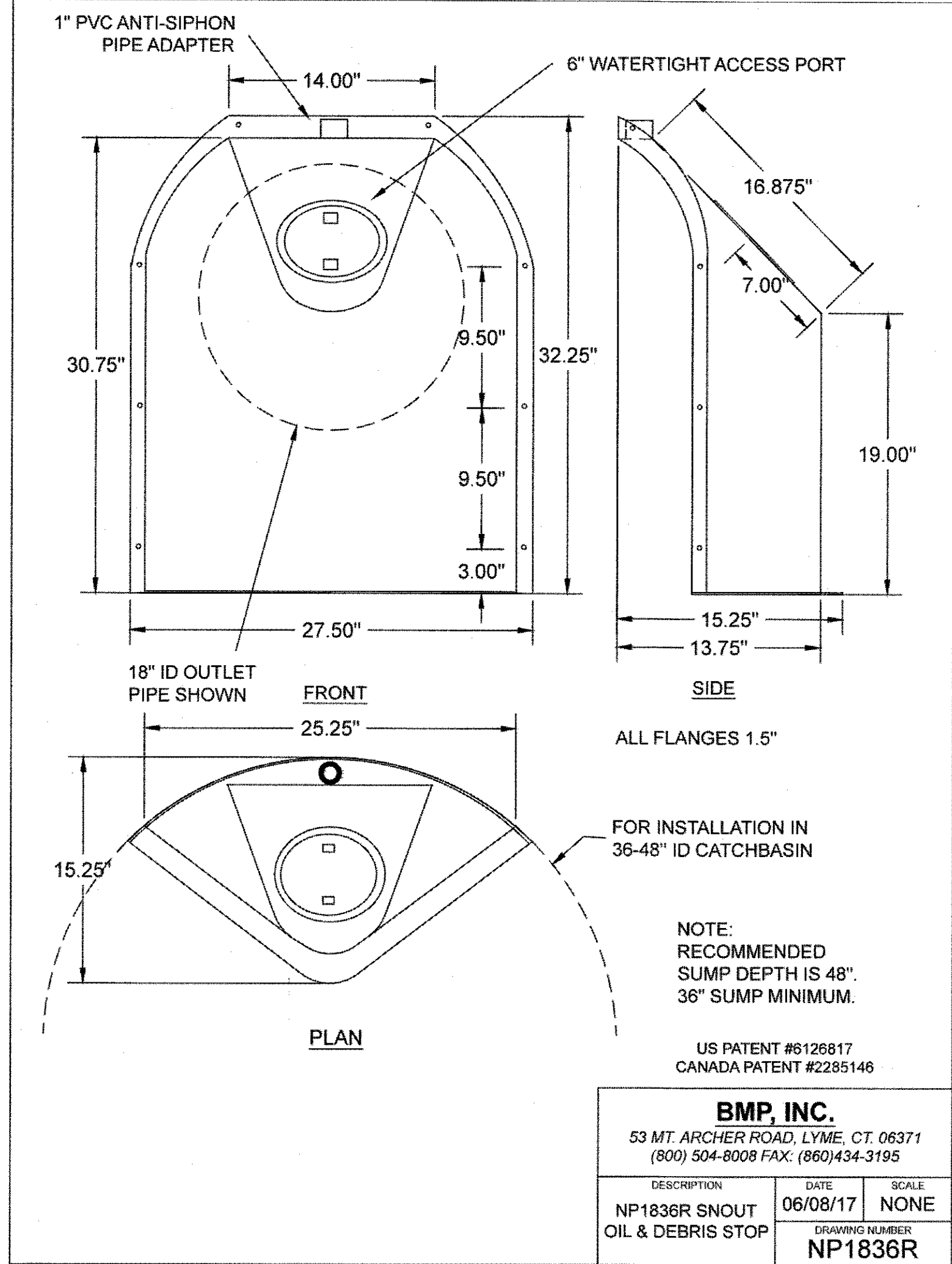
Diameter: 6.63" (6" ANSI Schedule 40)  
Height: 42"

