

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

September 2, 2020

David Aube, P.E.  
Hartman & Majewski Design Group  
120 Vassar Dr SE, Suite 100  
Albuquerque, NM 87106

**RE: Broadway McKnight Apartments  
1850 Broadway Place NE  
Conceptual Grading and Drainage Plan  
Engineer's Stamp Date: 09/01/20  
Hydrology File: H14D112**

Dear Mr. Aube:

PO Box 1293

Based upon the information provided in your submittal received 08/21/2020, the Conceptual Grading & Drainage Plan is approved for action by the DRB on Site Plan for Building Permit.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

NM 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



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## I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE MANAGEMENT PLANS FOR THE ALBUQUERQUE HOUSING AUTHORITY PROJECT AT BROADWAY.

## II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED AT THE SOUTH-EAST CORNER OF BROADWAY BLVD NE AND MCKNIGHT AVENUE NE.

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THE SITE IS CURRENTLY DEVELOPED FOR MULTI FAMILY RESIDENTIAL WITH 14 BUILDINGS. THE SITE CONTAINS A PRIVATE STREET (BROADWAY PLACE) AND IS SURROUNDED BY SOLID MASONRY WALLS ON ALL SIDES.

THE SITE IS ADJACENT TO MARTINEZTOWN PARK ON THE EAST AND SOUTH EDGES. MARTINEZTOWN PARK CONTAINS BASEBALL AND SOCCER FIELDS AND CONTAINS ALL ITS STORM WATER WITHIN THOSE DEPRESSED RECREATIONS FIELDS.

## III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON SECTION 22.2, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL.

## IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-6HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 2.

## V. EXISTING DRAINAGE CONDITIONS (REFER TO CD2)

CURRENTLY THE STORM WATER RUN-OFF DRAINS FROM EAST TO WEST ACROSS THE SITE AND INTO BROADWAY PLACE BEFORE FLOWING ONTO BROADWAY BLVD NE. THE SOLID WALL ON THE EAST AND SOUTH SIDES ADJACENT TO MARTINEZTOWN PARK PREVENT ANY CROSS LOT DRAINAGE.

THERE ARE CURRENTLY A NUMBER OF RESIDENTIAL STRUCTURES WITH CONCRETE SIDEWALKS ON THE PROPERTY. THESE WILL BE DEMOLISHED TO MAKE ROOM FOR THE PROPOSED DEVELOPMENT.

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FOR A 100YR-6HR STORM EVENT THE SITE'S STORM WATER RUN-OFF VOLUME IS 0.33 AC-FT WITH A PEAK DISCHARGE OF 10.19 CFS.

## VI. PROPOSED DRAINAGE CONDITIONS (REFER TO CD3)

THIS PROJECT IS PROPOSING TO ADD SIXTY-EIGHT (54) HOUSING UNITS IN THE FORM OF MULTI-STORY STRUCTURES. THERE WILL ALSO BE INTERNAL AGGREGATE (PERVIOUS) PARKING LOTS, CONCRETE SIDEWALKS, LANDSCAPING AREAS, AND PLAY AREAS FOR CHILDREN SEPARATED INTO THREE AGE GROUPS.

THE CITY OF ALBUQUERQUE HAS REQUIRED THIS PROJECT, DUE TO ITS LOCATION WITHIN THE MARTINEZTOWN NEIGHBORHOOD, TO RELEASE A MAXIMUM FLOWRATE OF 2.75 CU-FT/SEC PER ACRE OF STORM WATER RUN-OFF.

