

CITY OF ALBUQUERQUE



May 12, 2010

Del Paul Jack, R.A.
Del Paul Jack Architect
724 Cordova Place NW
Albuquerque NM 87107

Re: Question Construction Building, 2212 4th Street NW, Traffic Circulation Layout
Architect's Stamp dated 05-05-10 (H14-D103)

Dear Mr. Jack,

The TCL submittal received 05-11-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: QUESTON CONSTRUCTION BLDG. ZONE MAP: H-14/D103
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS 1 & 2 GORMAN LANDS
 CITY ADDRESS: 2212 4th Street N.W. 87102

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: DEL PAUL JACK CONTACT: _____
 ADDRESS: 724 CORDOVA PL. N.W. PHONE: 235 2670
 CITY, STATE: ABQ, NUEVO MEXICO 87107 ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER'S CERT (TCL) **RESUBMIT**
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

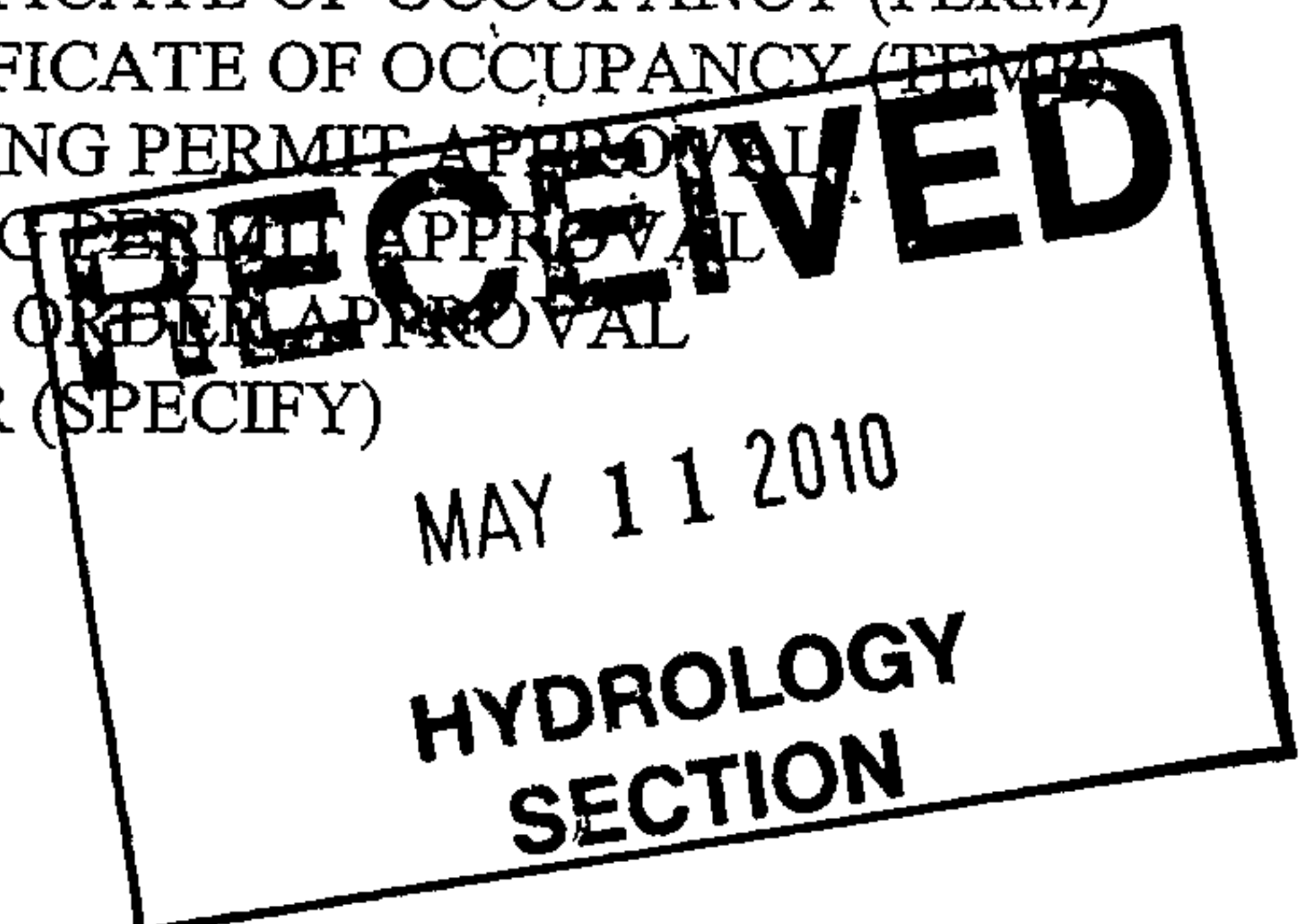
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

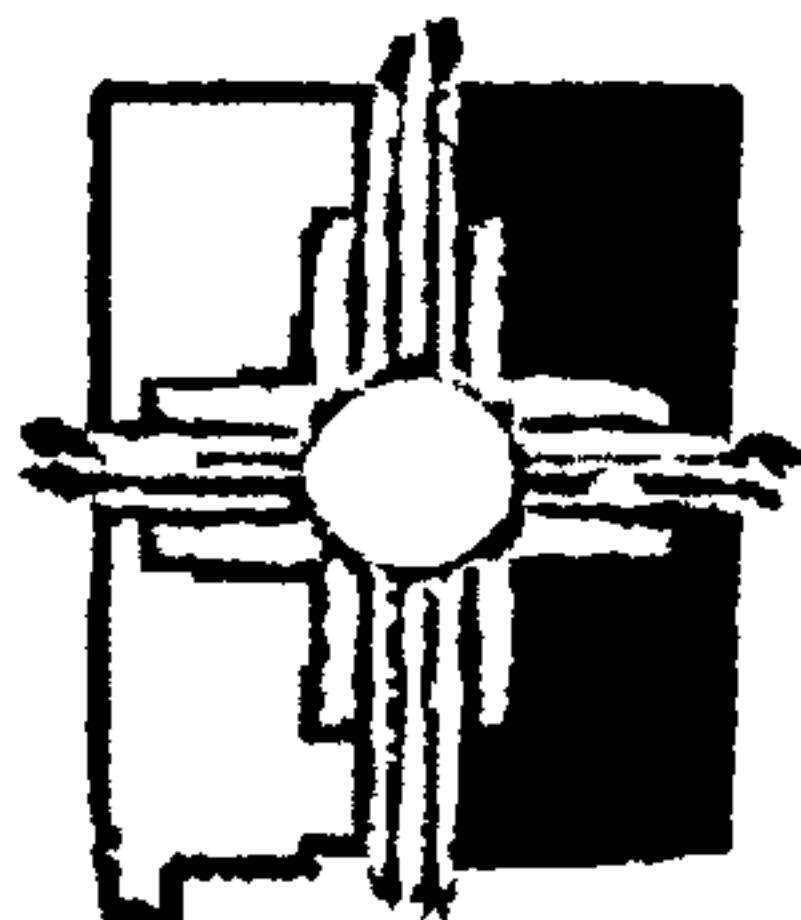
- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 11 MAY 2010 BY: DEL JACK



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



NEW MEXICO DEPARTMENT OF
TRANSPORTATION
MOBILITY FOR EVERYONE

H14/D103

Questions -

JOHN T. KELIAA

554.0376(c)

District Three Office - Albuquerque

February 4, 2010

Mr. Russ Steward
Queston Construction, Inc.
7518 2nd Street NW
Albuquerque, NM 87107

Subject: **Authorization to Construct for Driveway Permit #3-2984**
Location: FR 4027 (I40 north Frontage) Mile Marker 0.6

Dear Mr. Steward:

We have reviewed the documentation and plans you submitted for access to our State Highway System and have determined that your proposed driveway will meet the requirements of the State Access Management Manual. Therefore, we issue this correspondence as your Authority to Proceed with your construction.

