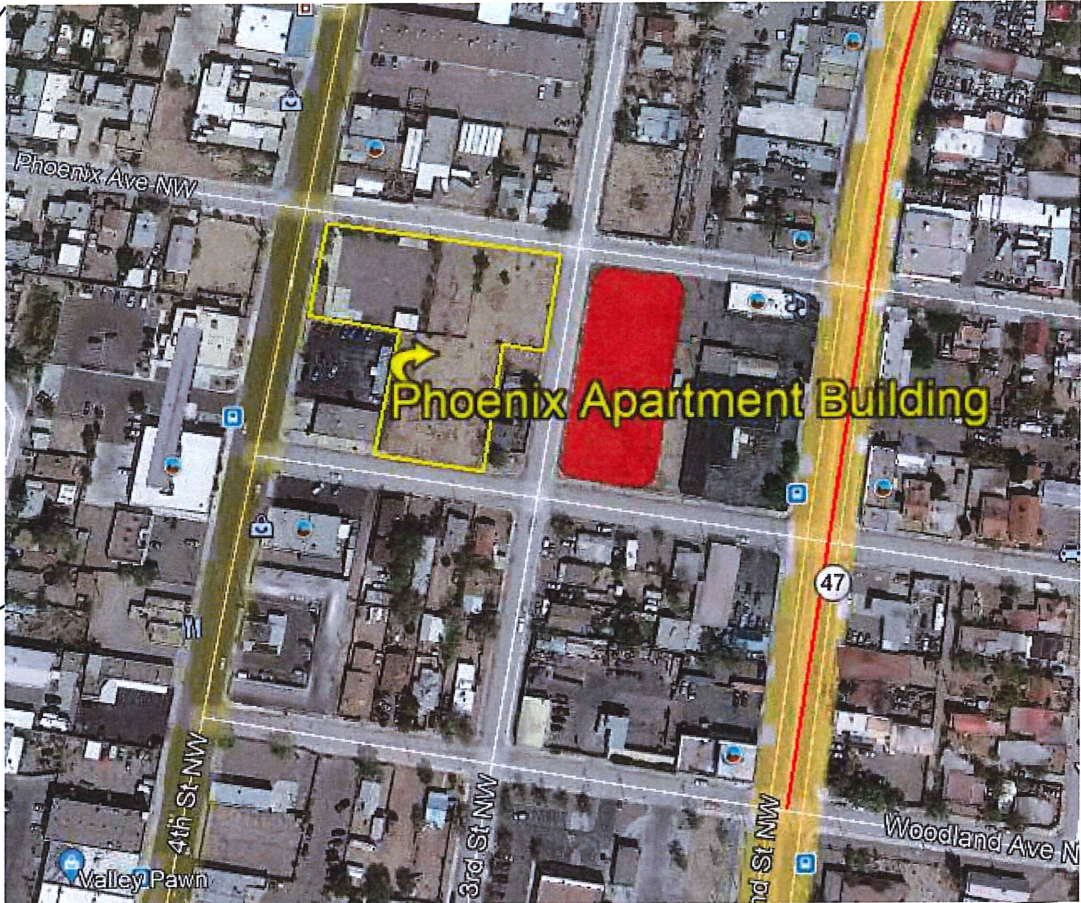


PHOENIX APARTMENT BUILDING

2818 4TH ST NW

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

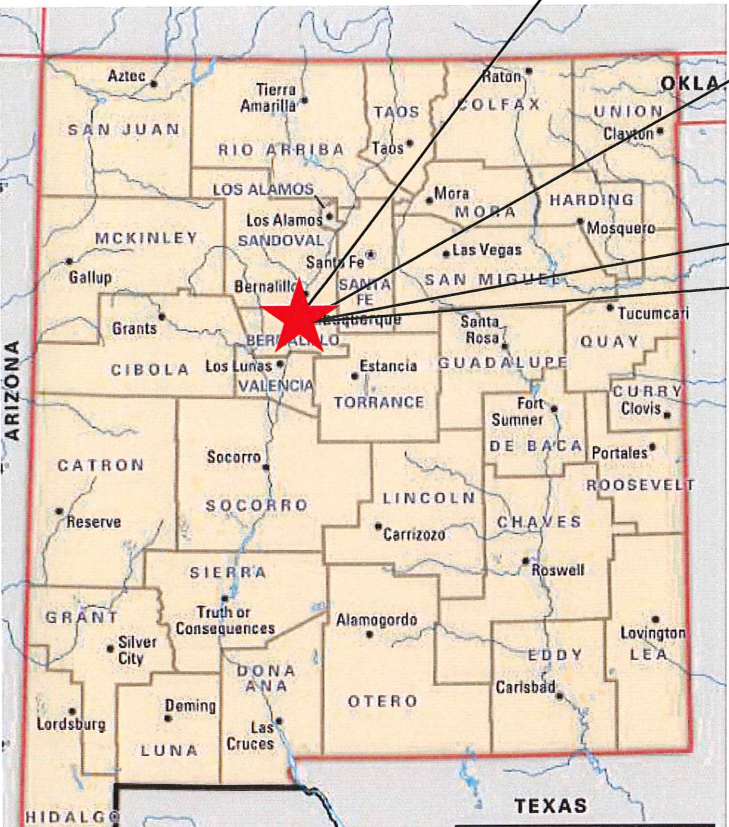
PAGE INDEX	
1	TITLE PAGE
2	SWPPP INFO AND NOTES
3	DETAILS
4	TEMPORARY EROSION CONTROL PLAN
5	STABILIZATON PLAN



SCAN OR CLICK FOR DETAILED SITE INFORMATION



VIEW ONLY DOCUMENTS AND INSPECTIONS



GPS COORDINATES: 35.1130, -106.00



09/10/2021

CPESC Stamp

PHOENIX APARTMENT BUILDING

PROJECT TITLE

ALBUQUERQUE, NM, BERNALILLO COUNTY

CITY, COUNTY, STATE

09/10/2021

DATE

C. DURKIN

DRAWN BY





STORMWATER POLLUTION PREVENTION PLAN INFORMATION

PERMIT NUMBER:

NMR100000 STATE OF NEW MEXICO, EXCEPT INDIAN COUNTRY  
NMR10I000 INDIAN COUNTRY WITHIN THE STATE OF NEW MEXICO, EXCEPT  
NAVAJO RESERVATION LANDS THAT ARE COVERED UNDER ARIZONA  
PERMIT AZR10I000 AND UTE MOUNTAIN RESERVATION LANDS THAT ARE  