Set Screws: 8 M16 x 2.00  
8mm Hex

Cap: Black Plastic

WEIGHT (LBS)	2500	5000	7500	10000	12500	15000	20000	40000	80000
SPEED (MPH)	1.0	2.0	3.0	4.0	5.0	6.0	7.0	8.0	9.0
10.0	11.0	12.0	13.0	14.0	15.0	16.0	17.0	18.0	19.0
20.0	21.0	22.0	23.0	24.0	25.0	26.0	27.0	28.0	29.0
30.0	31.0	32.0	33.0	34.0	35.0	36.0	37.0	38.0	39.0
40.0	41.0	42.0	43.0	44.0	45.0	46.0	47.0	48.0	49.0
50.0	51.0	52.0	53.0	54.0	55.0	56.0	57.0	58.0	59.0
60.0	61.0	62.0	63.0	64.0	65.0	66.0	67.0	68.0	69.0
70.0	71.0	72.0	73.0	74.0	75.0	76.0	77.0	78.0	79.0
80.0	81.0	82.0	83.0	84.0	85.0	86.0	87.0	88.0	89.0
90.0	91.0	92.0	93.0	94.0	95.0	96.0	97.0	98.0	99.0
100.0	101.0	102.0	103.0	104.0	105.0	106.0	107.0	108.0	109.0
110.0	111.0	112.0	113.0	114.0	115.0	116.0	117.0	118.0	119.0
120.0	121.0	122.0	123.0	124.0	125.0	126.0	127.0	128.0	129.0
130.0	131.0	132.0	133.0	134.0	135.0	136.0	137.0	138.0	139.0
140.0	141.0	142.0	143.0	144.0	145.0	146.0	147.0	148.0	149.0
150.0	151.0	152.0	153.0	154.0	155.0	156.0	157.0	158.0	159.0
160.0	161.0	162.0	163.0	164.0	165.0	166.0	167.0	168.0	169.0
170.0	171.0	172.0	173.0	174.0	175.0	176.0	177.0	178.0	179.0
180.0	181.0	182.0	183.0	184.0	185.0	186.0	187.0	188.0	189.0
190.0	191.0	192.0	193.0	194.0	195.0	196.0	197.0	198.0	199.0
200.0	201.0	202.0	203.0	204.0	205.0	206.0	207.0	208.0	209.0
210.0	211.0	212.0	213.0	214.0	215.0	216.0	217.0	218.0	219.0
220.0	221.0	222.0	223.0	224.0	225.0	226.0	227.0	228.0	229.0
230.0	231.0	232.0	233.0	234.0	235.0	236.0	237.0	238.0	239.0
240.0	241.0	242.0	243.0	244.0	245.0	246.0	247.0	248.0	249.0
250.0	251.0	252.0	253.0	254.0	255.0	256.0	257.0	258.0	259.0
260.0	261.0	262.0	263.0	264.0	265.0	266.0	267.0	268.0	269.0
270.0	271.0	272.0	273.0	274.0	275.0	276.0	277.0	278.0	279.0
280.0	281.0	282.0	283.0	284.0	285.0	286.0	287.0	288.0	289.0
290.0	291.0	292.0	293.0	294.0	295.0	296.0	297.0	298.0	299.0
300.0	301.0	302.0	303.0	304.0	305.0	306.0	307.0	308.0	309.0
310.0	311.0	312.0	313.0	314.0	315.0	316.0	317.0	318.0	319.0
320.0	321.0	322.0	323.0	324.0	325.0	326.0	327.0	328.0	329.0
330.0	331.0	332.0	333.0	334.0	335.0	336.0	337.0	338.0	339.0
340.0	341.0	342.0	343.0	344.0	345.0	346.0	347.0	348.0	349.0
350.0	351.0	352.0	353.0	354.0	355.0	356.0	357.0	358.0	359.0
360.0	361.0	362.0	363.0	364.0	365.0	366.0	367.0	368.0	369.0
370.0	371.0	372.0	373.0	374.0	375.0	376.0	377.0	378.0	379.0
380.0	381.0	382.0	383.0	384.0	385.0	386.0	387.0	388.0	389.0
390.0	391.0	392.0	393.0	394.0	395.0	396.0	397.0	398.0	399.0
400.0	401.0	402.0	403.0	404.0	405.0	406.0	407.0	408.0	409.0
410.0	411.0	412.0	413.0	414.0	415.0	416.0	417.0	418.0	419.0
420.0	421.0	422.0	423.0	424.0	425.0	426.0	427.0	428.0	429.0
430.0	431.0	432.0	433.0	434.0	435.0	436.0	437.0	438.0	439.0
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450.0	451.0	452.0	453.0	454.0	455.0	456.0	457.0	458.0	459.0
460.0	461.0	462.0	463.0	464.0	465.0	466.0	467.0	468.0	469.0
470.0	471.0	472.0	473.0	474.0	475.0	476.0	477.0	478.0	479.0
480.0	481.0	482.0	483.0	484.0	485.0	486.0	487.0	488.0	489.0
490.0	491.0	492.0	493.0	494.0	495.0	496.0	497.0	498.0	499.0
500.0	501.0	502.0	503.0	504.0	505.0	506.0	507.0	508.0	509.0
