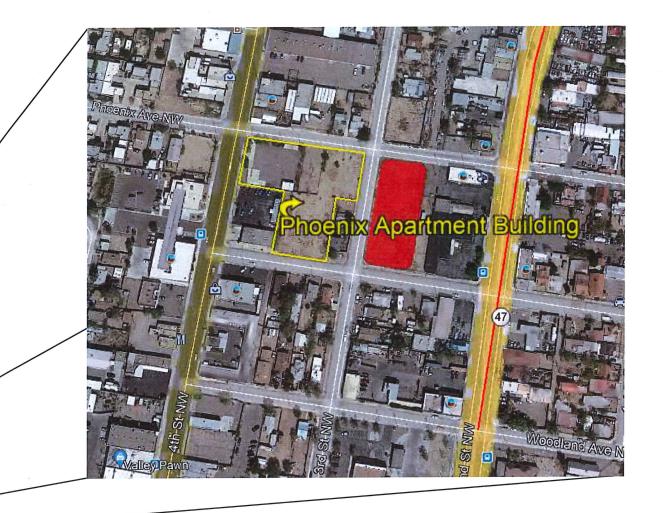
PHOENIX APARTMENT BUILDING

2818 4TH ST NW

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

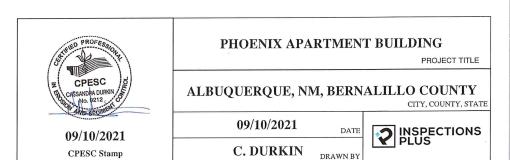
PAGE INDEX		
1	TITLE PAGE	
2	SWPPP INFO AND NOTES	
3	DETAILS	
4	TEMPORARY EROSION CONTROL PLAN	
5	STABILIZATON PLAN	





GPS COORDINATES: 35.1130, -106.00





STORMWATER POLLUTION PREVENTION PLAN INFORMATION

PERMIT NUMBER:

NMR100000 STATE OF NEW MEXICO, EXCEPT INDIAN COUNTRY NMR101000 INDIAN COUNTRY WITHIN THE STATE OF NEW MEXICO, EXCEPT NAVAJO RESERVATION LANDS THAT ARE COVERED UNDER ARIZONA PERMIT AZR10I000 AND UTE MOUNTAIN RESERVATION LANDS THAT ARE COVERED UNDER COLORADO PERMIT COR101000.

OPERATOR NAME:

MICHAEL DRESKIN

OPERATOR POINT OF CONTACT:

MICHAEL DRESKIN 505-249-7788 MDRESKIN@AOL.COM

NOI PREPARED BY:

INSPECTIONS PLUS

PROJECT/SITE NAME:

PHOENIX APARTMENT BUILDING

PROJECT/SITE ADDRESS:

2818 4TH ST NW ALBUQUERQUE, NM 87107		
LATITUDE	35.1130	
LONGITUDE	-106.6454	
ESTIMATED PROJECT START DATE	10/04/2021	
ESTIMATED PROJECT COMPLETION DATE	10/01/2022	
ESTIMATED AREA TO BE DISTURBED	1.3 ACRES	
TYPE OF CONSTRUCTION	RESIDENTIAL APARTMENT	
DEMOLITION OF ANY STRUCTURES, 10,000 SQ FT OF GREATER BUILT OR RENOVATED BEFORE JANUARY 1, 1980?	NO	
WAS THE PREDEVELOPMENT LAND USED FOR AGRICULTURE?	NO	
COMMENCED EARTH DISTURBING ACTIVITIES?	NO	
DISCHARGE TO MS4? MS4 NAME?	YES: CITY OF ALBUQUERQUE	
SURFACE WATERS WITHIN 50FT?	NO	
RECEIVING WATER?	ON SITE PONDS	
IS RECEIVING WATER IMPAIRED? TIER DESIGNATION	NO	
WHAT ARE THE IMPAIRMENTS, IF ANY?	N/A	
SWPPP CONTACT INFORMATION: MICHAEL DRESKIN MDRESKIN@AOL.COM, 505-249-7788		
ENDANGERED SPECIES CRITERIA: CRITERION "A"; NO CRITICAL HABITATS		
HISTORIC PRESERVATION CRITERIA: CRITERION "A"; PREVIOUS SURVEYS		

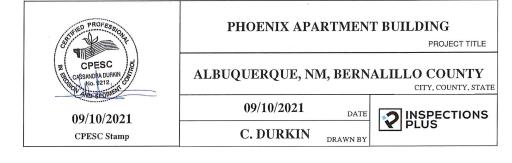
EROSION CONTOL NOTES ESC Plan Standard Notes (2021-03-24)

1.All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:

a. The City Ordinance § 14-5-2-11, the ESC Ordinance, b. The EPA's 2017 Construction General Permit (CGP), and c. The City Of Albuquerque Construction BMP Manual.