The fully executed driveway permit will be returned to you upon our Final acceptance of your Driveway and/Or Roadway Construction to include but not limited to; approved roadway features (auxiliary lanes curb & gutter, sidewalks etc.), drainage, signing & striping requirements as outlined in the approved TIA and approved design plans.

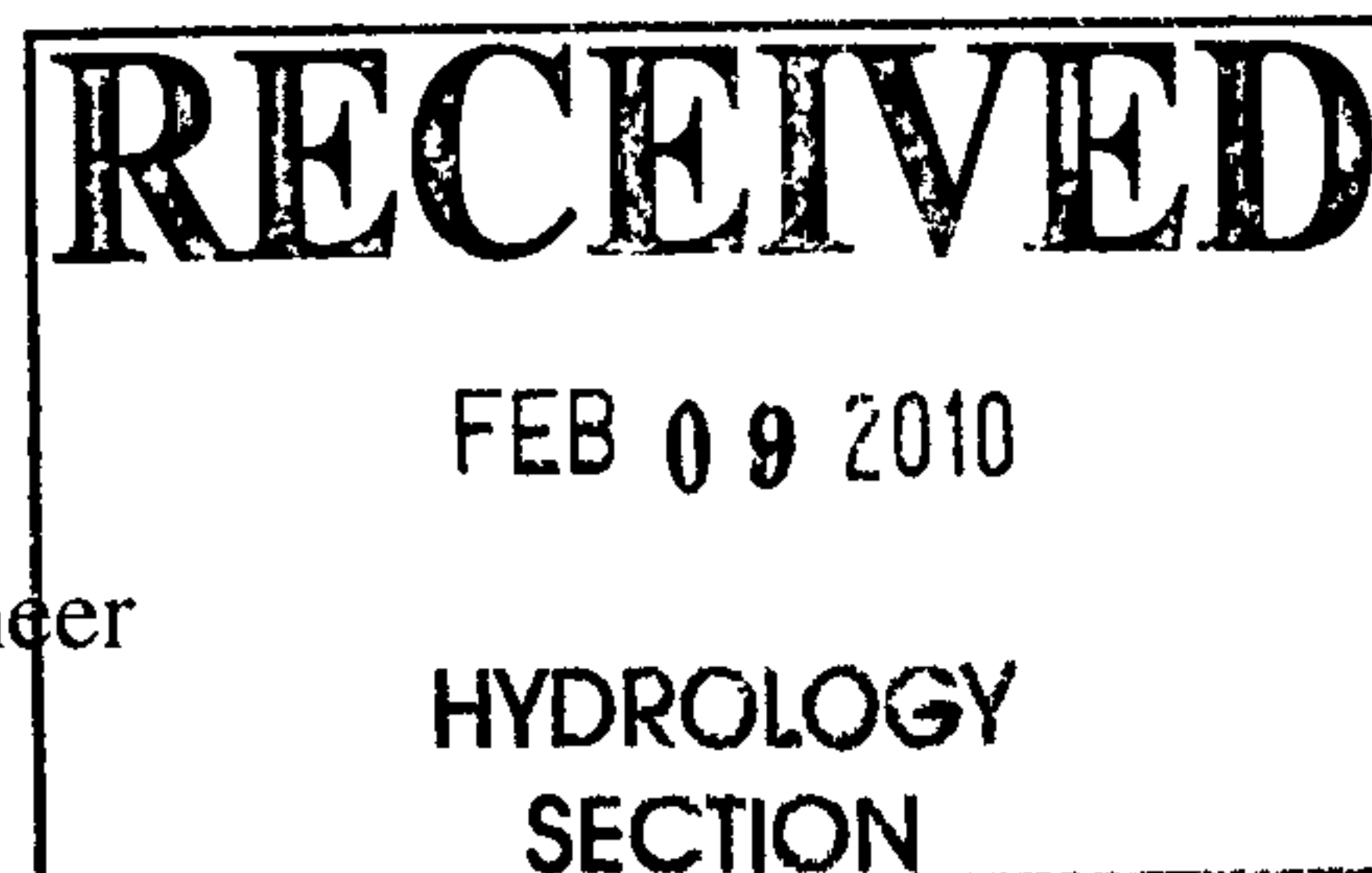
You are required to notify Christina Bahl via fax at (505) 841-2790 by completing the attached Traffic Control Plan / Roadway Work Permit Form at least five (5) days in advance of construction. Upon receipt of an approved Traffic Control Permit you will be granted permission to enter the NMDOT Right of Way.

By granting a driveway permit, the NMDOT does not relieve the property owner from the responsibility to ensure that historical drainage flows along the roadway are maintained. Should construction of the driveway impact historical flows along the roadway, it is the responsibility of the property owner to take corrective action to resolve any drainage issues that result from the construction of the driveway. All work performed within State rights-of-way must meet or exceed NMDOT Standard Specifications for Road & Bridge Construction, 2007 Edition.

Sincerely,

Christina Bahl
District Three Permit Agent

xc: Andrew Gallegos P.E., District Three Traffic Engineer



Bill Richardson
Governor

Gary L. J. Giron
Cabinet Secretary

Commission

Johnny Cope
Chairman
District 2

David Schutz
Vice Chairman
District 5

Gregory T. Ortiz
Secretary
District 6

Norman Assed
Commissioner
District 3

Jim Franken
Commissioner
District 4

Bud Hettinga
Commissioner
District 1



NMDOT

PER NMDOT - THIS IS FILLED OUT WHEN OWNER CONTRACTS W/

NEW MEXICO DEPARTMENT OF TRANSPORTATION
(NMDOT)



NMDOT

Traffic
Control
CO.

TRAFFIC CONTROL/ROADWAY WORK PERMIT

NMDOT Project Number (If applicable): _____ Control Number: 3-2984

General Scope of work: _____

Contractor Name: _____

Contact Person: _____

Contact Telephone: () _____ Fax: () _____

Traffic Control Firm: _____

Contact Person: _____

Contact Telephone: () _____ Fax: () _____

Work Zone Location Information:

