

CITY OF ALBUQUERQUE



February 10, 2020

Scott Anderson, RA
SBS Construction and Engineering LLC
10209 Snowflake Ct. NW
Albuquerque, NM 87114

Re: 3308 4th St. Apartments
3308 4th St. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 6-14-18 (H14D109)
Certification dated 1-16-20

Dear Mr. Anderson

Based upon the information provided in your submittal received 2-3-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

For Information

1. Lower level compact spaces may need to be angled to allow better maneuverability for backing out.

NM 87103

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

www.cabq.gov

Sincerely,

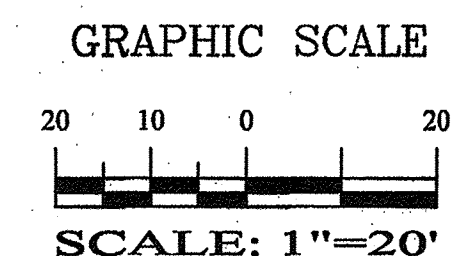
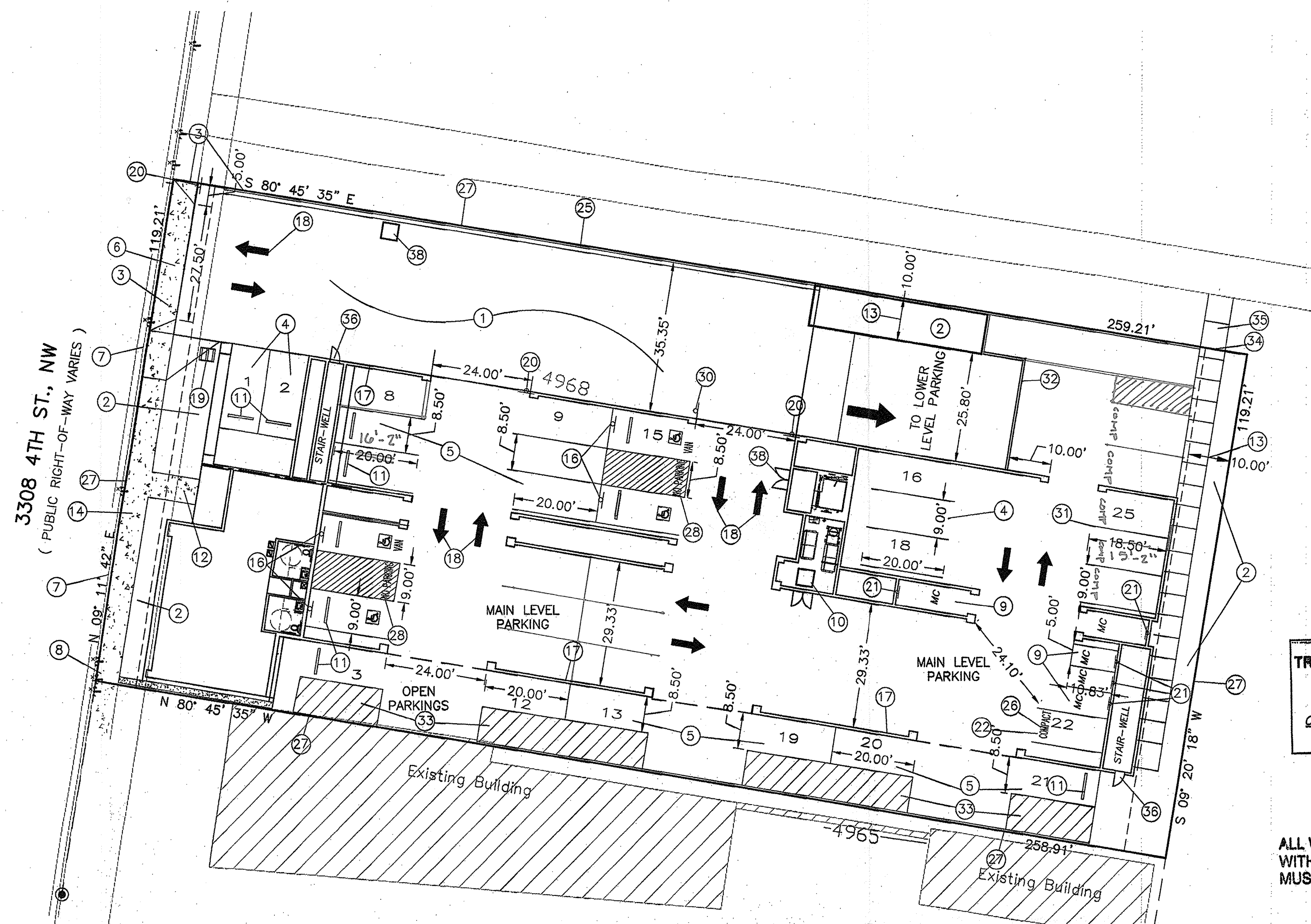

