

CITY OF ALBUQUERQUE



June 6, 2018

SBS Construction and Engineering
Shawn Biazar
10209 Snowflake Ct. NW
Albuquerque, NM 87114

Re: 3308 4th Street Apartment Building
3308 4th Street NW
Traffic Circulation Layout
Engineer's Stamp **06-04-18** (H14-D109)

Dear Mr. Biazar,

Based upon the information provided in your submittal received 06-05-18, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show the location of the Motorcycle parking sign on the site plan.
2. Please show the sidewalk connecting to the multi-use path.
3. Show the route refuse will use to access the trash bin.
4. Please show the locations of the doors on the stair-well and elevator. Also please label the stair-well.
5. Please provide an elevation exhibit for the parking structure showing doors and ceiling height.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Department
Development Review Services

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division
DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: 3308 4th Street Apartments Building Building Permit #: _____ Hydrology File #: H-14-D109
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 1, Block 2, Century Addition
City Address: 3308 4th Street, NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC

Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013

Fax#: (505) 897-4996

E-mail: AECLLC@AOL.COM

Other Contact: _____

Address: _____

Contact: _____

Phone#: _____

Fax#: _____

E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

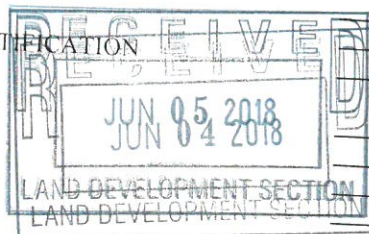
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 5-23-2018