Route: _____

Mile Post: From _____ To: _____

Or Intersection: _____ Intersection: _____

Direction (NB, SB, EB, WB, or both): _____

☐ 2 lane Road ☐ 4 lane Road ☐ 6 lane Road ☐ 8 Lane Road ☐ Divided ☐ Undivided

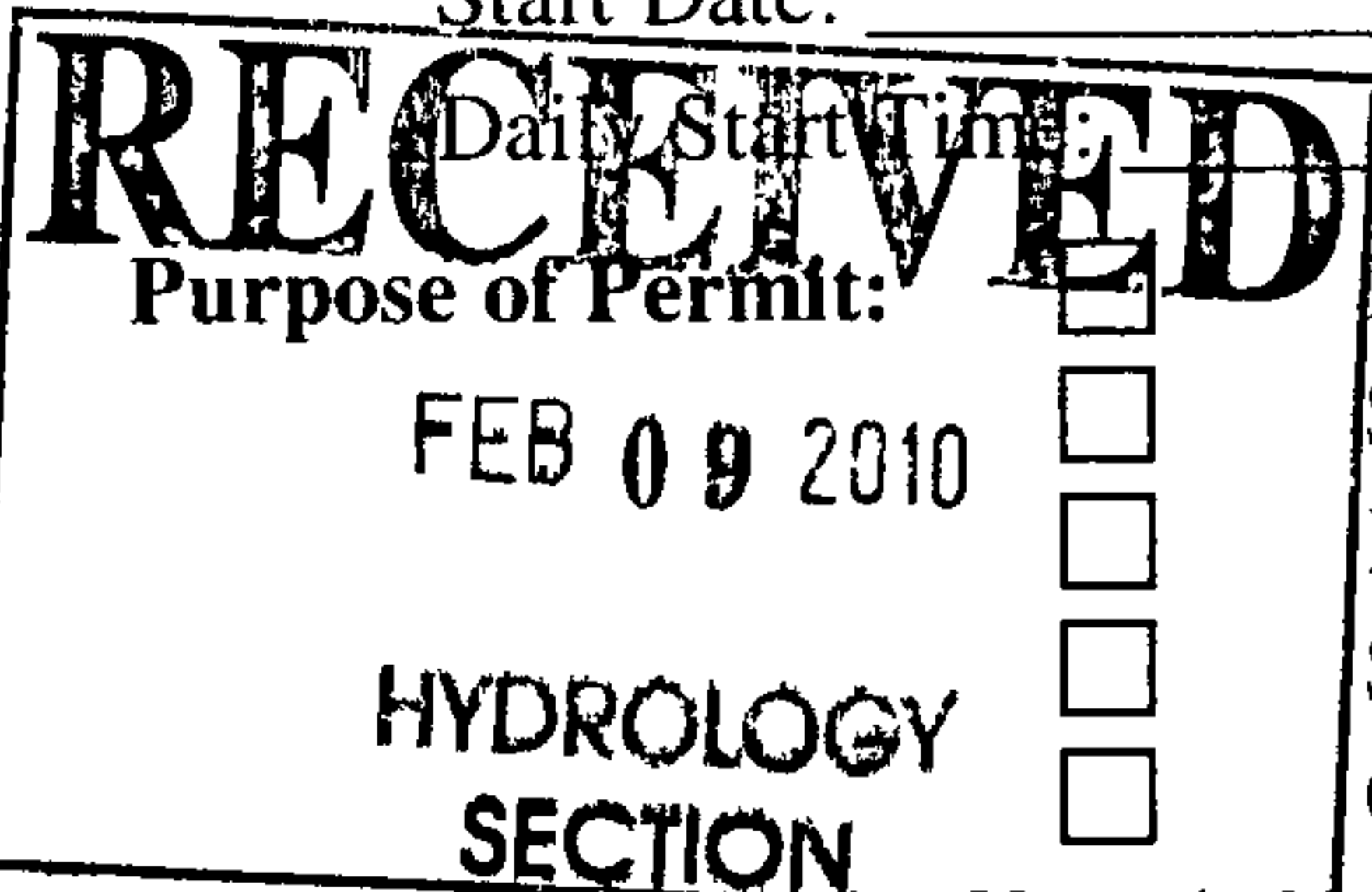
Existing Speed limit in area: _____ MPH or Ranges from _____ MPH to _____ MPH

Proposed Speed Limit reduction within work zone (If Applicable): _____ MPH

Working Duration:

Start Date: _____ End Date: _____

Daily Start Time: _____ End Time: _____



Purpose of Permit: ☐ Roadway Construction/Rehab. ☐ Shoulder Work
☐ Signal and Lighting Work ☐ Utility work
☐ Drainage/Excavation work ☐ Soil Testing
☐ Signing and Striping Placement
☐ Other: _____

TCP Plan Enclosed: ~~Yes~~ / No (circle one) (TC Permit will not be processed without a TCP plan)

If no, describe why: _____

For Official Use:

☐ **Approved** (see conditions below) ☐ **Approved As Amended** ☐ **Not Approved**

☐ Contractor/TCP firm **SHALL** contact Mr. Phil Gallegos (W: (505) 841-2764, Cell (505) 220-4153) and confirm the actual start dates so that it can be included in the D3 Weekly Traffic Report.

☐ TCP Firm and Contractor must adhere to the attached notes.

Permit Number: _____

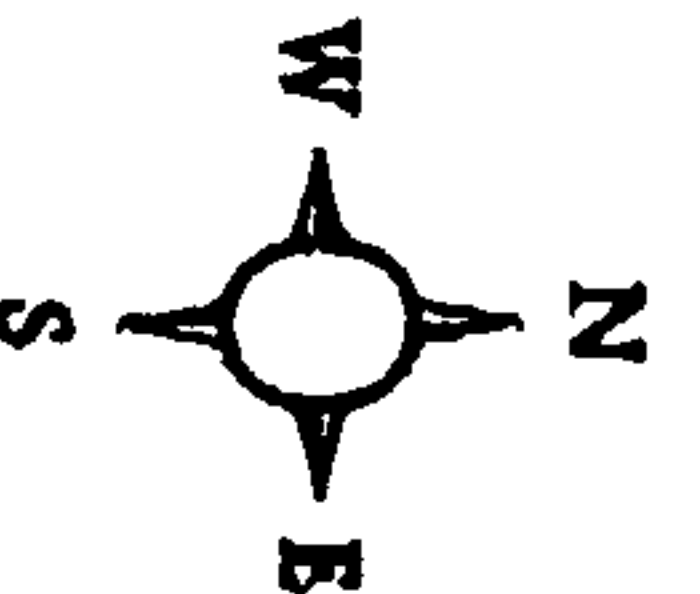
Approved By _____

NMDOT District Three Office – Traffic Section

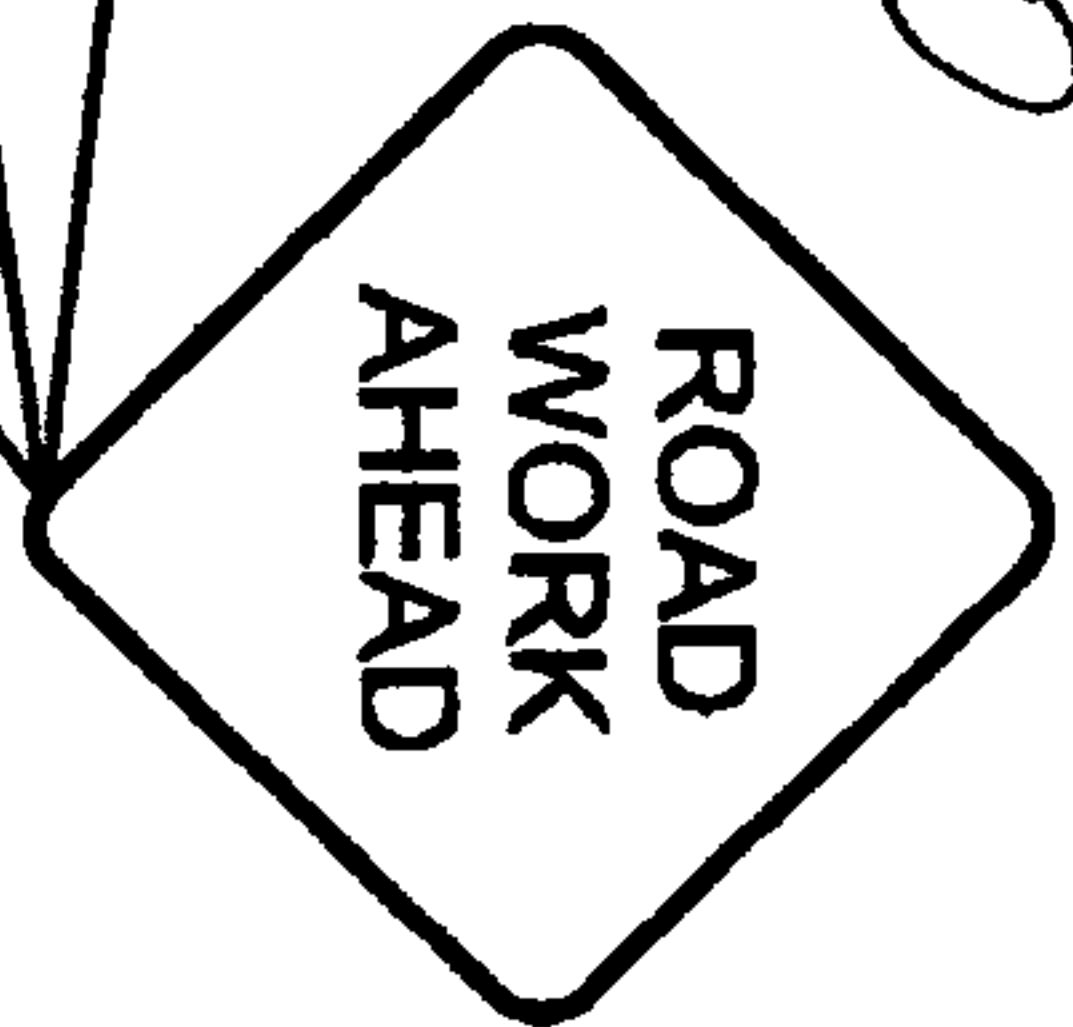
Submitted to Phil Gallegos, D3 Public Information Officer By: _____ On: ____ / ____ / ____