COVERED UNDER COLORADO PERMIT COR10I000.

OPERATOR NAME: MICHAEL DRESKIN

OPERATOR POINT OF CONTACT:  
MICHAEL DRESKIN 505-249-7788 MDRESKIN@AOL.COM

NOI PREPARED BY: INSPECTIONS PLUS

PROJECT/SITE NAME: PHOENIX APARTMENT BUILDING

PROJECT/SITE ADDRESS:  
2818 4TH ST NW ALBUQUERQUE, NM 87107

LATITUDE	35.1130
LONGITUDE	-106.6454
ESTIMATED PROJECT START DATE	10/04/2021
ESTIMATED PROJECT COMPLETION DATE	10/01/2022
ESTIMATED AREA TO BE DISTURBED	1.3 ACRES
TYPE OF CONSTRUCTION	RESIDENTIAL APARTMENT
DEMOLITION OF ANY STRUCTURES, 10,000 SQ FT OF GREATER BUILT OR RENOVATED BEFORE JANUARY 1, 1980?	NO
WAS THE PREDEVELOPMENT LAND USED FOR AGRICULTURE?	NO
COMMENCED EARTH DISTURBING ACTIVITIES?	NO
DISCHARGE TO MS4? MS4 NAME?	YES: CITY OF ALBUQUERQUE
SURFACE WATERS WITHIN 50FT?	NO
RECEIVING WATER?	ON SITE PONDS
IS RECEIVING WATER IMPAIRED? TIER DESIGNATION	NO
WHAT ARE THE IMPAIRMENTS, IF ANY?	N/A