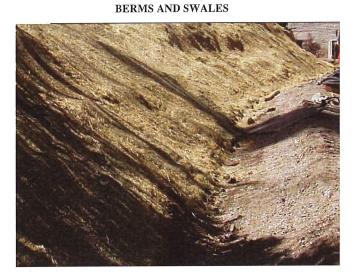
- 2.All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMPs and prior to beginning construction.
- 3.Self-inspections At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- 4. Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- 5. Stabilization reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request. Reports should include records of weed removal per City Ordinance (§ 9-8-1), sterilization, soil test results and recommendation, materials and manufacturer's specifications for application rates, estimated functional longevity, methods of application, inspection and maintenance. The reduced self-inspection schedule in CGP 4.4.1 applies to stabilized area and any damaged or worn stabilization must be identified in the reports along with weed problems. Corrective actions for stabilization shall be documented in a stabilization report including actual rates and dates of stabilization, and the materials and manufacturer's specifications used.

6.BMPs shall be inspected and maintained until all disturbed areas are stabilized in accordance with the Final Stabilization Criteria (CGP 2.2.14.b). Generally, all disturbed areas, other than structures and impervious surfaces, must have uniform perennial vegetation that provides 70 percent or more of the cover provided by native vegetation or seed the disturbed area and provide non-vegetative mulch that provides cover for at least three years without active maintenance. Final stabilization must be approved by the City of Albuquerque prior to removal of BMPs and discontinuation of inspections.





BMP Objectives Sediment Control



BMP Objectives

- Runoff Control
- Run-on Diversion

SILT FENCE



BMP Objectives

- Sediment Control
- Sheet Flow Runoff Control
- Wind Erosion Control

MULCH SOCK/STRAW WATTLE



BMP Objectives

- **Sediment Control**
- Reduce Runoff Velocity
- Inlet Protection

INLET PROTECTION









BMP Objectives

- Sediment Control
- Sheet Flow Runoff Control
- Wind Erosion Control

LEGEND

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

PP-PP-PP- PROJECT PERIMETER



−BW—BW— EXISTING BLOCK WALL



POSTING SIGN



OUTFALL



STAGING AREA



FLOW DIRECTION





DEBRIS CONTAINMENT



CHEMICAL TOILET



CONCRETE WASHOUT



STABILIZED CONTRUCTION ENTRANCE



PHOENIX APARTMENT BUILDING

ALBUQUERQUE, NM, BERNALILLO COUNTY

09/10/2021

C. DURKIN DRAWN BY





DRAINAGE MANAGEMENT PLAN

LOTS 1-A, 6, 7, 8, 9, AND 10, BLOCK 2, CITY REALTY COMPANY'S ADDITION NO. 1; TOGETHER WITH LOTS 4, 5, AND 6, BLOCK 9, OF THE MANDELL ADDITION NO. 2. CONTAINING 1,2690 ACRE. See attached portion of Vicinity Map H-14-Z for exact location.

The purpose of this drainage report is to present a grading and drainage solution for the proposed commercial buildings. We are requesting site plan for building permit approval as well as building permit approval.

Existing Site/Drainage Conditions

This site contained of existing buildings, concrete pads, asphalt and some gravel. All the existing structures and asphalt and concrete pads have been removed. The site is fairly flat. Most of the site was drainig into adjacents streets. No offiste runoff impacts this site.

ed Conditions and On-Site Drainage Management Plan

This site is located within zone 2 and in the north valley. We are propsing a building with ground level and underground parking structure. This site will pond most of water and discharege at a control rate. According to grading plan file #G14-D086, the north valley rate of discharege is 2.75 CFS per arce. This site contains 1.2690 arc (55,277.64 s). Therefore our rate of discharge will be at 3.49 CFS (1.2690 * 2.75). The site was analzed under Basins A and B. The runoff from Basin A is detained in the parking lot and drained at a controlled discharge rate of 0.47 cfs via a 4" pipe to the back of sidewalk culvert to La Poblana Rd. Basin B is discharge at a detained rate of 1.86 cfs and drain out via 2-8" pipe to a sidewalk culver to 4th St. The total detained discharge rate is 2.33 cfs which is well below the allowable discharge of 3.49 cfs and less than current discharge under the existing conditions.