510.0	511.0	512.0	513.0	514.0	515.0	516.0	517.0	518.0	519.0
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580.0	581.0	582.0	583.0	584.0	585.0	586.0	587.0	588.0	589.0
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710.0	711.0	712.0	713.0	714.0	715.0	716.0	717.0	718.0	719.0
720.0	721.0	722.0	723.0	724.0	725.0	726.0	727.0	728.0	729.0
730.0	731.0	732.0	733.0	734.0	735.0	736.0	737.0	738.0	739.0
740.0	741.0	742.0	743.0	744.0	745.0	746.0	747.0	748.0	749.0
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760.0	761.0	762.0	763.0	764.0	765.0	766.0	767.0	768.0	769.0
770.0	771.0	772.0	773.0	774.0	775.0	776.0	777.0	778.0	779.0
780.0	781.0	782.0	783.0	784.0	785.0	786.0	787.0	788.0	789.0
790.0	791.0	792.0	793.0	794.0	795.0	796.0	797.0	798.0	799.0
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820.0	821.0	822.0	823.0	824.0	825.0	826.0	827.0	828.0	829.0
830.0	831.0	832.0	833.0	834.0	835.0	836.0	837.0	838.0	839.0
840.0	841.0	842.0	843.0	844.0	845.0	846.0	847.0	848.0	849.0
850.0	851.0	852.0	853.0	854.0	855.0	856.0	857.0	858.0	859.0
860.0	861.0	862.0	863.0	864.0	865.0	866.0	867.0	868.0	869.0
870.0	871.0	872.0	873.0	874.0	875.0	876.0	877.0	878.0	879.0
880.0	881.0	882.0	883.0	884.0	885.0	886.0	887.0	888.0	889.0
890.0	891.0	892.0	893.0	894.0	895.0	896.0	897.0	898.0	899.0
900.0	901.0	902.0	903.0	904.0	905.0	906.0	907.0	908.0	909.0
910.0	911.0	912.0	913.0	914.0	915.0	916.0	917.0	918.0	919.0
920.0	921.0	922.0	923.0	924.0	925.0	926.0	927.0	928.0	929.0
930.0	931.0	932.0	933.0	934.0	935.0	936.0	937.0	938.0	939.0
940.0	941.0	942.0	943.0	944.0	945.0	946.0	947.0	948.0	949.0
950.0	951.0	952.0	953.0	954.0	955.0	956.0	957.0	958.0	959.0
960.0	961.0	962.0	963.0	964.0	965.0	966.0	967.0	968.0	969.0
970.0	971.0	972.0	973.0	974.0	975.0	976.0	977.0	978.0	979.0
980.0	981.0	982.0	983.0	984.0	985.0	986.0	987.0	988.0	989.0
990.0	991.0	992.0	993.0	994.0	995.0	996.0	997.0	998.0	999.0
1000.0	1001.0	1002.0	1003.0	1004.0	1005.0	1006.0	1007.0	1008.0	1009.0
1010.0	1011.0	1012.0	1013.0	1014.0	1015.0	1016.0	1017.0	1018.0	1019.0
1020.0	1021.0	1022.0	1023.0	1024.0	1025.0	1026.0	1027.0	1028.0	1029.0
1030.0	1031.0	1032.0	1033.0	1034.0	1035.0	1036.0	1037.0	1038.0	1039.0
1040.0	1041.0	1042.0	1043.0	1044.0	1045.0	1046.0	1047.0	1048.0	1049.0
1050.0	1051.0	1052.0	1053.0	1054.0	1055.0	1056.0	1057.0	1058.0	1059.0
1060.0	1061.0	1062.0	1063.0	1064.0	1065.0	1066.0	1067.0	1068.0	1069.0
1070.0	1071.0	1072.0	1073.0	1074.0	1075.0	1076.0	1077.0	1078.0	1079.0
1080.0	1081.0	1082.0	1083.0	1084.0	1085.0	1086.0	1087.0	1088.0	1089.0
1090.0	1091.0	1092.0	1093.0	1094.0	1095.0	1096.0	1097.0	1098.0	1099.0
1100.0	1101.0	1102.0	1103.0	1104.0	1105.0	1106.0	1107.0	1108.0	1109.0
1110.0	1111.0	1112.0	1113.0	1114.0	1115.0	1116.0	1117.0	1118.0	1119.0
1120.0	1121.0	1122.0	1123.0	1124.0	1125.0	1126.0	1127.0	1128.0	1129.0
1130.0	1131.0	1132.0	1133.0	1134.0	1135.0	1136.0	1137.0	1138.0	1139.0
1140.0	1141.0	1142.0	1143.0	1144.0	1145.0	1146.0	1147.0	1148.0	1149.0
1150.0	1151.0	1152.0	1153.0	1154.0	1155.0	1156.0	1157.0	1158.0</	