ALBUQUERQUE 873-0044 FAX 873-0088
SANTAFE 424-3337 FAX 424-3339
LAS CRUCES 373-9490 FAX 373-9496



*Corrected
as amended
02/04/10*



*TYPE III
Barbed Wire*

WB FRONTAGE RD

4TH

I-40

2ND

NOTES

- 1) DRAWING NOT TO SCALE
- 2) 48" SIGNS USED WITH FLAGS AND SAND BAGS
- 3) 8AM TO 3PM
- 4) DAY TIME ONLY

RECEIVED

FEB 09 2010

HYDROLOGY
SECTION

CITY OF ALBUQUERQUE

Owner	Project Name	Project Location
Phone Operator	QUESTION	SW SAFETY SERVICES
Start Date	1 OF 1	DURATION
Prepared By	DANIEL VELASQUEZ 11/23/09	

SUBMIT - 4.27.10

APPLICATION 206991234

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: QUESTON CONSTR. BLDG ZONE MAP: H-14/103
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 2212 4th Street NW 87102

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: DEL PAUL JACK CONTACT: _____
ADDRESS: 724 COROPONA PL. NW PHONE: 235-2679
CITY, STATE: ALBANY GA 31707 ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: 05/05/10 CONTACT: _____
ADDRESS: Verbal PHONE: _____
CITY, STATE: Need 24' aisle ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
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☐ PRELIMINARY PLAT APPROVAL
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☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

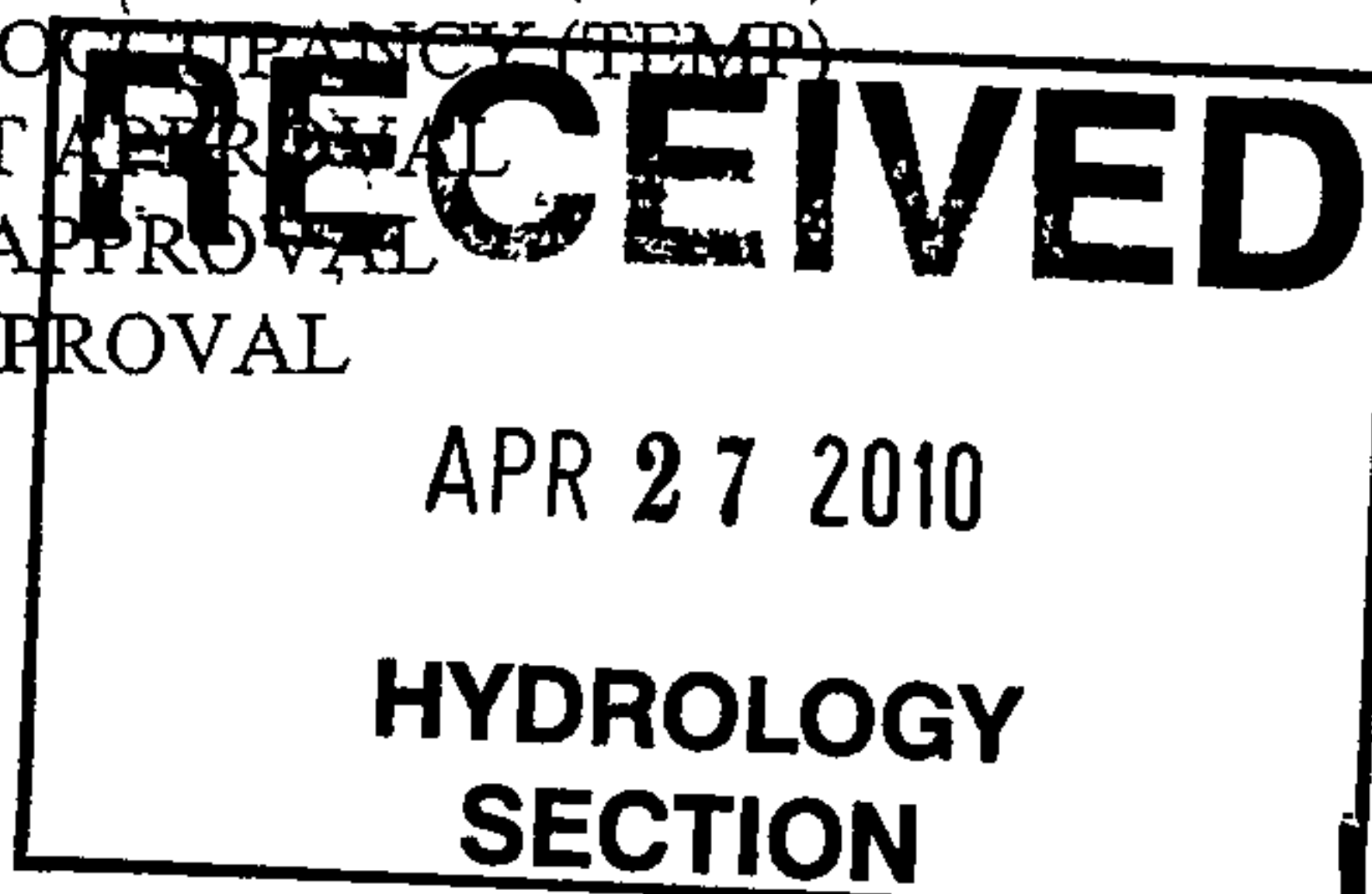
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

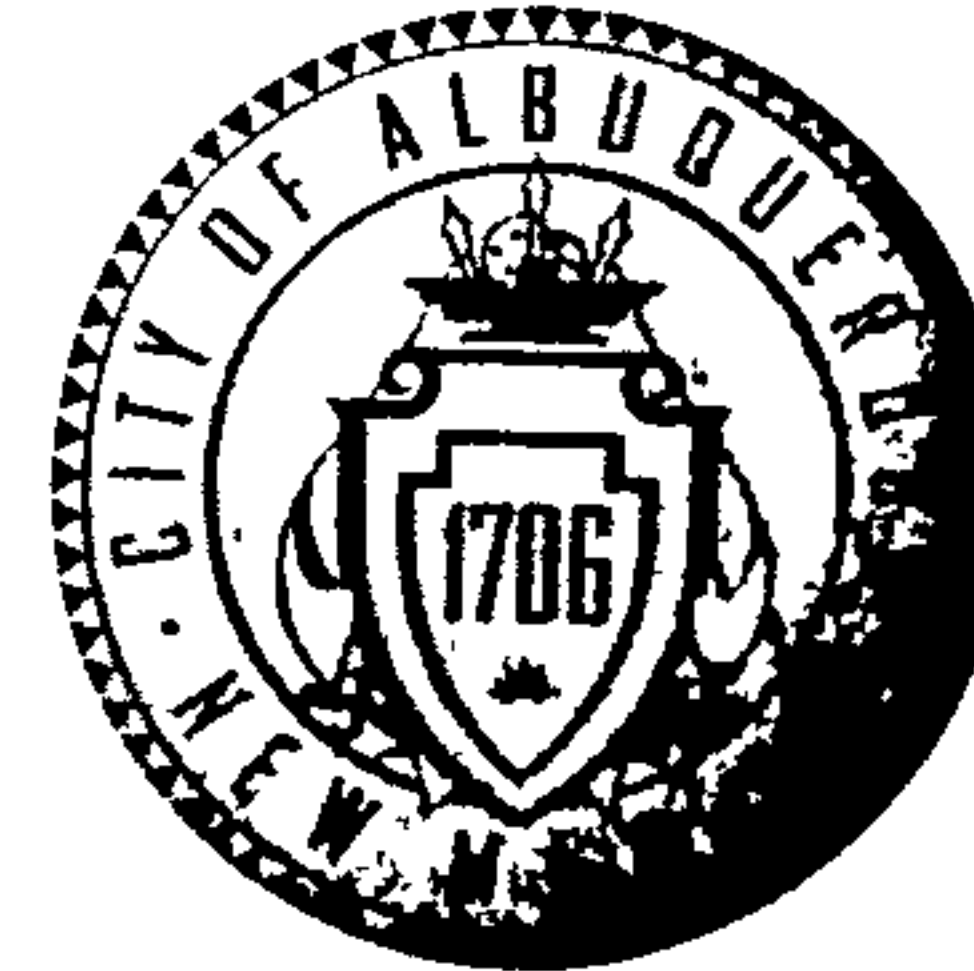
DATE SUBMITTED: 4.27.10 BY: DEL PAUL JACK