POND VOLUME REQUIRED FOR FIRST FLUSH

DADIN A 0.34 INCHES x IMPERVIOUS AREA = $(0.34/12 \times 33,961.48) = 962.24$ CF THIS VOLUME IS PART OF THE PONDING PROVIDED.

 $\underline{\it BASIN~B}$ 0.34 INCHES x IMPERVIOUS AREA = (0.34/12 x 18,561.82) = 525.92 CF THIS VOLUME IS PART OF THE PONDING PROVIDED.

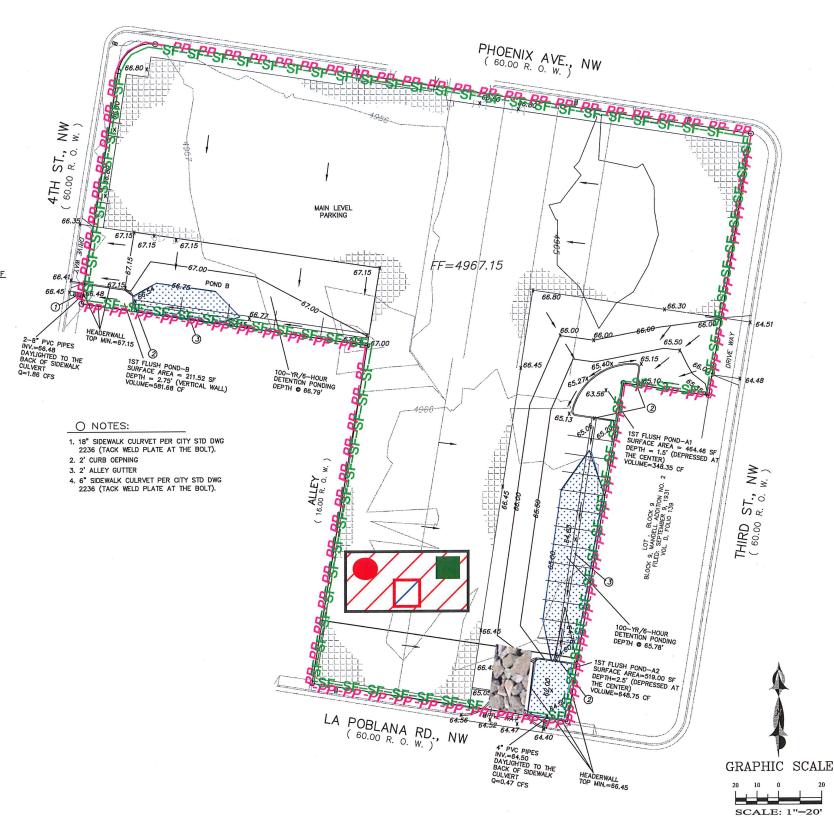
FIRST FLUSH PONDING VOLUME PROVIDED

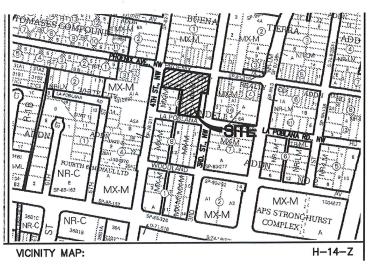
POND A-1: AREA © TOP = 464.46, BOTTOM =0, DEPTH=1.50' POND VOLUME = (464.46+0)/2*1.50' = 348.35 CF

POND A-2: AREA © TOP = 519.00, BOTTOM =0, DEPTH=2.50' POND VOLUME = $(519.00+0)/2^{\circ}2.50'$ = 648.75 CF

POND A-1 + POND A-2 = 348.35 + 648.75 = 997.10 CF > 962.24 CF

POND B: AREA © TOP = 211.52, BOTTOM =211.52, DEPTH=2.75' POND VOLUME = (211.52+211.52)/2*2.75' = 581.68 CF > 525.92 CF





SCHEDULE/SEQUENCING OF CONSTRUCTION

- POST PERMITS
- INSTALL REQUIRED BMPs
- 2.a. PERIMETER CONTROLS
- 2.b. STABILIZED CONSTRUCTION ENTRANCE
- 2.c. CONCRETE WASHOUT AREA
- TEMP POND
- EARTHWORK AND GRADING
- UTILITY INSTALLATION
- PAVEMENT STRUCTURES
- **VERTICAL STRUCTURES**
- LANDSCPING
- **PUNCHLIST**