- $f'm = 1500$  PSI
- SOIL ALLOWABLE 2000 PSF (VERIFY W/SOILS REPORT)
- ACTIVE SOIL PRESSURE - 35 PSF/FT (VERIFY W/SOILS REPORT)
- PASSIVE SOIL PRESSURE - 250 PSF/FT (VERIFY W/SOILS REPORT)
- SOIL FRICTION FACTOR - 0.4 (VERIFY W/SOILS REPORT)

8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
2'-8"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
3'-4"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
4'-0"	12"	2'-8"	10"	#4 @16" O.C.	#4 @24" O.C.
4'-8"	16"	3'-4"	12"	#5 @16" O.C.	#4 @18" O.C.
5'-4"	19"	3'-10"	12"	#5 @8" O.C.	#5 @24" O.C.
6'-0"	20"	4'-8"	12"	#6 @8" O.C.	#5 @24" O.C.

Y-BARS EDGE (2 3/4") FROM RETAINING FACE

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	16"	3'-8"	12"	#5 @16" O.C.	#5 @24" O.C.
6'-0"	19"	4'-2"	12"	#5 @8" O.C.	#5 @24" O.C.
6'-8"	21"	4'-6"	12"	#5 @8" O.C.	#5 @16" O.C.
7'-4"	23"	4'-10"	12"	#6 @8" O.C.	#6 @18" O.C.
8'-0"	26"	5'-4"	12"	#6 @8" O.C.	#6 @18" O.C.
8'-8"	28"	5'-8"	12"	#6 @8" O.C.	#6 @12" O.C.