SWPPP CONTACT INFORMATION: MICHAEL DRESKIN MDRESKIN@AOL.COM, 505-249-7788

ENDANGERED SPECIES CRITERIA: CRITERION "A"; NO CRITICAL HABITATS

HISTORIC PRESERVATION CRITERIA: CRITERION "A"; PREVIOUS SURVEYS

EROSION CONTOL NOTES  
ESC Plan Standard Notes (2021-03-24)

- 1.All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:
- a.The City Ordinance § 14-5-2-11, the ESC Ordinance,  
b.The EPA's 2017 Construction General Permit (CGP), and  
c.The City Of Albuquerque Construction BMP Manual.
- 2.All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMPs and prior to beginning construction.
- 3.Self-inspections - At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- 4.Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- 5.Stabilization reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request. Reports should include records of weed removal per City Ordinance (§ 9-8-1), sterilization, soil test results and recommendation, materials and manufacturer's specifications for application rates, estimated functional longevity, methods of application, inspection and maintenance. The reduced self-inspection schedule in CGP 4.4.1 applies to stabilized area and any damaged or worn stabilization must be identified in the reports along with weed problems. Corrective actions for stabilization shall be documented in a stabilization report including actual rates and dates of stabilization, and the materials and manufacturer's specifications used.
- 6.BMPs shall be inspected and maintained until all disturbed areas are stabilized in accordance with the Final Stabilization Criteria (CGP 2.2.14.b). Generally, all disturbed areas, other than structures and impervious surfaces, must have uniform perennial vegetation that provides 70 percent or more of the cover provided by native vegetation or seed the disturbed area and provide non-vegetative mulch that provides cover for at least three years without active maintenance. Final stabilization must be approved by the City of Albuquerque prior to removal of BMPs and discontinuation of inspections.

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	09/10/2021 <small>DATE</small>	
	C. DURKIN <small>DRAWN BY</small>	

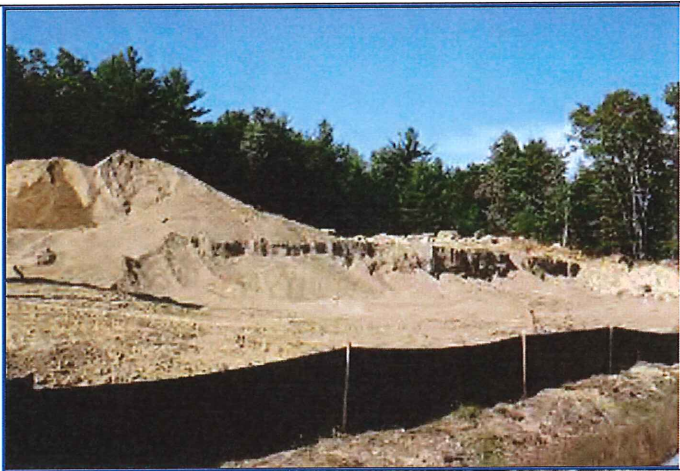


SEDIMENT TRACK OUT CONTROL



- BMP Objectives**
- Sediment Control

SILT FENCE



- BMP Objectives**
- Sediment Control
  - Sheet Flow Runoff Control
  - Wind Erosion Control