SITE OPERATORS:

MICHAEL DRESKIN, OWNER 505-249-7788

J S DEVELOPMENT, INC., GENERAL CONTRACTOR JOSE RODRIGUEZ 505-440-5104

STORMWATER TEAM

A: REMOVE SEDIMENT FROM ADJACENT STREETS: INSPECTIONS PLUS

B: BMP MAINTENANCE: J S DEVELOPMENT, INC

C. SITE INSPECTIONS: INSPECTIONS PLUS



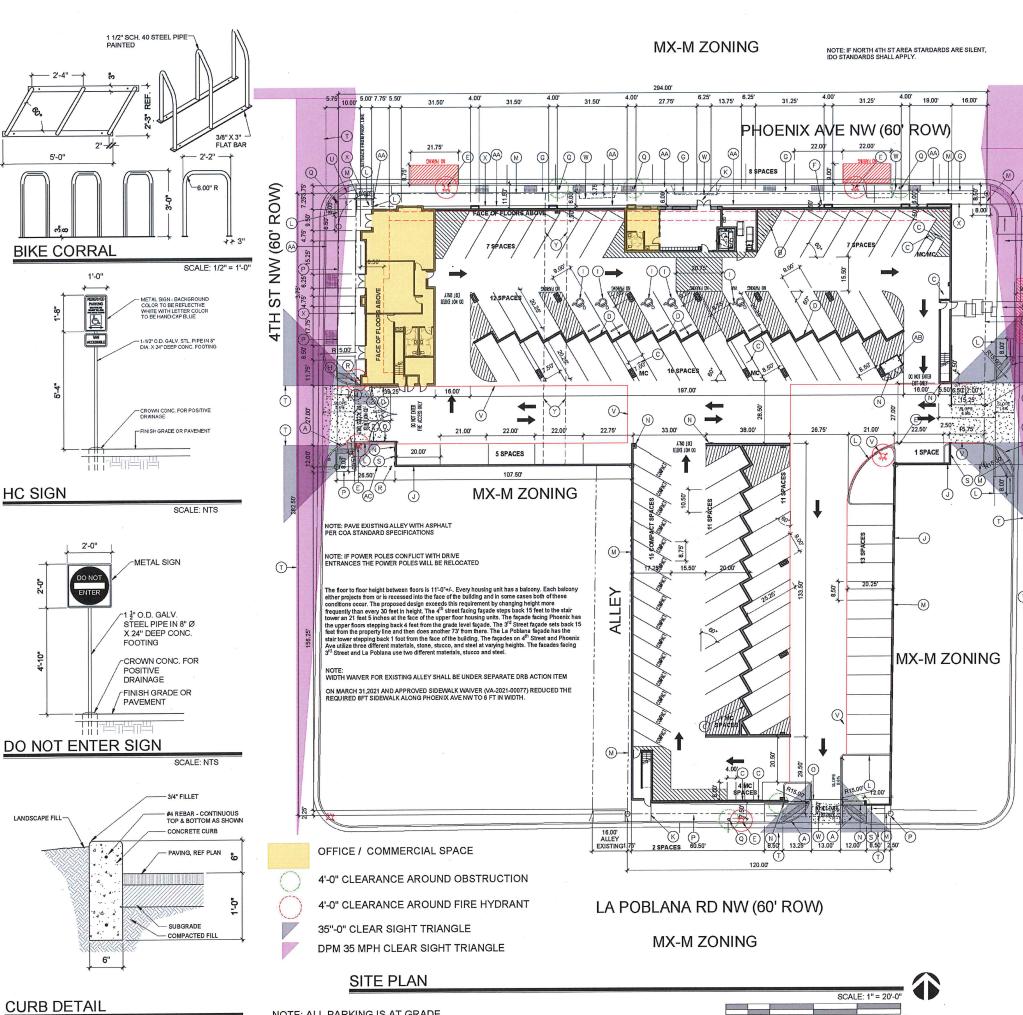
CPESC Stamp

PHOENIX APARTMENT BUILDING

ALBUQUERQUE, NM, BERNALILLO COUNTY

09/10/2021 C. DURKIN

? INSPECTIONS PLUS DRAWN BY



KEYED NOTES

A. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING

PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE.