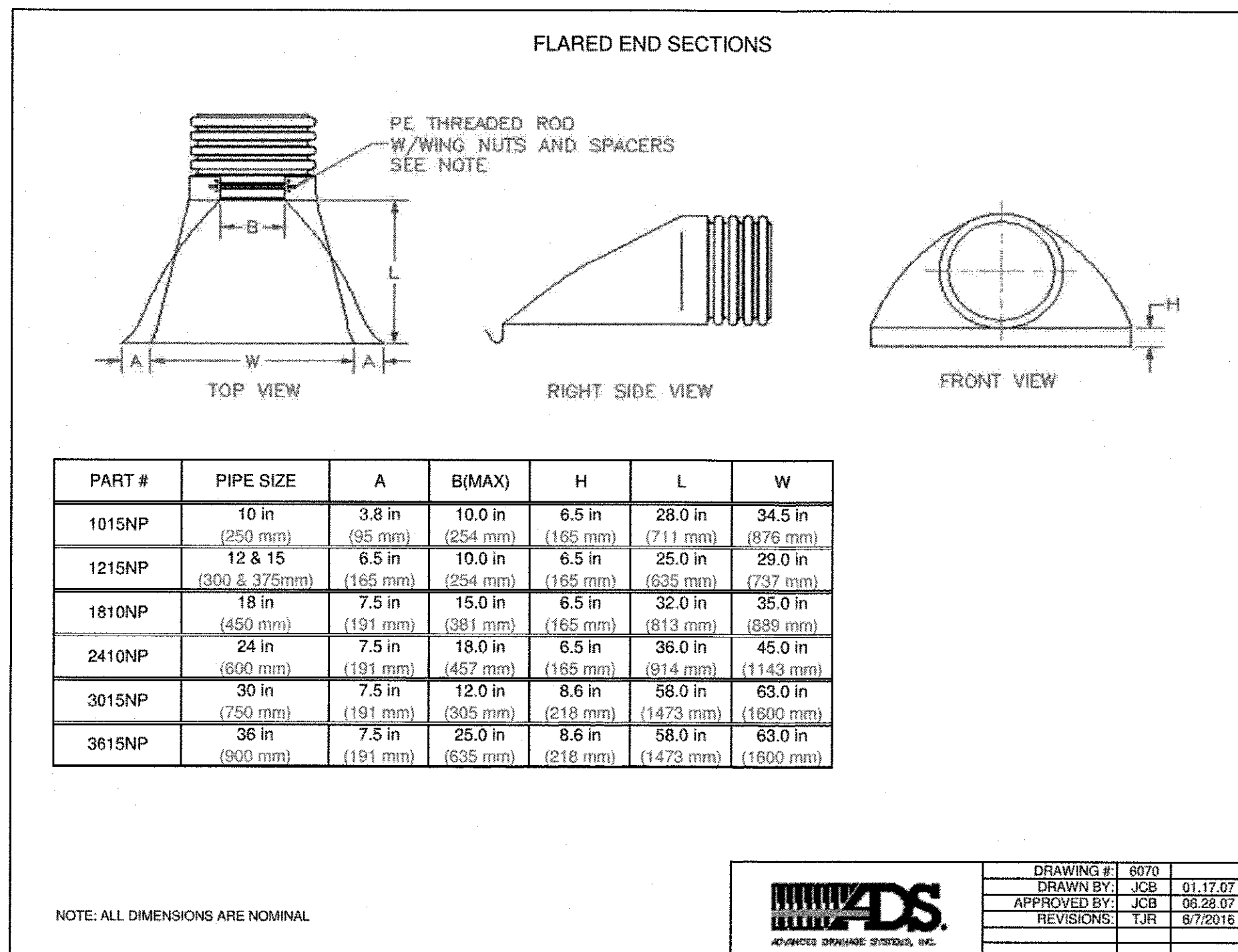
Y-BARS EDGE (3") FROM RETAINING FACE

GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE  $\pm 2.0\%$ .
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- DOWELS SHALL BE EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF #4-24", #5-30", #6-36" INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6' USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

