



**Planning Department
Transportation Development Services**

March 4, 2015

Ann Marie Allen, AIA. LEED
Dekker Perich Sabatini Ltd.
7601 Jefferson NE, Suite 100
Albuquerque, NM 87102

Re: Rio Bravo Brewing Company, LLC
1912 Second St. NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 2/12/15 (H14-D105)

Dear Ms. Allen,

Based upon the information provided in your submittal received 2/18/15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. Clarify the extents of the current phase of development. Please show existing surrounding buildings, property lines and easements.
3. Please label set-backs for building.
4. On the next submittal, please label drawing as "Traffic Circulation Layout" in lieu of "Site Plan".
5. A scale of 1"=20' is recommended for sites less than 5 acres.
6. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, walls, fences, gates and anything that influences the parking and circulation on the site.
7. Identify all existing access easements and rights of way with dimensions.
8. Identify the right of way width, medians, curb cuts, and street widths on 2nd St., McKnight Ave. Haines Ave. and 1st. St.
9. Clearly show existing sidewalk and handicap ramps within the Public R.O.W.
10. Please provide more detail on grades and slopes in the parking area and/ or the handicap accessible parking areas.

11. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please show detail on drawing.
12. The ADA access aisle shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
13. Show all drive aisle widths and radii.
14. Please detail all pedestrian walkways, including entrance to building and fencing that directs pedestrian traffic to building entrances.
15. List radii for all curbs shown; for passenger vehicles, the minimum end island radius is 15 feet. Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger
16. A five-foot keyway is required for dead-end parking aisles. Please detail keyway radii on drawing for parking lot south side of building Keynote #2.
17. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
18. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please provide greater detail of pathway and any elevation changes.
19. All sidewalks along streets should be placed at the property line, if possible.
20. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please show detail on drawing.
21. Design delivery vehicle route needs to be shown.
22. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval (if applicable). Please provide detail on A4, AS-102 callout.
23. Please specify the City Standard Drawing Number when applicable.
24. Please include a copy of your shared access and/or parking agreements with the adjacent property owner, if applicable.
25. Work within the public right of way requires a work order with DRC approved plans.
26. On-Street parking is not required; please remove any indication of on-street parking from drawing.
27. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard.

CITY OF ALBUQUERQUE



28. Please include three copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

A handwritten signature in blue ink that reads 'Racquel M. Michel'.

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

PO Box 1293

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SITE ANALYSIS AND DATA

LEGAL DESCRIPTION
LOTS NUMBERED 1 THRU 12, BLOCK 5 OF THE FRANCISCAN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE REPLAY OF THE FRANCISCAN ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO ON DECEMBER 17, 1934 IN VOLUME D FOLIO 13, AND LOTS NUMBERED 3 THRU 6, BLOCK 7 OF THE ALVARADO ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO ON MARCH 27, 1924 IN VOLUME C2, FOLIO 92.

ZONING
M-2

BUILDING USE
BREWERY, MANUFACTURING, STORAGE

TOTAL ACREAGE
1.1780 ACRES or 50,879.57 SF

TOTAL BUILDING AREA
14,316 GSF

PARKING REQUIREMENTS

ALBUQUERQUE CITY ZONING CODE, SECTION 14-17-3-1
TOTAL BUILDING AREA: 14,316 GSF

AREA: A-2 (ASSEMBLY) 1 SPACE PER 4 PERSONS: 153 OCCUPANTS / 4 = 38 SPACES
TOTAL PARKING REQUIRED: 38
TRANSIT REDUCTION (10%): -4 (BUS ROUTE #13 RUNS ALONG 2ND STREET)
TOTAL PARKING REQUIRED: 34 (INCLUDES 4 ACCESSIBLE SPACES, 1 BEING VAN)

TOTAL PARKING PROVIDED: OFF-STREET: 67
ON-STREET: 19 / 2 = 9
TOTAL PARKING PROVIDED: 67 + 9 = 76

DESIGNATED DISABLED PARKING SPACES
REQUIRED: 36 to 50 = 3 ACCESSIBLE SPACES REQUIRED (1 VAN ACCESSIBLE)
PROVIDED: 4 ACCESSIBLE SPACES (1 VAN ACCESSIBLE)