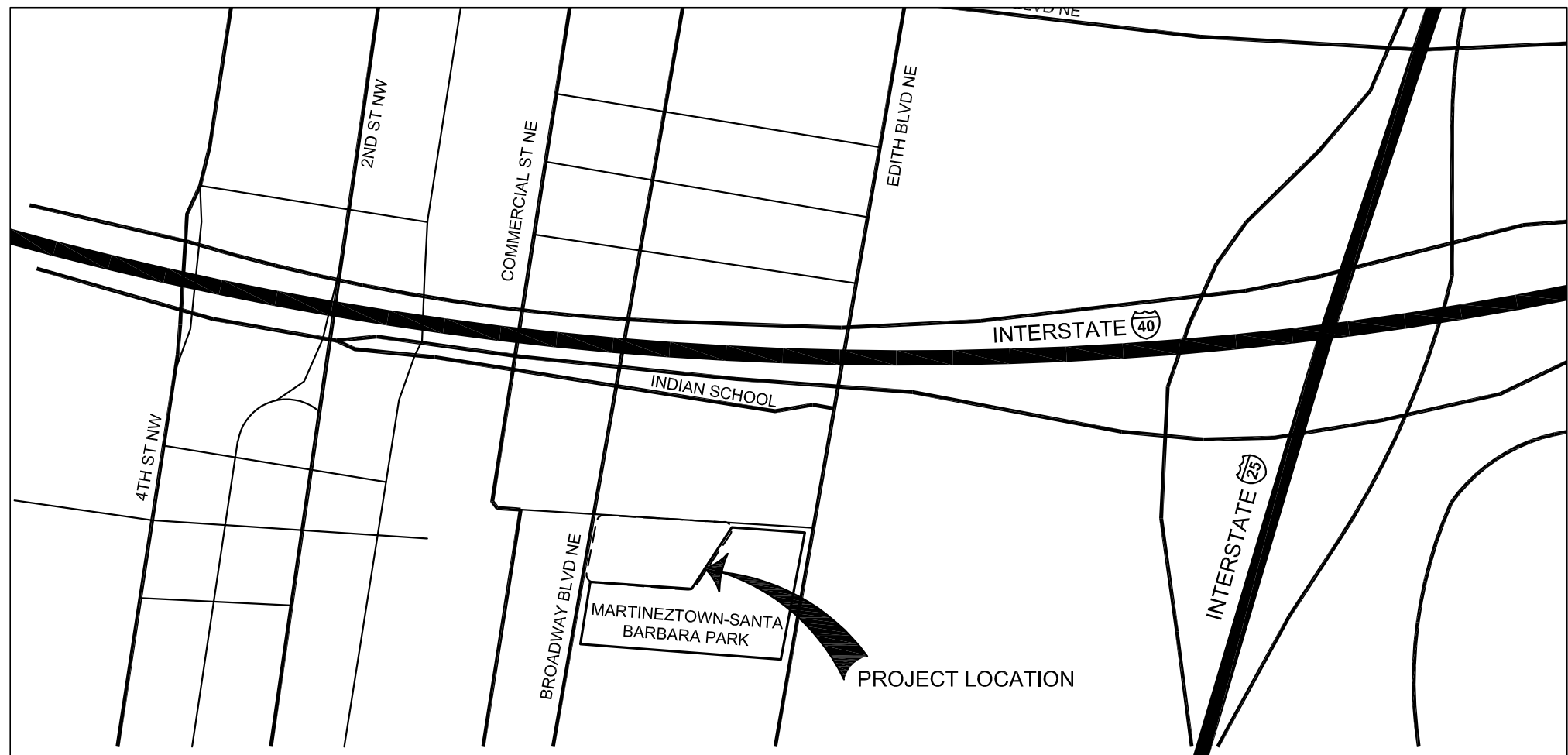
FOR THIS CONCEPTUAL STORM WATER MANAGEMENT PLAN, A SINGLE BASIN WAS USED. THE INCREASE IN IMPERVIOUS AREA WILL INCREASE THE PEAK RUNOFF TO 12.97. THE INCLUSION OF SHALLOW PONDING AREAS THROUGHOUT THE SITE AND THE STREETScape SWALES WILL BE UTILIZED TO REDUCE THE RUNOFF LEAVING THE SITE BELOW THE ALLOWABLE 9.45 CFS.