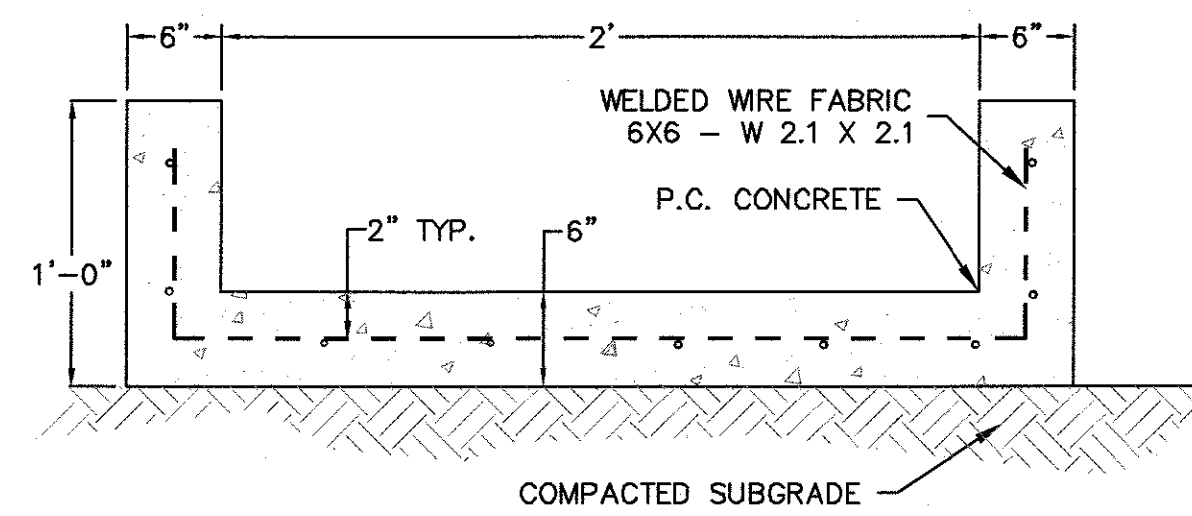
WATER QUALITY INLET AND BIOSNOUT DETAIL

SCALE: NONE