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

3308 4TH ST., NW
(PUBLIC RIGHT-OF-WAY VARIES)

CLEAR SIGHT TRIANGLE

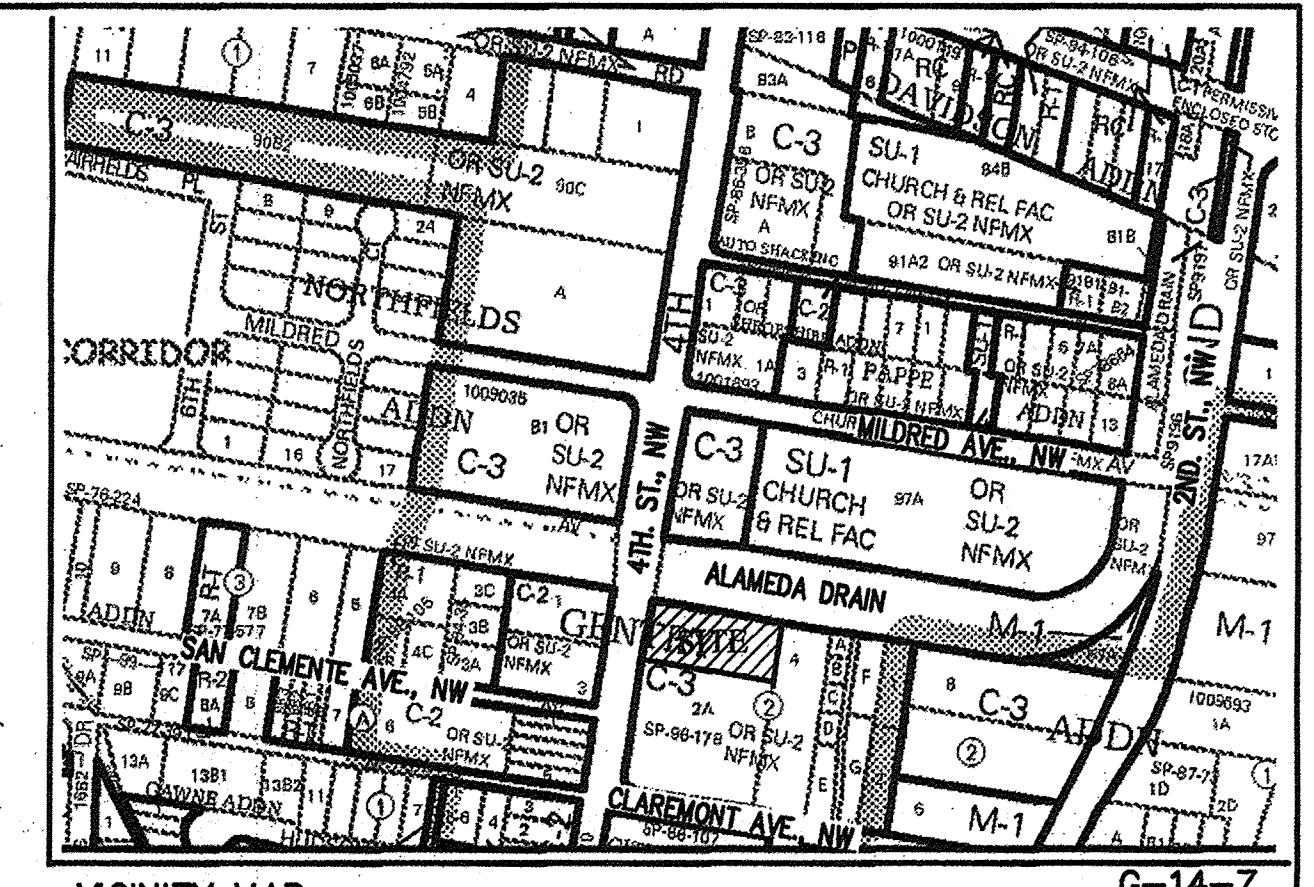


TRAFFIC CIRCULATION LAYOUT APPROVED
[Signature] 08-22-18
 Signed Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

KEYED NOTES:

1. ASPHALT PAVING AREA, TYP., 3" ASPHALT OVER COMPACTED SUBGRADE.
2. PONDING AREA/LANDSCAPIN AREA, TYP.
3. UNI-DIRECTIONAL RAMP PER COA STD DWG #2440.
4. 9.00' WIDE X 20' DEEP PARKING SPACES, TYP.
5. 8.50' WIDE X 20' DEEP PARKING SPACES, TYP.
6. NEW DRIVEWAY PER COA STD DWG.#2425
7. REMOVE EXISTING ROOL CURB AND SIDEWALK, BUILD NEW STD. CURB & GUTT. AND SIDEWALK PER COA STD DWG. #2415A & 2430
8. PROPOSED 24" SIDEWALK CULVERT.
9. NEW MOTORCYCLE PARKINGS (4'X8' MIN.)
10. TRASH BIN ENCLOSURE.
11. CONCRETE BUMPER INSTALLS, TYP.
12. 6' PEDESTRIAN ACCESS WAY WITH SMOOTH TIE-IN INTO EXISTING SIDEWALK
13. EXISTING 10' IRRIGATION EASEMENT
14. NEW 6' WIDE SIDEWALK PER COA STD. DWG. #2430.