By: SHAWN BIAZAR

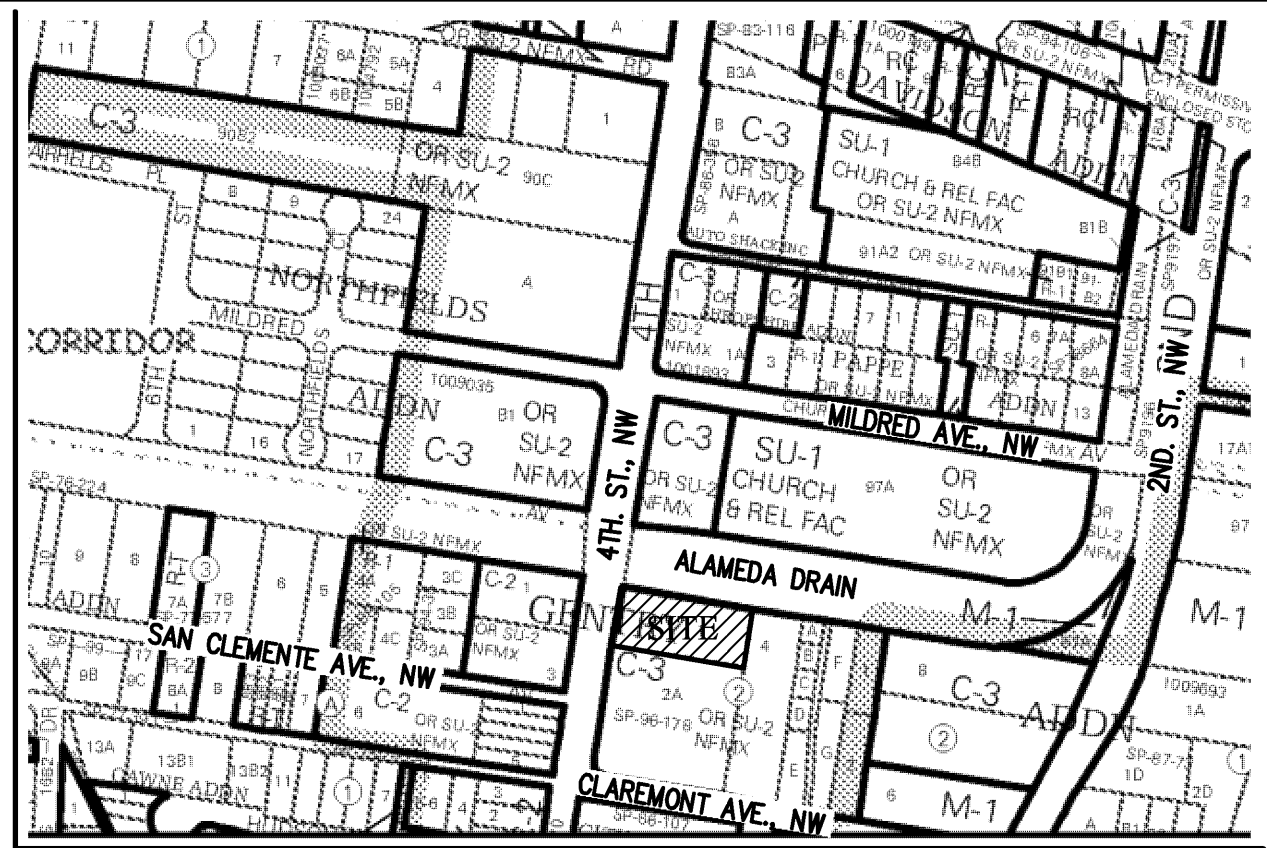
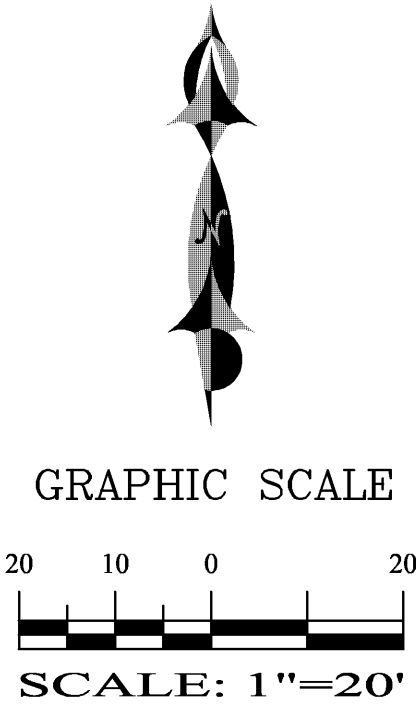
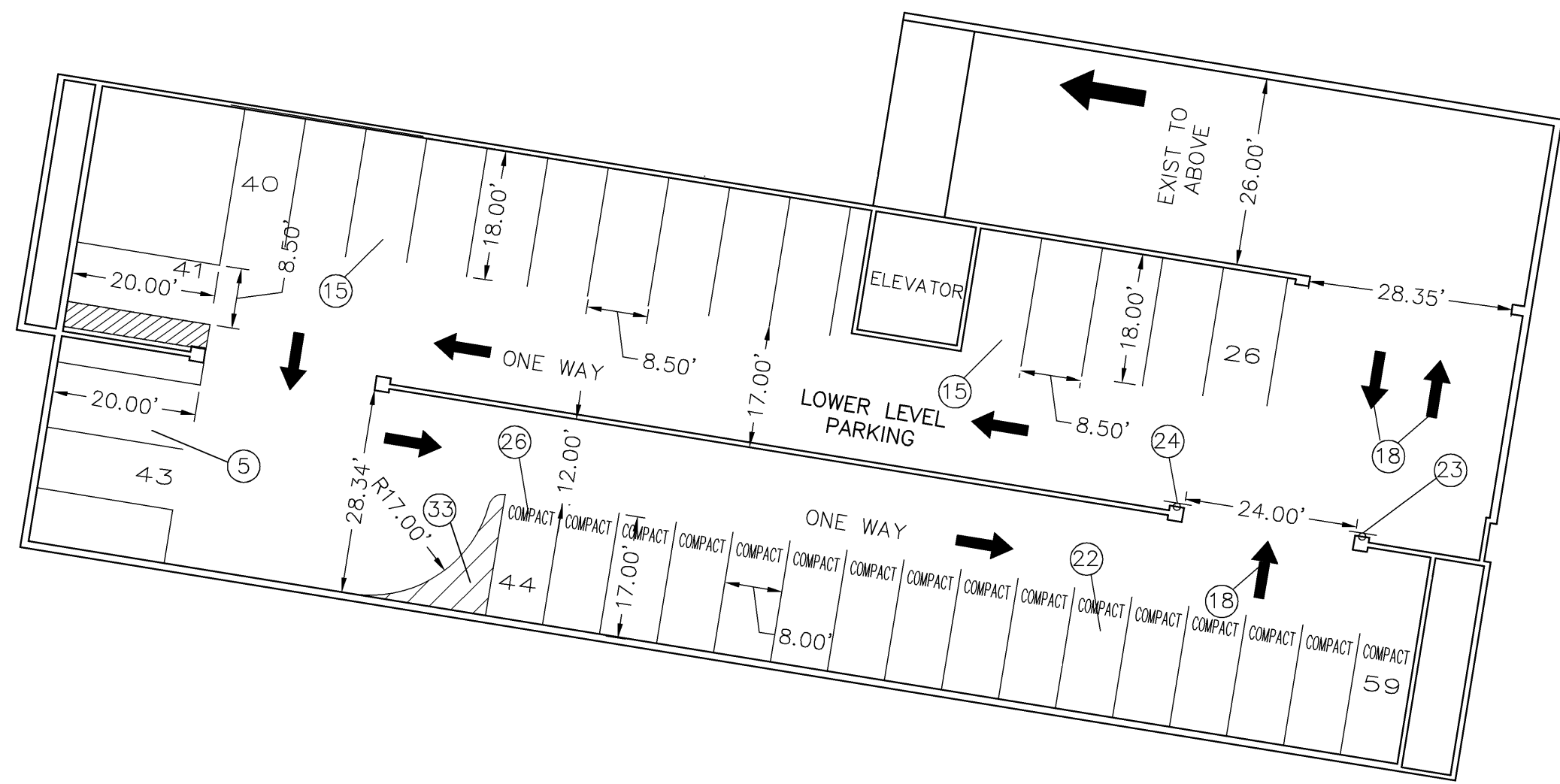