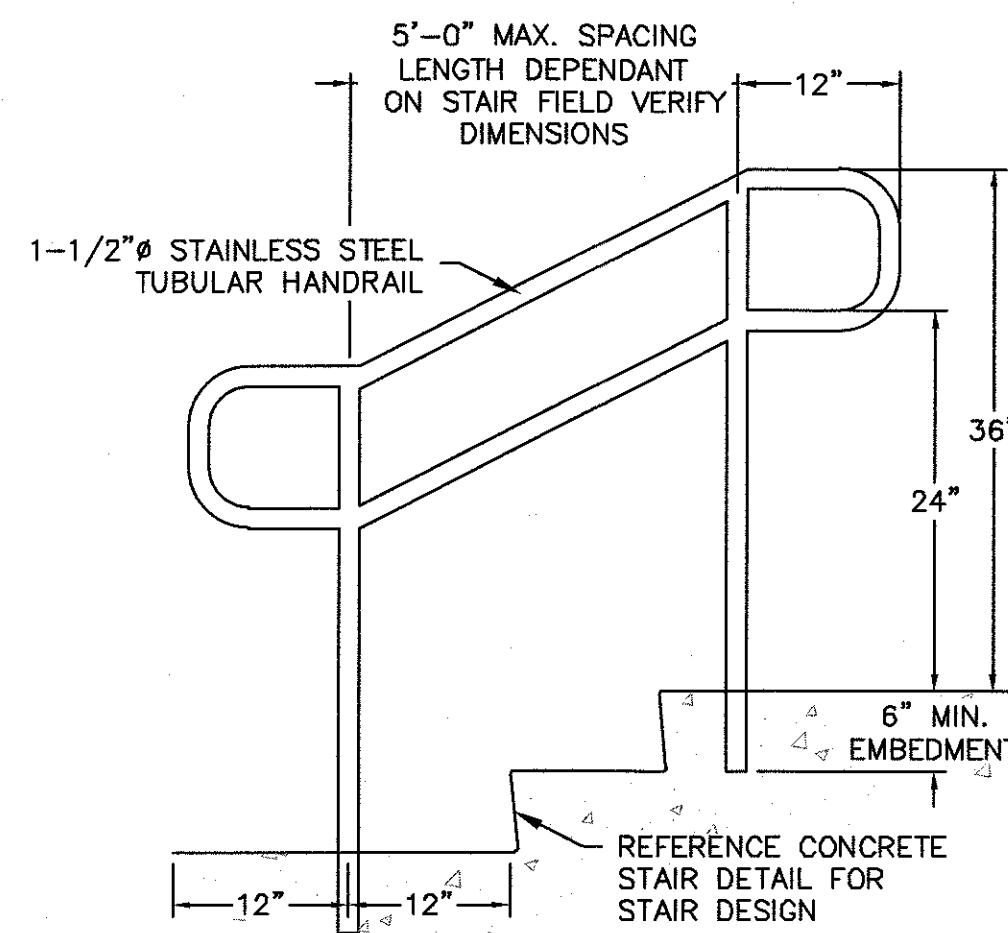
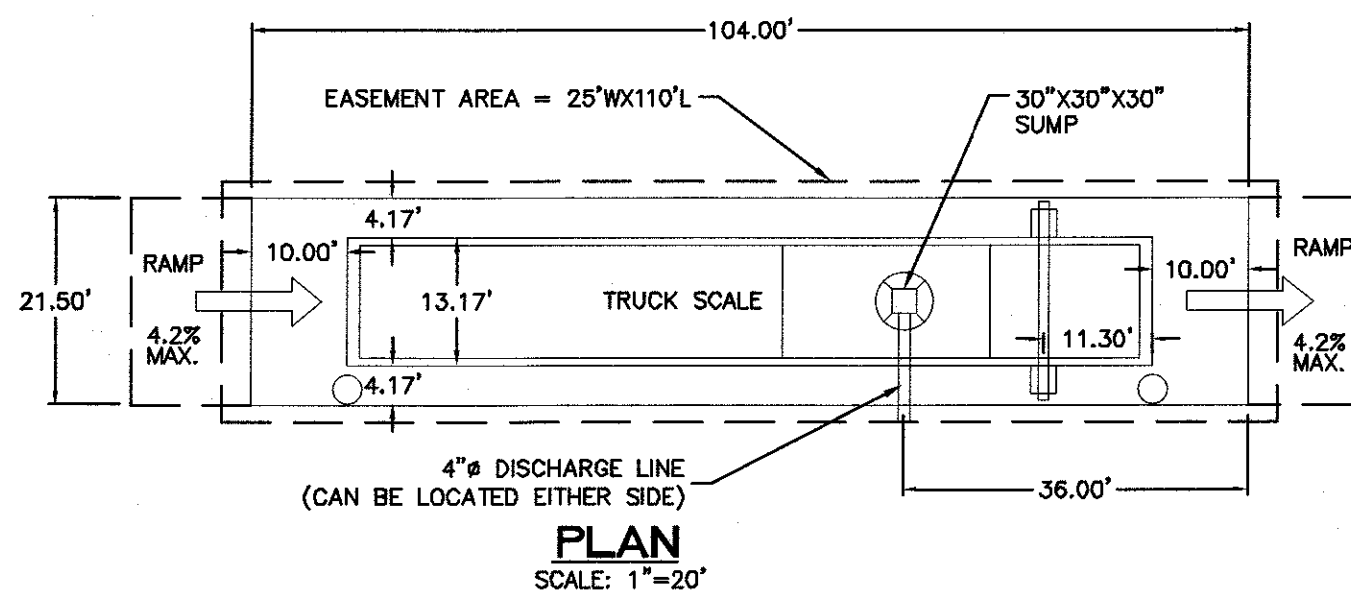
HDPE END SECTION DETAIL