BERMS AND SWALES



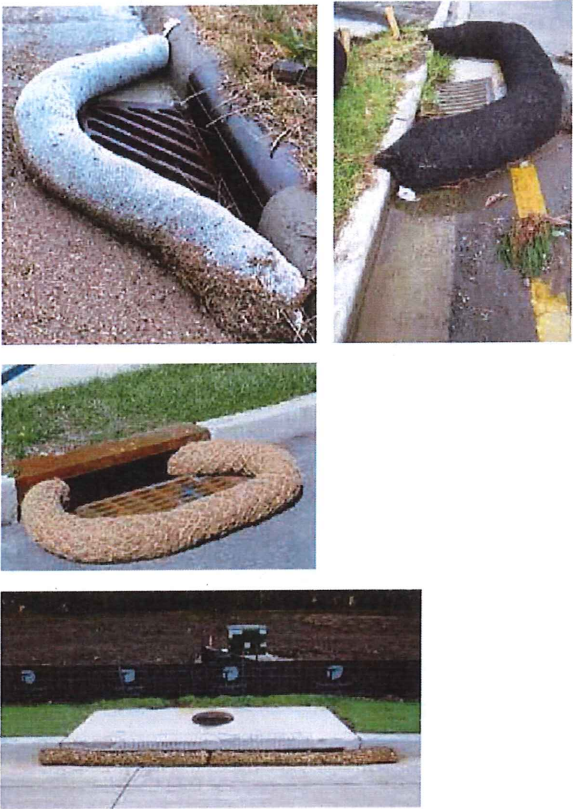
- BMP Objectives**
- Runoff Control
  - Run-on Diversion

MULCH SOCK/STRAW WATTLE



- BMP Objectives**
- Sediment Control
  - Reduce Runoff Velocity
  - Inlet Protection

INLET PROTECTION



- BMP Objectives**
- Sediment Control
  - Sheet Flow Runoff Control
  - Wind Erosion Control

LEGEND

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

PP-PP-PP- PROJECT PERIMETER

STAGING AREA

CHEMICAL TOILET

SEDIMENT POND

—BW—BW— EXISTING BLOCK WALL

FLOW DIRECTION

CONCRETE WASHOUT



Ⓢ POSTING SIGN

SF-SF-SF-SF SILT FENCE

STABILIZED CONSTRUCTION ENTRANCE

⊗ OUTFALL

DEBRIS CONTAINMENT

 09/10/2021 CPESC Stamp	PHOENIX APARTMENT BUILDING <small>PROJECT TITLE</small>	
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	09/10/2021 <small>DATE</small>	 <small>INSPECTIONS PLUS</small>
	C. DURKIN <small>DRAWN BY</small>	



DRAINAGE MANAGEMENT PLAN

Location  
LOTS 1-A, 6, 7, 8, 9, AND 10, BLOCK 2, CITY REALTY COMPANY'S ADDITION NO. 1;  
TOGETHER WITH LOTS 4, 5, AND 6, BLOCK 9, OF THE MANDELL ADDITION NO. 2.  
CONTAINING 1.2690 ACRE. See attached portion of Vicinity Map H-14-Z for exact location.

Purpose  
The purpose of this drainage report is to present a grading and drainage solution for the proposed commercial buildings. We are requesting site plan for building permit approval as well as building permit approval.

Existing Site/Drainage Conditions  
This site contained of existing buildings, concrete pads, asphalt and some gravel. All the existing structures and asphalt and concrete pads have been removed. The site is fairly flat. Most of the site was draining into adjacent streets. No offsite runoff impacts this site.

Proposed Conditions and On-Site Drainage Management Plan  
This site is located within zone 2 and in the north valley. We are proposing a building with ground level and underground parking structure. This site will pond most of water and discharge at a control rate. According to grading plan file #G14-D086, the north valley rate of discharge is 2.75 CFS per acre. This site contains 1.2690 acre (55,277.64 sf). Therefore our rate of discharge will be at 3.49 CFS (1,2690 \* 2.75). The site was analyzed under Basins A and B. The runoff from Basin A is detained in the parking lot and drained at a controlled discharge rate of 0.47 cfs via a 4" pipe to the back of sidewalk culvert to La Poblana Rd. Basin B is discharge at a detained rate of 1.86 cfs and drain out via 2-8" pipe to a sidewalk culvert to 4th St. The total detainee discharge rate is 2.33 cfs which is well below the allowable discharge of 3.49 cfs and less than current discharge under the existing conditions.