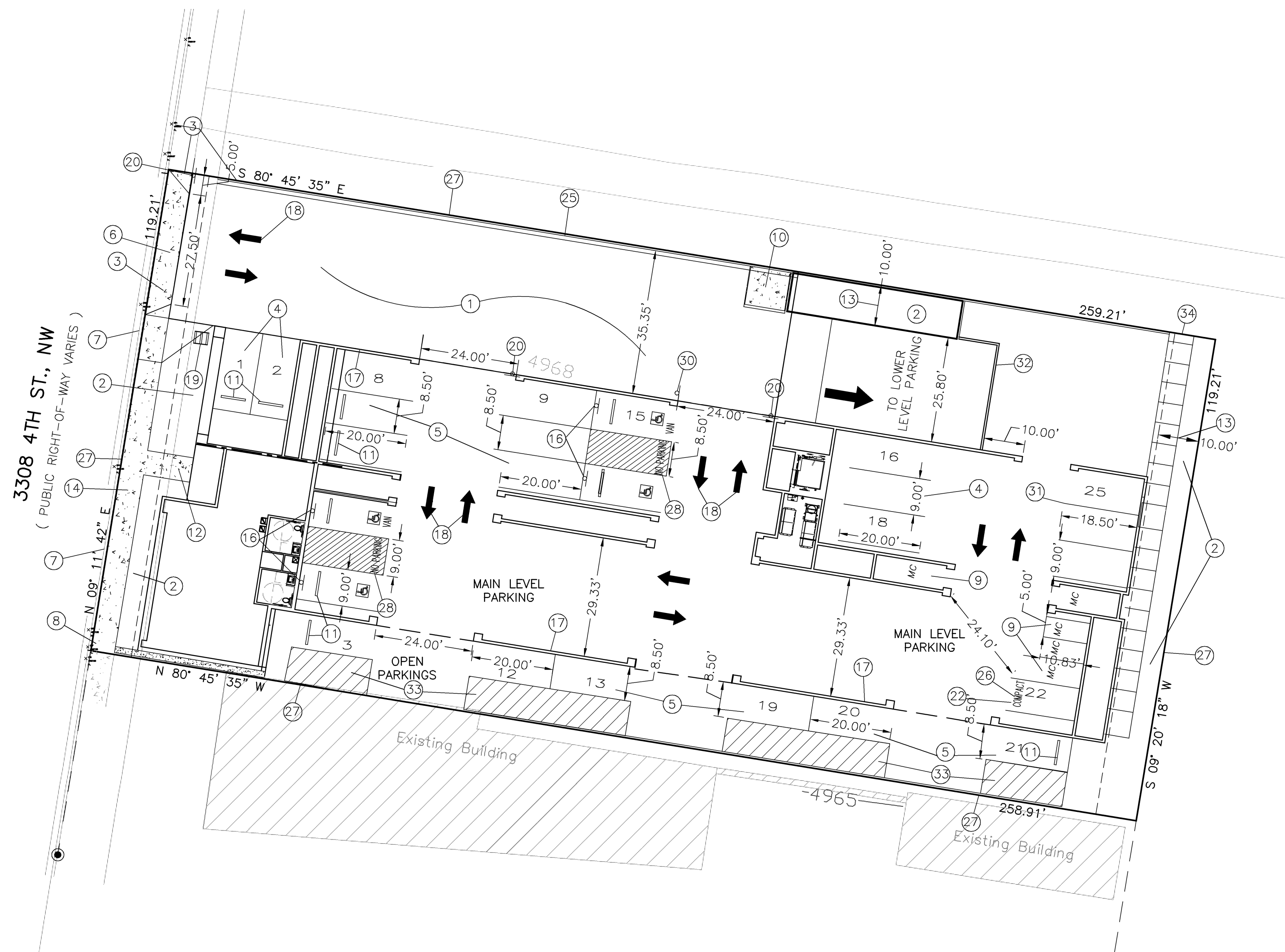
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____