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CITY OF ALBUQUERQUE



February 23, 2010

Del Paul Jack, R.A.
Del Paul Jack Architect
724 Cordova Place NW
Albuquerque NM 87107

Re: Question Construction Building, 2212 4th Street NW, Traffic Circulation Layout
Architect's Stamp dated 02-11-10 (H14-D103)

Dear Mr. Jack,

The TCL submittal received 02-22-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

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NM 87103

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www.cabq.gov

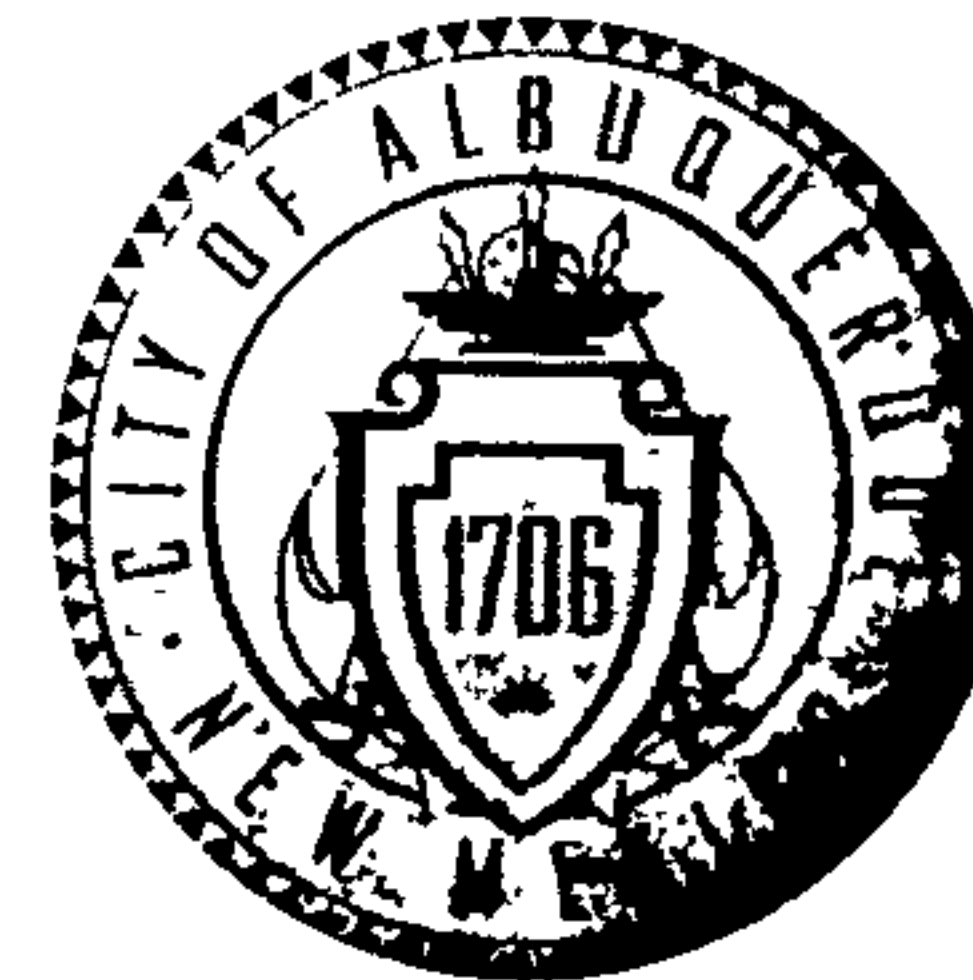
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



FAX 201-2414

November 5, 2009

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

**Re: Question Building, 2212 4th St NW, Grading and Drainage Plan
Engineer's Stamp date 11-4-09 (H14/D103)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 11-4-09, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

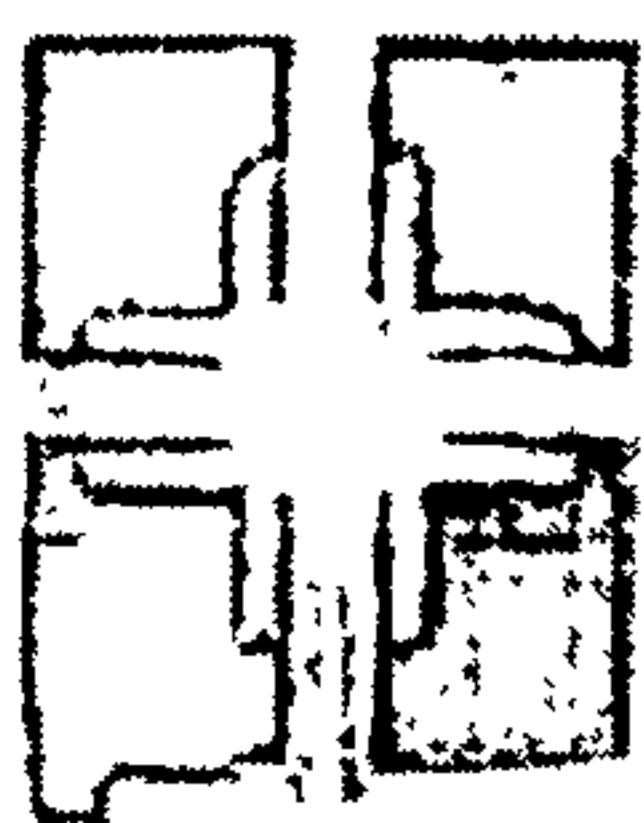
Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file



NEW MEXICO DEPARTMENT OF
TRANSPORTATION
MOVING EVERYONE

November 5, 2009

Philip Clark, PE
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

**RE: Question Building, I-40 Northerly Frontage Road westbound,
I-40, MP 158.5**

Dear Mr. Clark:

Your November 4, 2009 transmittal of revised plan and drainage details has been reviewed.

It is considered that the said plan comply with the requirements of NMDOT's *Drainage Design Criteria*, 4th ed.

Please include the reviewed documents as revised above with your access application to District 3.

If you have any questions, please call me at 505-827-5331.

Sincerely,

Hashem Faidi

Hashem Faidi, PhD, PE
Drainage Staff Engineer

Enclosure(s): November 4 plan

EC:

Tony Abbo, PE, Traffic Engineer, D 3
Christina Bahl, Permit Agent D 3
Ellery Biathrow, PE, Drainage Development Engineer
Curtis Cherne, PE, City of Albuquerque
Daily File
Property Review File, D 3

Bill Richardson
Governor

Gary L. J. Giron
Cabinet Secretary

Commission

Johnny Cope
Chairman
District 2

Jim Franken
Vice Chairman
District 4

Norman Assed
Secretary
District 3

Roman Maes III
Commissioner
District 5

Jackson Gibson
Commissioner
District 6

John Hummer
Commissioner
District 1



FIRM MAP

NOTE: SITE IS ADJACENT TO AN AD FLOODPLAIN THAT IS CONTAINED WITHIN THE STREET AND RIGHT-OF-WAY. THEREFORE THE FINISH FLOOR ELEVATION OF THE PROPOSED BUILDING IS SET 16 FEET ABOVE THE FLOWLINE OF THE I-40 FRONTAGE ROAD.