8. 10 SPACE BIKE RACK, REF DETAIL THIS SHEET C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET C. PARKING SIGN, REF DETAIL THIS SHEET C. PARKING SIGN, REF DETAIL CONTINUE SHEET C. NEW FIRE HYDRANT F. IRRIGATION BOX.

9. NEW 6 SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430

1. H. FIRE DEPT. CONNECTION

1. HC PARKING SYMBOL

2. B' COMU WALL

3. B' COMU WALL

4. B' ACCESSIBLE ROUTE

1. HEADER CURB, REF DETAIL THIS SHEET

2. EXISTING PROPERTY LINE

N. DO NOT ENTER SIGN, REF DETAIL THIS SHEET

O. VEHICULAR GATE

9. NEW 6' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430

Q. EXISTING POWER POLE. NEW POWER POLES WILL BE AGAINST BACK OF CURB.

8. KNOX BOX

1. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT

DETAIL 246 FOR DETECTABLE WARNING SURFACE.
RED PAINT WITH "FIRE LANE" NOTATION.
REMOVE EXISTING DRIVE ENTRANCE.

IDO TABLE 5-1-2 OPEN SPACE: 1 BEDROOM: 45 EA X 200SF = 9,000 SF 2 BEDROOM: 39 EA X 250SF = 9,750 SF

GRADE LEVEL= 3,832 SF BALCONIES = 9,987 SF ROOF DECK = 5,000 SF

MX-M ZONIN

(09)

Ž

ST

3RD

NEW SIDEWALK EASEMENT.
SEWER EASEMENT VACATED UNDER SEPARATE DRB ACTION
"DO NOT ENTER" SIGN MOUNTED TO INSIDE OF GATE

AA, PLANTING BED.

AB. REFUSE CONTAINER PICKUP POINT, COA STANDARD DETAIL 9'X5' SWANSON COLLECTION SITE WITH ENCLOSURE, 4EA 4" BOLLARDS AND PAIR OF 3' DOORS

3" ASPHALTIC CONCRETE

PAVING - SEE SITE PLAN

Jul 23, 2021

Jul 23, 2021

Jul 26, 2021

Jul 22, 2021

Date

Date

Date

PAVING SECTION

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated ______ and the Findings and Conditions in the Official Notification of Decision are satisfied.

is and infrastructure List required () Yes () No. If Yes, then a set of approved DRC plan with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Jeanne Wolfenbarger

Traffic Engineer, Transportation D

Blaine Carter

Einest armijor

* Environmental Healt SEE NEXT SHEET

water

Maggie Gould

DRB Chairperson, Plan

Environmental Health if necessar

City Engineer

IDO Zone Atlas May 2018

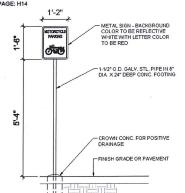
LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT SE ACCEPTABLE IN THE CLEAR SIGHT FRAME.

ALL PAYING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEE

PARKING:
OFFICE: 3,0085F X 0.0035 = 13 SPACES
MULTIFAMILY DWELLING: 87 X 1,5 = 130.5 SPACES
SHARED PARKING: 143.5 / 1,3 = 110 SPACES
111 SPACES PROVIDED
HC REQUIRED: 4 STANDARD, 1 VAN
4 MOTORCYUEL REQUIRED
1 EA. 6 SPACE BIKE RACK

GROSS LOT AREA = 55,278 SF BUILDINGS = 36,452 SF NET LOT AREA = 18,826 SF REQUIRED LANDSCAPE AREA @ 15% = 2,824 SF; 2,838 SF PROVIDED

UPC: 101405933541911310 LEGAL: LOT 1-A, BLOCK 2, CITY REALTY ADDITION NUMBER 1 ZONING: MX-M ZONE ATLAS PAGE: H14



MOTORCYCLE SIGN



2818 4TH ST NW ALBUQUERQUE, NM 87107

SITE PLAN

Jul 22, 2021 VIDERSON 0. 4341 **A-100** Jul 26, 2021 3/25/2021 DATE 3/25/2021

NOTE: ALL PARKING IS AT GRADE

SCALE: NTS