3308 4TH ST., NW
(PUBLIC RIGHT-OF-WAY VARIES)

CLEAR SIGHT TRIANGLE



VICINITY MAP: G-14-Z

LEGAL DESCRIPTION:
LOT 1, BLOCK 2, CENTURY ADDITION
CONTAINING 30,883.00 S.F. (0.7090 ACRE)
ZONING: SU-2 NFMX

SITE DATA

PROPOSED USAGE:	MIXED USR RETAIL AND RESIDENTIAL		
LOT AREA:	CONTAINING 30,883.00 S.F. (0.7090 ACRE)		
PARKING CALCULATIONS:			
BASED ON THE NORTH 4TH STREET CORRIDOR PLAN			
48 DWELING UNITS	X 1.5 SPACES PER UNIT	=	72 SPACES
300 SF RETAIL	X 3 SPACES PER 1,000 ST	=	2 SPACES
SUBTOTAL			74 SPACES
REDUCTION FOR TRANSIT STOP 20%			-14 SPACES
REVISED SUBTOTAL			60 SPACES
PER TABLE 3-5 ON PAGE 37 OF NORTH 4TH CORRIDOR PLAN (60/1.2)			
REVISED SUBTOTAL			50 SPACES
TOTAL PARKING REQUIRED:			50 SPACES
TOTAL PARKING PROVIDED INCLUDED HC:(25 UPPER LEVEL, 34 LOWER LEVEL)			59 SPACES
HC PARKING REQUIRED:			3 SPACES (1
HC PARKING PROVIDED:			4 SPACES (2
MOTORCYCLE SPACES REQUIRED:			3 SPACES
MOTORCYCLE SPACES PROVIDED:			6 SPACES

KEYED NOTES:

1. ASPHALT PAVING AREA, TYP., 3" ASPHALT OVER COMPACTED SUBGRADE.
2. PONDING AREA/LANDSCAPIN AREA, TYP.
3. UNI-DIRECTIONAL RAMP PER COA STD DWG #2440.
4. 9.00' WIDE X 20' DEEP PARKING SPACES, TYP.
5. 8.50' WIDE X 20' DEEP PARKING SPACES, TYP.
6. NEW DRIVEWAY PER COA STD DWG.#2425
7. REMOVE EXISTING ROOL CURB AND SIDEWALK, BUILD NEW STD. CURB & GUTT. AND SIDEWALK PER COA STD DWG. #2415A & 2430
8. PROPOSED 24" SIDEWALK CULVERT.
9. NEW MOTORCYCLE PARKINGS (4'X8' MIN.)
10. NEW TRASH ENCLOSURE PER COA STANDARDS.
11. CONCRETE BUMPER INSTALLS, TYP.
12. 6' PEDESTRIAN ACCESS WAY WITH SMOOTH TIE-IN INTO EXISTING SIDEWALK
13. EXISTING 10' IRRIGATION EASEMENT
14. NEW 6' WIDE SIDEWALK PER COA STD. DWG. #2430.
15. 8.50' WIDE X 18' DEEP PARKING SPACES, TYP.
16. HANDICAP SIGN PER COA STANDARDS, MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978, "VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING"
17. BUILDING ENVELOPE.
18. DIRECTIONAL ARROW TYP.
19. BICYCLE RACK (2 BICYCLES).
20. INSTALL STOP SIGN.
21. MOTORCYCLE PARKING SIGN PER COA STANDARDS.
22. 8.00' WIDE X 17.00' DEEP PARKING SPACES, TYP. (COMPACT PARKING)
23. INSTALL DO NOT ENTER SIGN.
24. INSTALL ONE WAY SIGN WITH ARROW.
25. NEW BLOCK WALL.
26. INSTASLL WORD "COMPACT".
27. PROPERTY LINE.
28. INSTALL WORD "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST 2" WIDE, PLACE AT THE REAR PARKING SPACE.
29. CLEAR SIGHT TRIANGLE.
30. INSTALL CONVEX TWO WAY TRAFFIC SAFETY MIRROR.
31. 9.00' WIDE X 18.50' DEEP PARKING SPACES, TYP.
32. CONC. WALL.
33. STRIPPING.
34. PROVIDE ACCESS WITH GATE TO TRIAL ALONG THE DITCH.



REZA AFAGHPOUR
P.E. #11814

SBS CONSTRUCTION
AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013

3308 4th SREET, NW SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
201618-SP.DWG	SH-B	05-23-2018	1

LAST REVISION: 05-23-2018