GRADING & DRAINAGE PLAN

THE PROPOSED COMMERCIAL FACILITY PROJECT IS LOCATED IN THE NORTHWEST SANTA BARBARA AREA OF THE CITY APPROXIMATELY 2 MILES FROM THE DOWNTOWN CORE OF THE CITY OF ALBUQUERQUE, N.M. THE GRADING AND DRAINAGE SCHEME HEREIN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS

1. EXISTING CONTOURS, SPOT ELEVATIONS, EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS (CONCRETE AND ASPHALT PLATINGS)
2. PROPOSED IMPROVEMENTS: 7000 SQUARE FOOT STRUCTURE, PARKING, ASPHALT ACCESS DRIVE, CONCRETE PLATINGS, AND NEW GRADE ELEVATIONS.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS
4. ON-SITE ANALYSIS AS TO STORM WATER MANAGEMENT AND EROSION CONTROL.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY ALLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOARDED ON WEST, NORTH AND EAST BY DEVELOPED PROPERTY. THE INTERSTATE 40 NORTH FRONTAGE ROAD ON THE SOUTH IS AN IMPROVED PAVED, ROADWAY WITH CURB/GUTTER AND ATTACHED NORTH SIDEWALK.

HISTORICAL SITE ALMOST OUTLEAF LOCATIONS WILL REMAIN UNCHANGED IN DEVELOPMENT AND GRADING IS PROPOSED WITHIN THE CITY R.O.W. FREE DISCHARGE OF DEVELOPED FLOW IS ACCEPTABLE SINCE CONVEYANCE TO ADEQUATE FACILITIES EXIST DOWNSTREAM.

CALCULATIONS

[illegible]

ESTIMATING CONCENTRATIONS

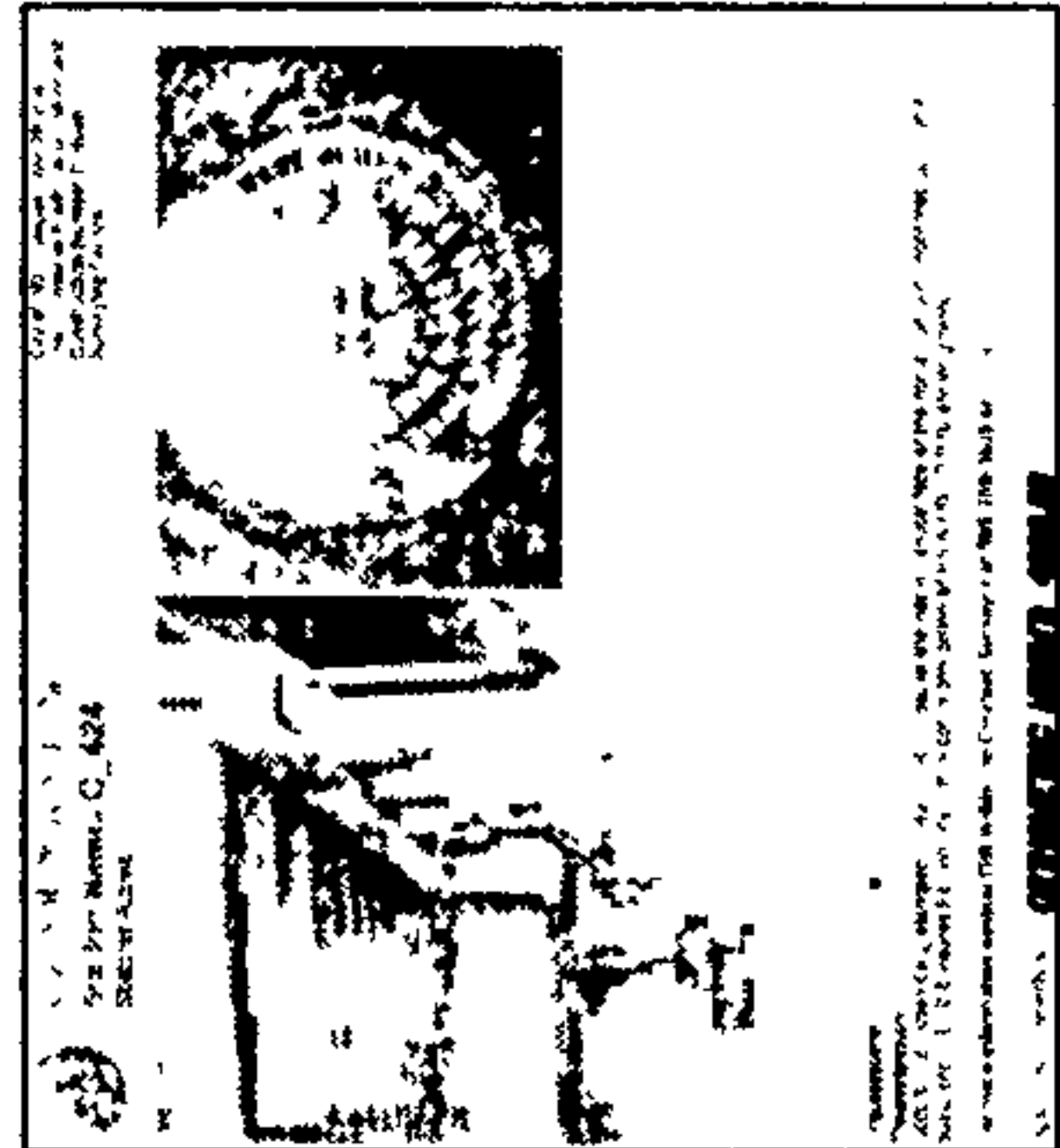
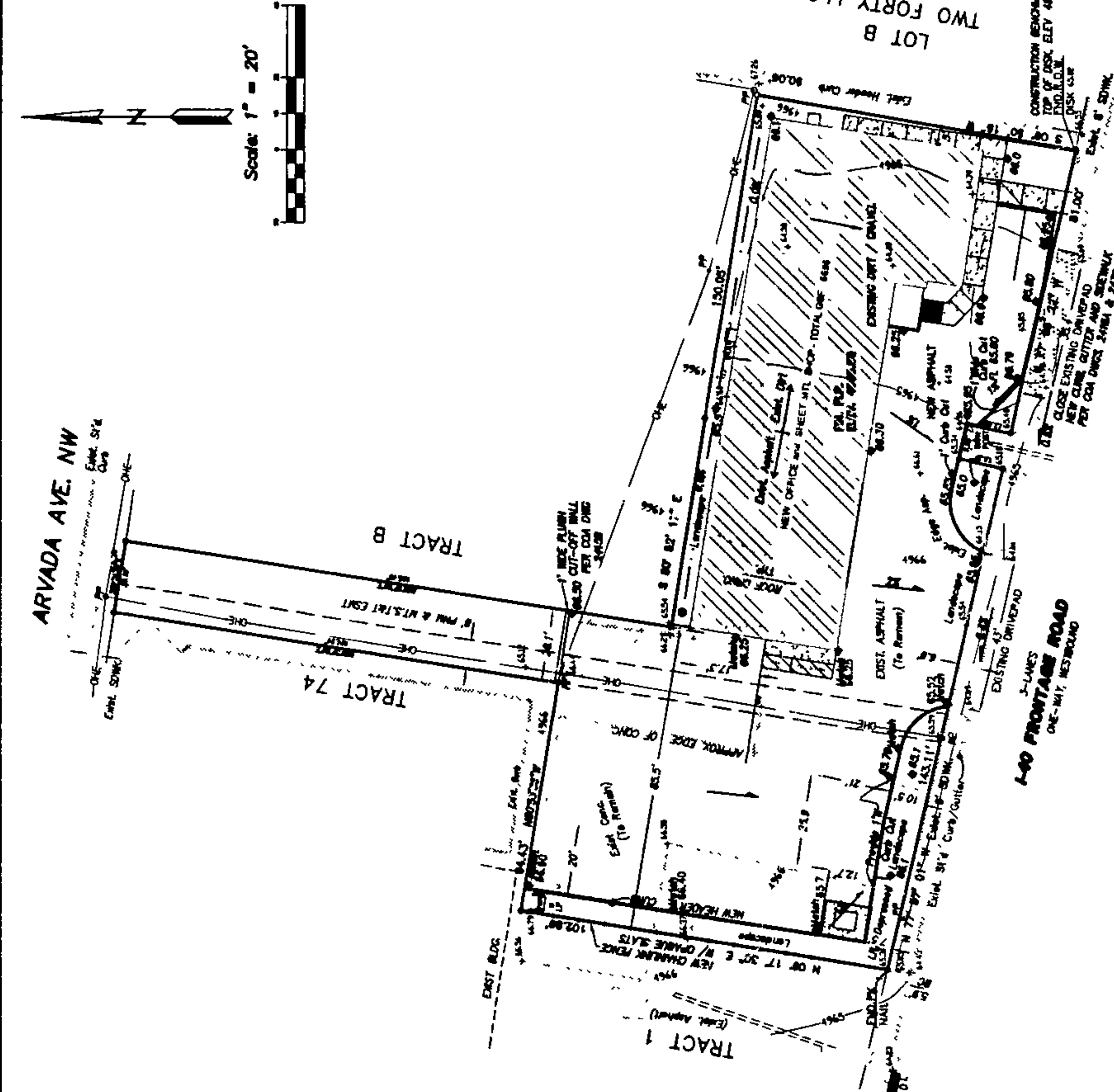
LOI AREA = 0.55 ACRES WHERE EXCESS PRECIP "WASH" = 10.3 IN. (0.17)
PEAK DISCHARGE (Q₁₀) = 2.04 CFS (1.1) WHERE UNIT PEAK DISCHARGE = 3.6 CFS/AC. [2.3]
THEORETIC. VOLUME (V₁₀) = 3114 CFS (1057)