NTS



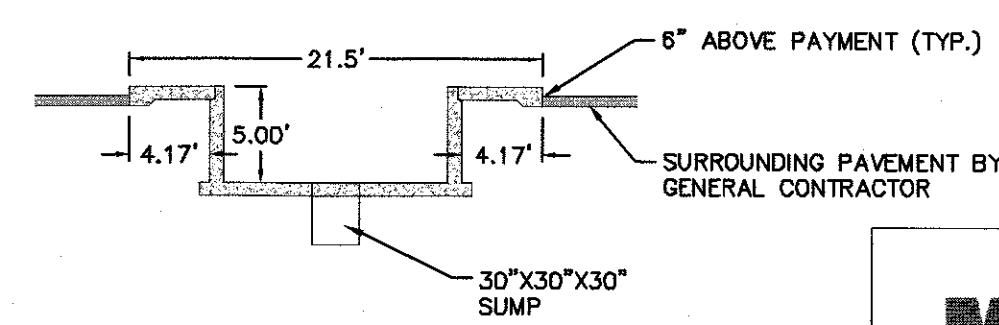
CONCRETE FLUME DETAIL

NTS



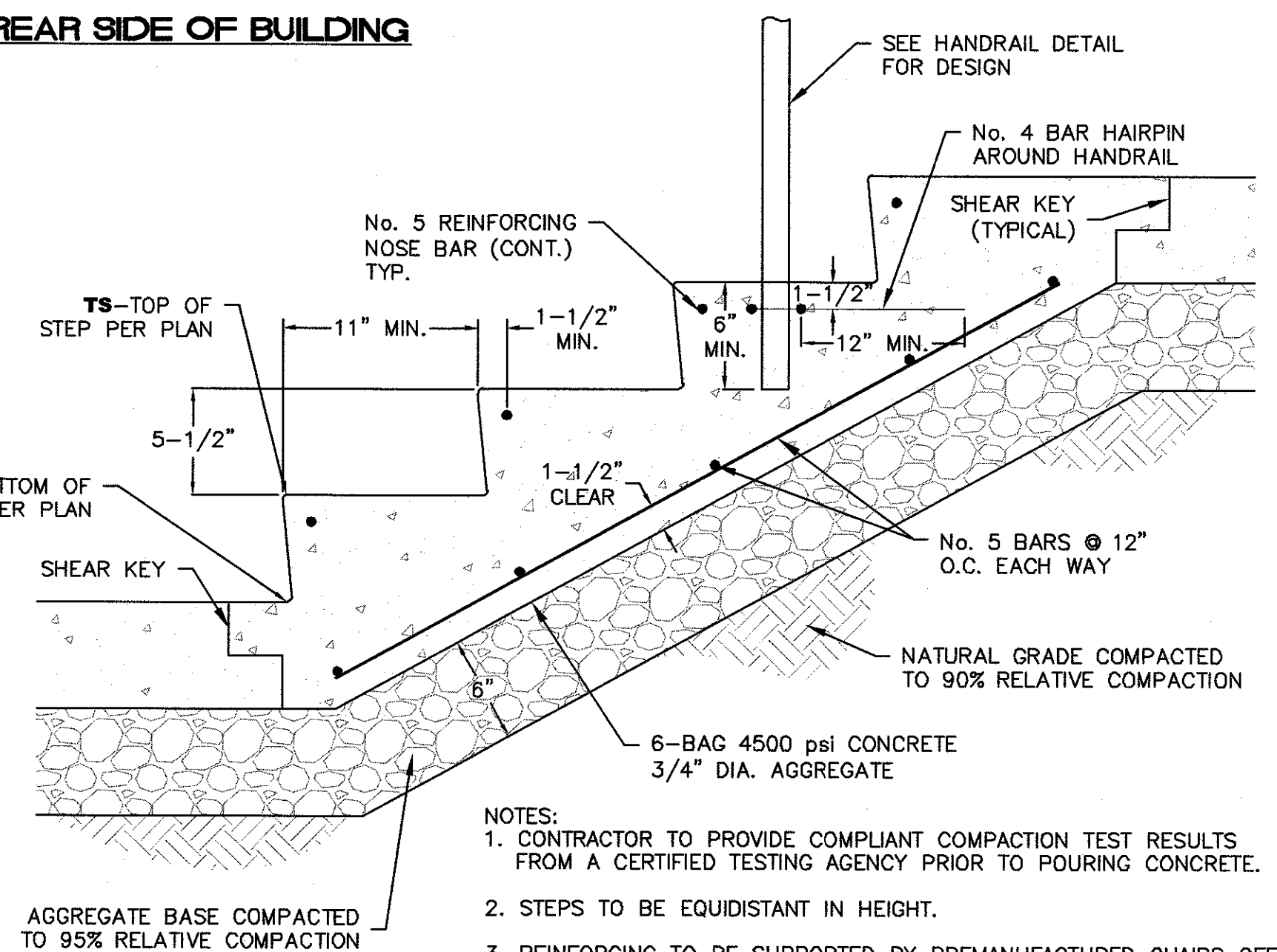
HANDRAIL DETAIL

NTS



SECTION

SCALE: 1"=10'



CONCRETE STAIR DETAIL

NTS

	ENGINEER'S SEAL	<b>MAVERIK</b> UNIVERSITY & MENAUL	DRAWN BY DY
		<b>CONSTRUCTION DETAIL</b> 4	DATE 9/3/2019
		<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2018062-C8-DETAILS
			SHEET # <b>C11</b> JOB # 2018062