POND VOLUME REQUIRED FOR FIRST FLUSH

**BASIN A**  
0.34 INCHES x IMPERVIOUS AREA = (0.34/12 x 33,961.48) = 962.24 CF  
THIS VOLUME IS PART OF THE PONDING PROVIDED.

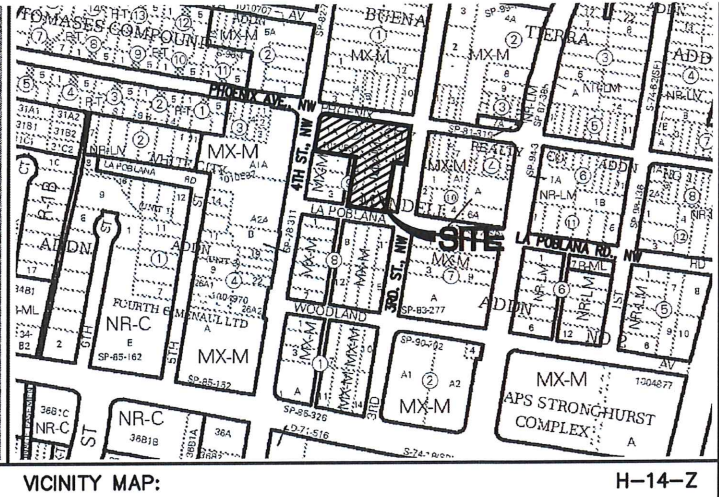
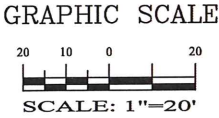
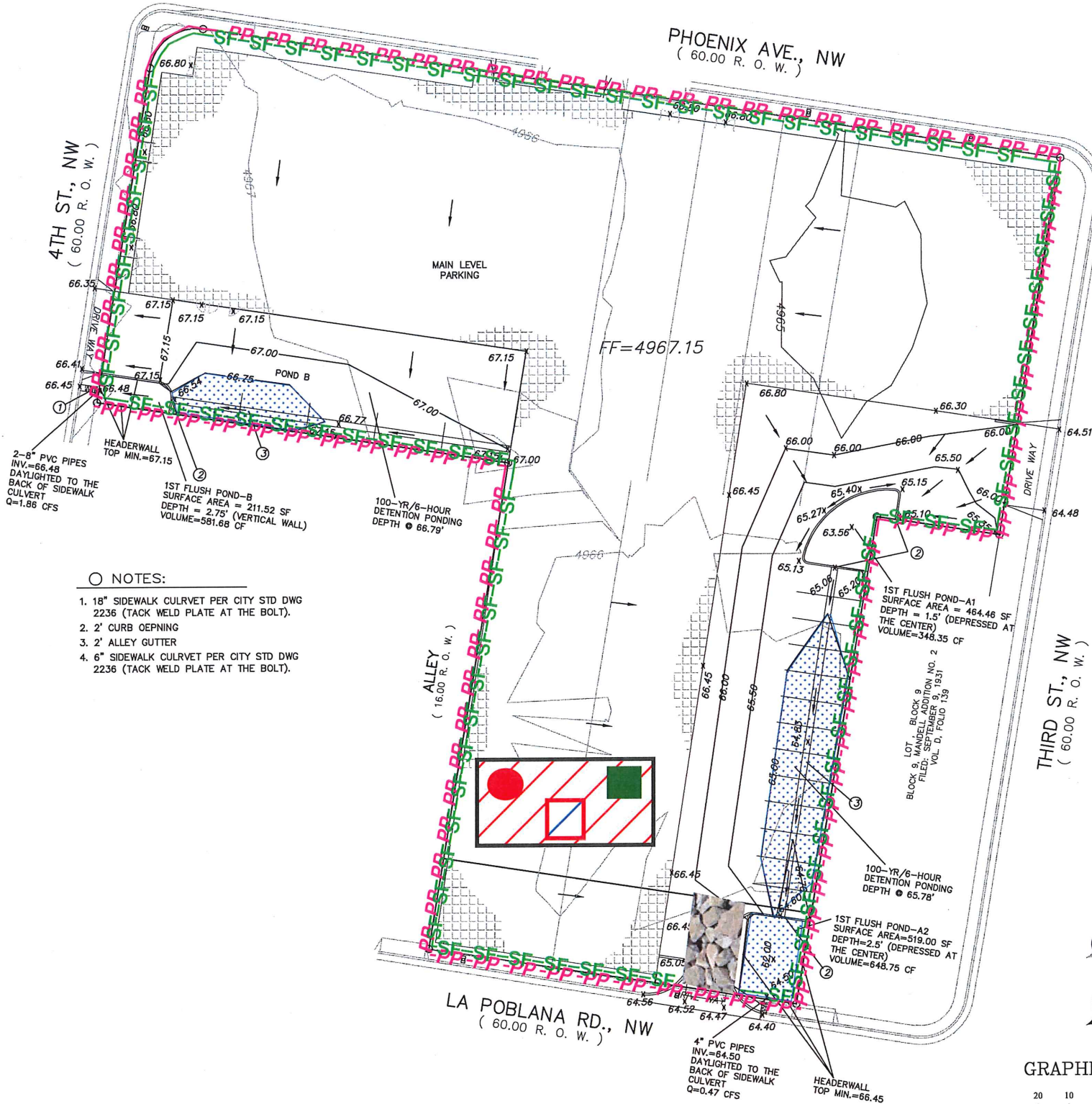
**BASIN B**  
0.34 INCHES x IMPERVIOUS AREA = (0.34/12 x 18,561.82) = 525.92 CF  
THIS VOLUME IS PART OF THE PONDING PROVIDED.