15. 8.50' WIDE X 18' DEEP PARKING SPACES, TYP.
16. HANDICAP SIGN PER COA STANDARDS, MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978, "VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING"
17. BUILDING ENVELOPE.
18. DIRECTIONAL ARROW TYP.
19. BICYCLE RACK (2 BICYCLES).
20. INSTALL STOP SIGN.
21. MOTORCYCLE PARKING SIGN PER COA STANDARDS.
22. 8.00' WIDE X 17.00' DEEP PARKING SPACES, TYP. (COMPACT PARKING)
23. INSTALL DO NOT ENTER SIGN.
24. INSTALL ONE WAY SIGN WITH ARROW.
25. NEW BLOCK WALL.
26. INSTASLL WORD "COMPACT".
27. PROPERTY LINE.
28. INSTALL WORD "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST 2' WIDE, PLACE AT THE REAR PARKING SPACE.
29. CLEAR SIGHT TRIANGLE.
30. INSTALL CONVEX TWO WAY TRAFFIC SAFETY MIRROR.
31. 9.00' WIDE X 18.50' DEEP PARKING SPACES, TYP.
32. CONC. WALL.
33. STRIPING.
34. PROVIDE ACCESS WITH GATE TO TRIAL ALONG THE DITCH.
35. CONNECT SIDEWALK TO EXISTING TRAIL.
36. DOOR TO STAIR-WELL.
37. DOOR TO ELEVATOR.
38. TRASH PICK UP LOCATION.