DEVELOPER COMMENTS

DRAINAGE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMING DISCHARGE
FOR STUDY AREA

AREA	LAND TREATMENT	D Peak	E
UNDEVELOPED/POND	0	1.96 (0.10)	0.53 (0.12)
LANDSCAPING	0.12 AC (22%)	2.26 (1.05)	0.76 (0.28)
GRAVEL & COMPACTED SOIL	As (100)	3.14 (1.7)	1.13 (0.82)
ROOF - PAVEMENT	0.53 AC (70%)	4.79 (3.14)	2.12 (1.34)

THEREFORE, $\epsilon_{\text{measured}} = 1.02 \ln(1.07) \approx$
 $0.06 = 2.29 \text{ CFS}$
 $Q_{10} = 1.48 \text{ CFS}$
 VOLUME 100 = 3833 CF
 VOLUME 10 = 2136 CF



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 - KDM)

PROJECT TITLE: Question Bldg. ZONE MAP: H. 14/D103
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 2, Lands of Gorman
CITY ADDRESS: 2212 Fourth ST. NW

ENGINEERING FIRM: Clark Consulting Engineers CONTACT: Phil
ADDRESS: 19 Ryan Road PHONE: 281-2444 & FAX
CITY, STATE: Edgewood, NM ZIP CODE: 87015

OWNER: Question CONTACT: Russ Steward
ADDRESS: _____ PHONE: 877-
CITY, STATE: _____ ZIP CODE: 247-0493

ARCHITECT: Del Paul Jack CONTACT: Del
ADDRESS: _____ PHONE: 235-2670
CITY, STATE: _____ ZIP CODE: _____

SURVEYING FIRM: Terrametrics of New Mexico LICENSED SURVEYOR: Phil Turner
ADDRESS: PO Box 30192 PHONE: 379-4301
CITY, STATE: Albuquerque NM ZIP CODE: 87190

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
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☐ OTHER (SPECIFY) _____

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☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

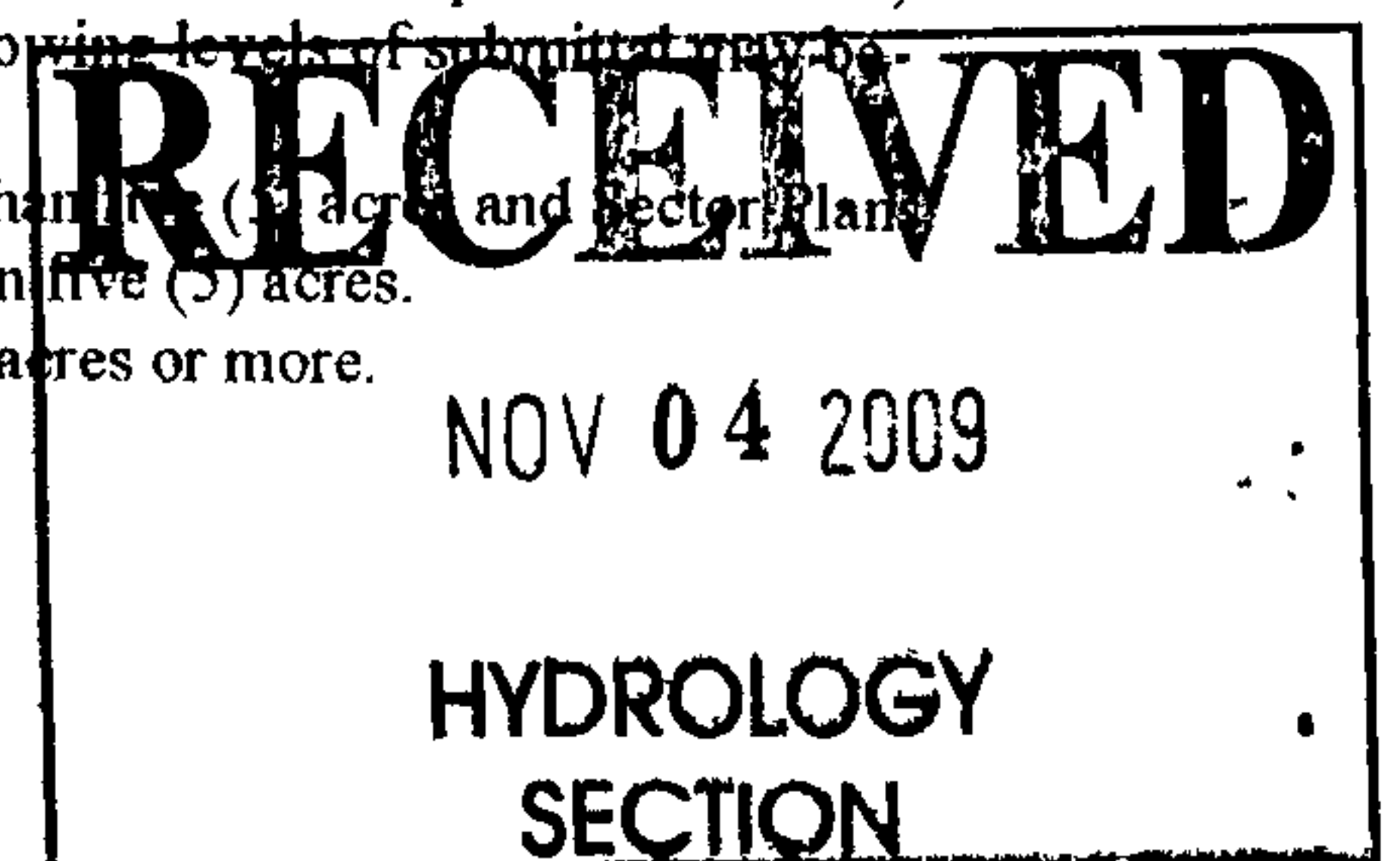
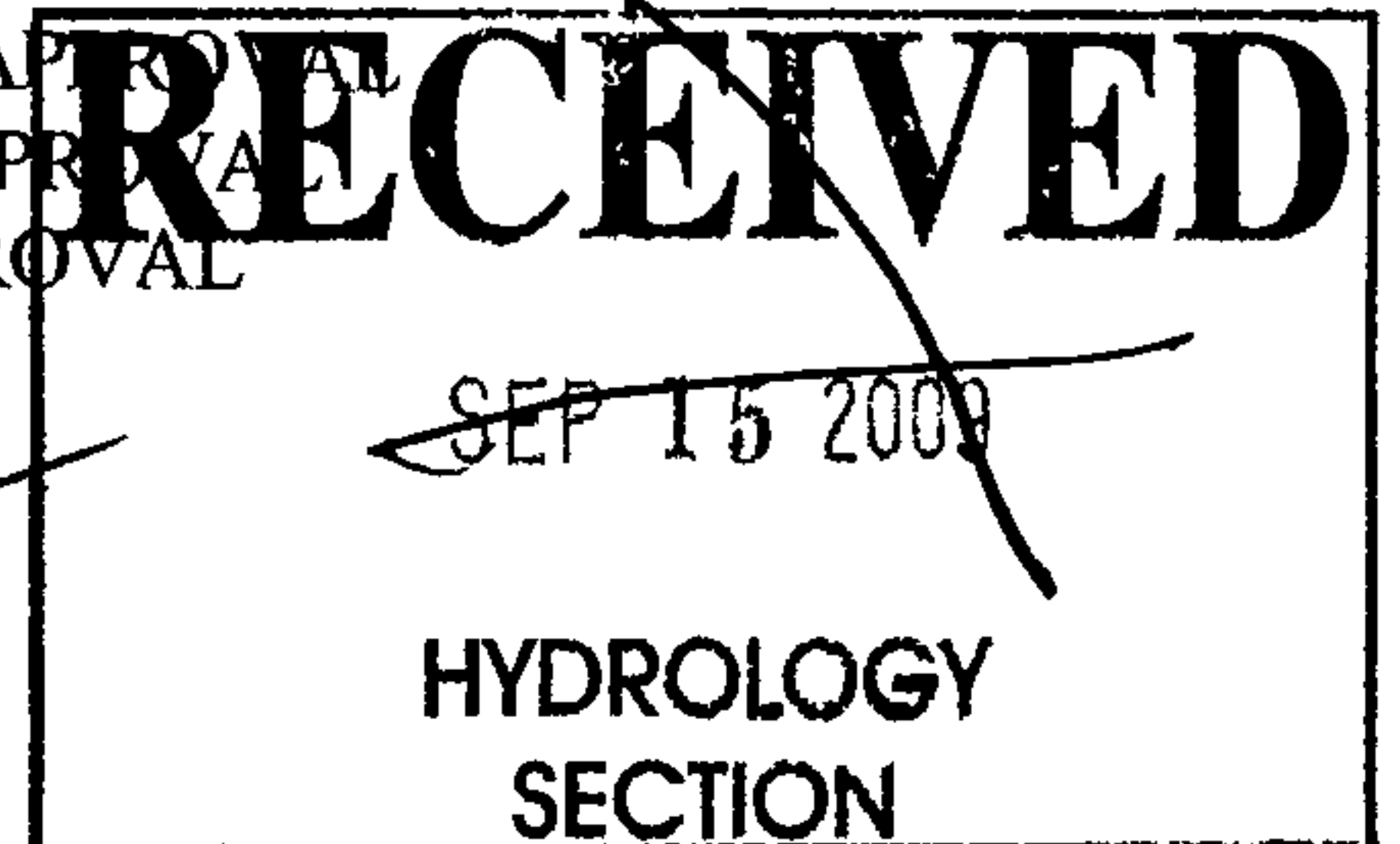
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