FIRST FLUSH PONDING VOLUME PROVIDED

POND A-1: AREA @ TOP = 464.46, BOTTOM =0, DEPTH=1.50'  
POND VOLUME = (464.46+0)/2\*1.50' = 348.35 CF  
POND A-2: AREA @ TOP = 519.00, BOTTOM =0, DEPTH=2.50'  
POND VOLUME = (519.00+0)/2\*2.50' = 648.75 CF  
POND A-1 + POND A-2 = 348.35 + 648.75 = 997.10 CF > 962.24 CF  
POND B: AREA @ TOP = 211.52, BOTTOM =211.52, DEPTH=2.75'  
POND VOLUME = (211.52+211.52)/2\*2.75' = 581.68 CF > 525.92 CF

NOTES:

1. 18" SIDEWALK CULVET PER CITY STD DWG 2236 (TACK WELD PLATE AT THE BOLT).
2. 2' CURB OPENING
3. 2' ALLEY GUTTER
4. 6" SIDEWALK CULVET PER CITY STD DWG 2236 (TACK WELD PLATE AT THE BOLT).



SCHEDULE/SEQUENCING OF CONSTRUCTION

1. POST PERMITS
2. INSTALL REQUIRED BMPs
  - 2.a. PERIMETER CONTROLS
  - 2.b. STABILIZED CONSTRUCTION ENTRANCE
  - 2.c. CONCRETE WASHOUT AREA
3. TEMP POND
4. EARTHWORK AND GRADING
5. UTILITY INSTALLATION
6. PAVEMENT STRUCTURES
7. VERTICAL STRUCTURES
8. LANDSCPING
9. PUNCHLIST

**SITE OPERATORS:**  
MICHAEL DRESKIN, OWNER 505-249-7788

J S DEVELOPMENT, INC., GENERAL CONTRACTOR  
JOSE RODRIGUEZ 505-440-5104

STORMWATER TEAM

- A: REMOVE SEDIMENT FROM ADJACENT STREETS: INSPECTIONS PLUS
- B: BMP MAINTENANCE: J S DEVELOPMENT, INC
- C. SITE INSPECTIONS: INSPECTIONS PLUS



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