VICINITY MAP: G-14-Z
 LEGAL DESCRIPTION:
 LOT 1, BLOCK 2, CENTURY ADDITION
 CONTAINING 30,883.00 S.F. (0.7090 ACRE)
 ZONING: SU-2 NFMX
RECEIVED
 JUN 15 2018
 LAND DEVELOPMENT SECTION

SITE DATA

PROPOSED USAGE: MIXED USR RETAIL AND RESIDENTIAL
 LOT AREA: CONTAINING 30,883.00 S.F. (0.7090 ACRE)

PARKING CALCULATIONS:

BASED ON THE NORTH 4TH STREET CORRIDOR PLAN

48 DWELING UNITS	X 1.5 SPACES PER UNIT	=	72 SPACES
300 SF RETAIL	X 3 SPACES PER 1,000 ST	=	2 SPACES
	SUBTOTAL		74 SPACES
	REDUCTION FOR TRANSIT STOP 20%		-14 SPACES
	REVISED SUBTOTAL		60 SPACES
	PER TABLE 3-5 ON PAGE 37 OF NORTH 4TH CORRIDOR PLAN (60/1.2)		
	REVISED SUBTOTAL		50 SPACES
TOTAL PARKING REQUIRED:			50 SPACES
TOTAL PARKING PROVIDED INCLUDED HC:(25 UPPER LEVEL, 34 LOWER LEVEL)			59 SPACES
HC PARKING REQUIRED:			3 SPACES (1 VAN)
HC PARKING PROVIDED:			4 SPACES (2 VAN)
MOTORCYCLE SPACES REQUIRED:			3 SPACES
MOTORCYCLE SPACES PROVIDED:			6 SPACES

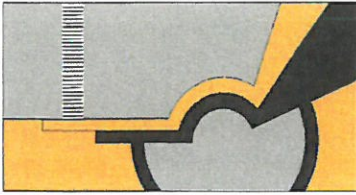
RECEIVED
 JAN 16 2020
 LAND DEVELOPMENT SECTION

[Signature]
 REZA AFAGHPOUR
 P.E. #11814

SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW
 ALBUQUERQUE, NEW MEXICO 87114
 (505)804-5013

3308 4th SREET, NW			
SITE PLAN FOR BUILDING PERMIT			
DRAWING:	DRAWN BY:	DATE:	SHEET #
201618-SP.DWG	SH-B	05-23-2018	1



SCOTT C. ANDERSON
& associates architects

7604 rio penasco nw
albuquerque, nm 87120
andersonscottc@comcast.net
505.401.7575

January 16, 2020

Ernie Gomez

Planning Department
Transportation Development
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
505 924-3991

Re: Traffic layout certification, 3308 4th St NW (BP2018-09718)

Dear Mr. Gomez:

I, Scott C. Anderson NMRA #4341, of the firm Scott C. Anderson & Associates Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 6/14/18. The record information edited onto the original design document has been obtained by Scott Anderson. I further certify that I have personally visited the project site on 1/16/2020 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

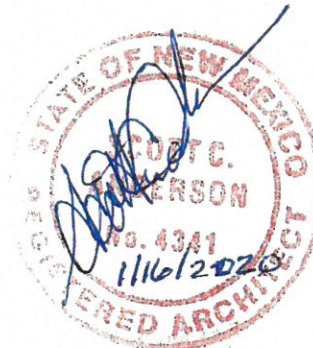
The deviations from the approved TCL dated 6/14/18 are noted on the attached drawing.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Signature Architect

1/16/2020

Date





City of Albuquerque

Planning Department
Development & Building Services Division

MC 5153

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: 3308 Apts Building Permit #: 2018-09718 Hydrology File #: H140109
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: _____
 City Address: 3308 4th St

Applicant: Scott Anderson Contact: _____
 Address: 4419 4th St #B
 Phone#: 401-7575 Fax#: _____ E-mail: scott@scarchitects.com
 Other Contact: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

IS THIS A RESUBMITTAL?: Yes No

DEPARTMENT:

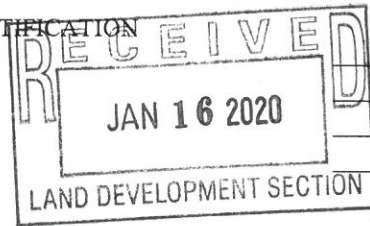
- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?



DATE SUBMITTED: 1/16/20 By: [Signature]

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____