MOTORCYCLE PARKING SPACES
REQUIRED: 26 to 50 = 2 SPACES
PROVIDED: 3 SPACES

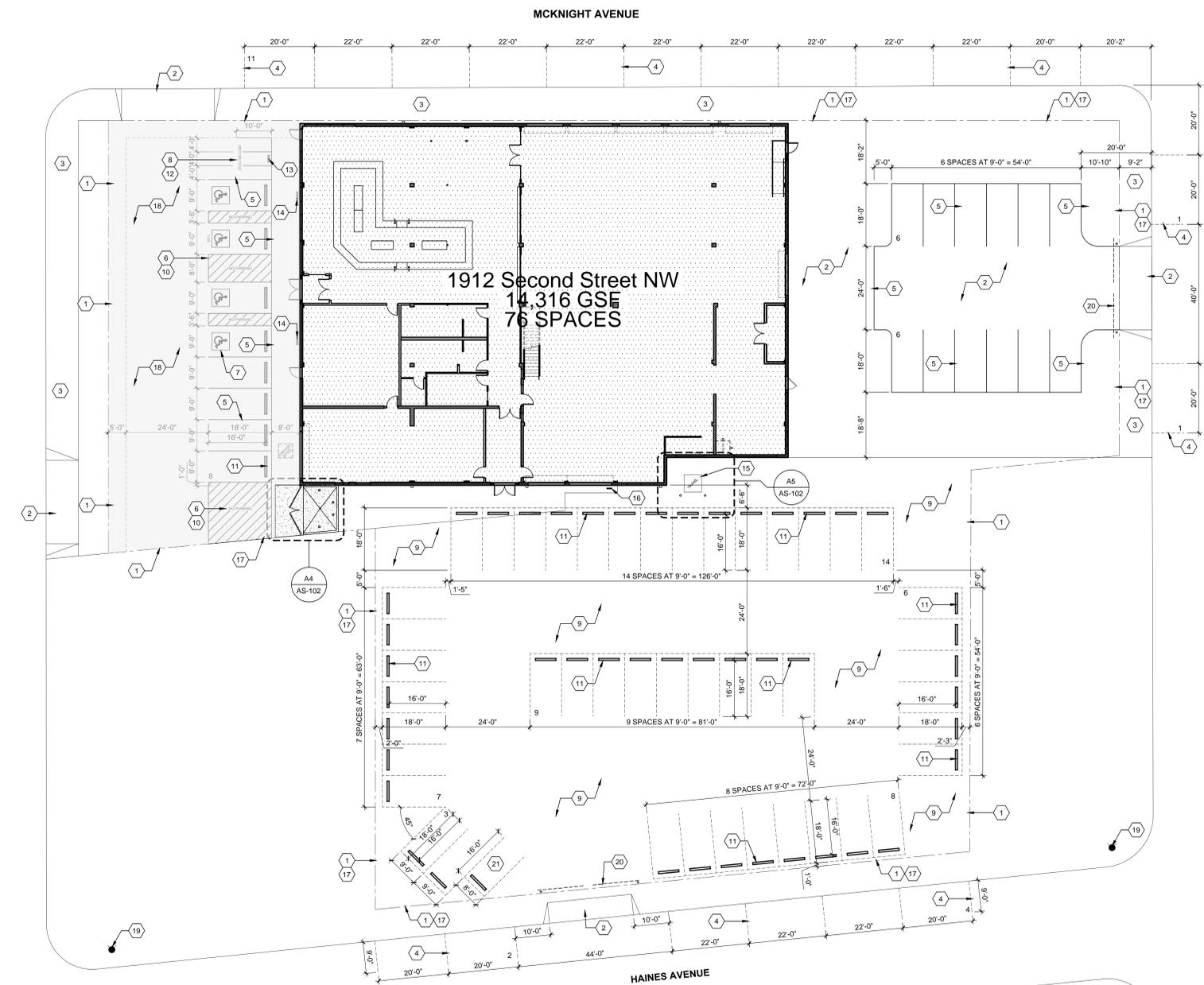
BICYCLE PARKING
REQUIRED: 1 PER 20 PARKING SPACES: TOTAL: 38 / 20 = 2 SPACES
PROVIDED: 3 SPACES

SHEET KEYED NOTES

1. EXISTING PROPERTY LINE.
2. EXISTING CONCRETE DRIVE.
3. EXISTING CONCRETE SIDEWALK.
4. ON-STREET PARKING SPACE (STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY).
5. PAINTED PARKING STRIPING (4" WIDE), COLOR: WHITE.
6. PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: WHITE.
7. PAINTED ACCESSIBLE PAVEMENT SYMBOL.
8. PAINTED PARKING SIGNAGE (MOTORCYCLE), COLOR: WHITE 6" H LETTER SIZE.
9. EXISTING GRAVEL PARKING LOT.
10. PAINTED PARKING SIGNAGE (NO PARKING), COLOR: WHITE 6" H LETTER SIZE.
11. PARKING BUMPER, SEE SHEET AS-102.
12. MOTORCYCLE PARKING, 4'W x 8'L MINIMUM.
13. POLE MOUNTED MOTORCYCLE PARKING SIGNAGE, SEE SHEET AS-102.
14. POLE MOUNTED H.C. PARKING SIGNAGE, SEE SHEET AS-102.
15. TRANSFORMER.
16. STEEL BIKE RACK, SEE SHEET AS-102.
17. EXISTING CHAIN LINK FENCE.
18. ASPHALT PAVING (NOT TO EXCEED 2% SLOPE AT ACCESSIBLE PARKING STALLS AND ENTRANCES TO BUILDING).
19. EXISTING FIRE HYDRANT.
20. EXISTING CHAIN LINK FENCE GATE.
21. COMPACT PARKING SPACE.

LEGEND

- NEW CONCRETE DRIVE
- NEW ASPHALT PAVING



REVISIONS

DRAWN BY	
REVIEWED BY	
DATE	2/12/2015
PROJECT NO.	14-0111
DRAWING NAME	SITE PLAN