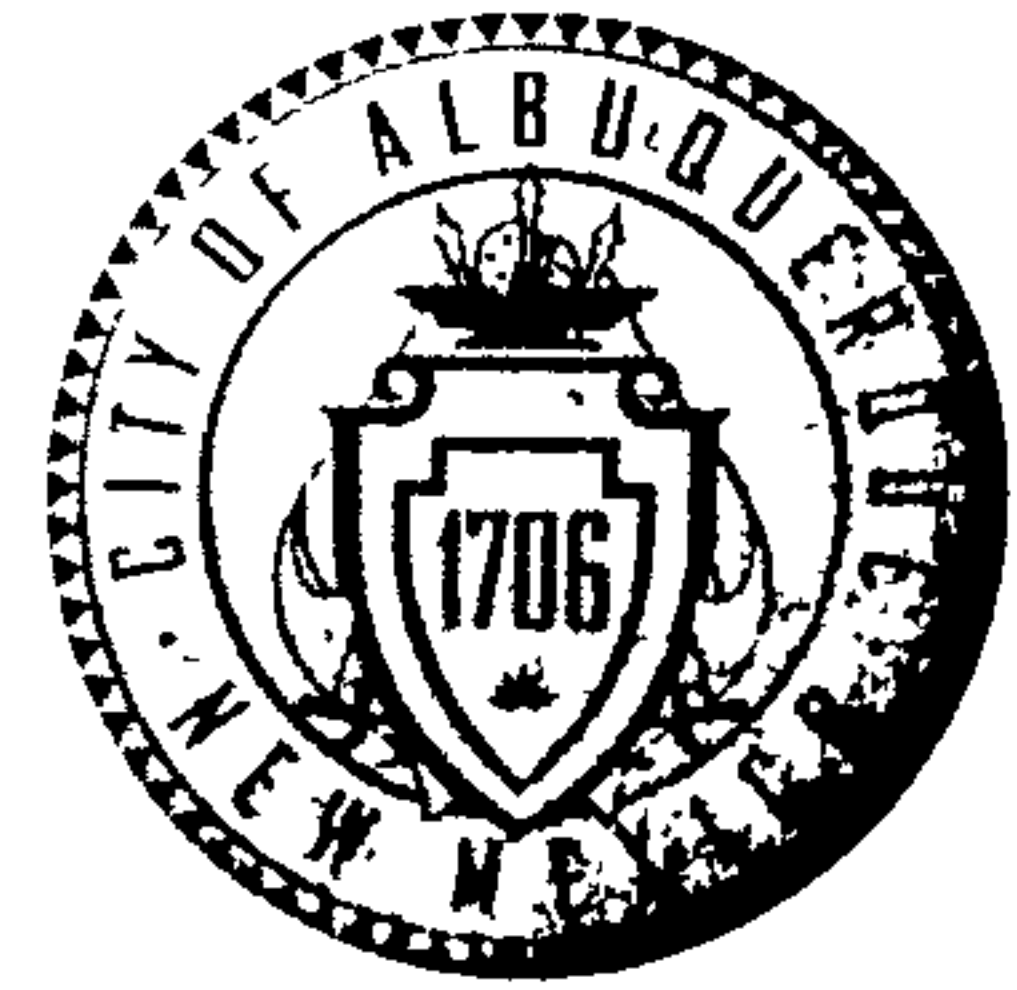
DATE SUBMITTED: 11/4/09 9/15/09 BY: RC

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



hashem, faidi @ State. nm. us
Jul dim Conclusion

September 17, 2009

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

Re: Queston Building, 2212 4th St NW, Grading and Drainage Plan
Engineer's Stamp date 9-14-09 (H14/D103)

Dear Mr. Clark,

Based upon the information provided in your submittal received 9-15-09, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- NMDOT approval is required. Provide correspondence.
- The lot to the north is flush or slightly lower than this site. Depress the landscape area north of the building or similar to prevent runoff from crossing the property line.
- The FIRM Map provided is too dark. This site has an AO zone on its south boundary. This should be discernable on the FIRM or discussed in the narrative.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

Cherne, Curtis

To: Hashem Faidi (hashem.faidi@state.nm.us)
Subject: Queston Building-2212 4th st nw

Hashem,

As discussed on the phone I am sending this e-mail concerning the development at 2212 4th St NW.

There is a drop inlet in the frontage road just west of this project. The lateral from the inlet is 15" dia and the storm drain trunk in 4th St is a 36" dia at 0.002.

There is a Special Flood Hazard Area, Zone AO (one foot depth), in the frontage road.

The City's conclusion is that even though this project will increase runoff to a SFHA Zone AO, the increase will be minor compared to the contributing basin, as most of the property in this area is developed as industrial/commercial and therefore mostly paved. In addition, the runoff from this project will enter the storm drain ahead of the peak due to the close proximity of the drop inlet.

Curtis Cherne, P.E., CFM
Senior Engineer
Development and Building Services
Planning Department, COA
924-3695