THE SITE WILL BE DETAILED TO LIMIT THE DISCHARGE TO BELOW THE 2.75 CFS/ACRE. THIS WILL CREATE A NEW REDUCTION IN RUNOFF OF 0.74 CFS.

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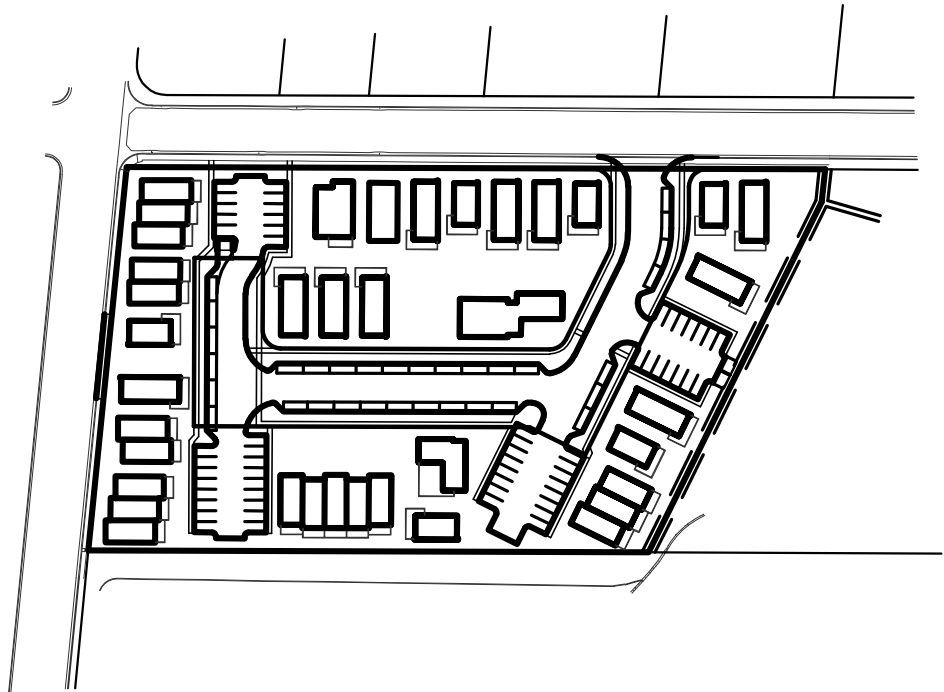
**A4 FIMA FLOOD MAP**  
SCALE: NOT TO SCALE



**A2 VICINITY MAPS**  
SCALE: NOT TO SCALE



**A4 H-14-Z ZONE ATLAS PAGE**  
SCALE: NOT TO SCALE



**A6 KEY PLAN**  
NOT TO SCALE

A

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THE HARTMAN + MAJEWSKI

DESIGN GROUP

Architects • Engineers • Interior Design  
Planners • Urban Designers • LEED®

120 Vossor Drive SE Suite 100  
Albuquerque New Mexico 87106  
T 505 242 6880 • F 505 242 6881

CONSULTANT

STAMP



60% CONSTRUCTION DOCUMENTS

PROJECT NAME

ALBUQUERQUE  
HOUSING  
AUTHORITY

1850 BROADWAY PLACE NE,  
ALBUQUERQUE, NEW MEXICO 87102

### REVISIONS

No.	Description	Date

Copyright: Design Group

Drawn by	DAA
Checked by	DAA
Date	August 18, 2020
Project number	2561
CAD file name	

### SHEET TITLE

SITE CONCEPTUAL  
DRAINAGE  
PLAN

SHEET NUMBER

CD1





120 Vassar Drive SE Suite 100  
Albuquerque New Mexico 87106  
T 505 242 6880 • F 505 242 6881

CONSULTANT

STAMP

## 60% CONSTRUCTION DOCUMENTS

PROJECT NAME

ALBUQUERQUE  
HOUSING  
AUTHORITY

1850 BROADWAY PLACE NE,  
ALBUQUERQUE, NEW MEXICO 87102

Copyright: Design Group

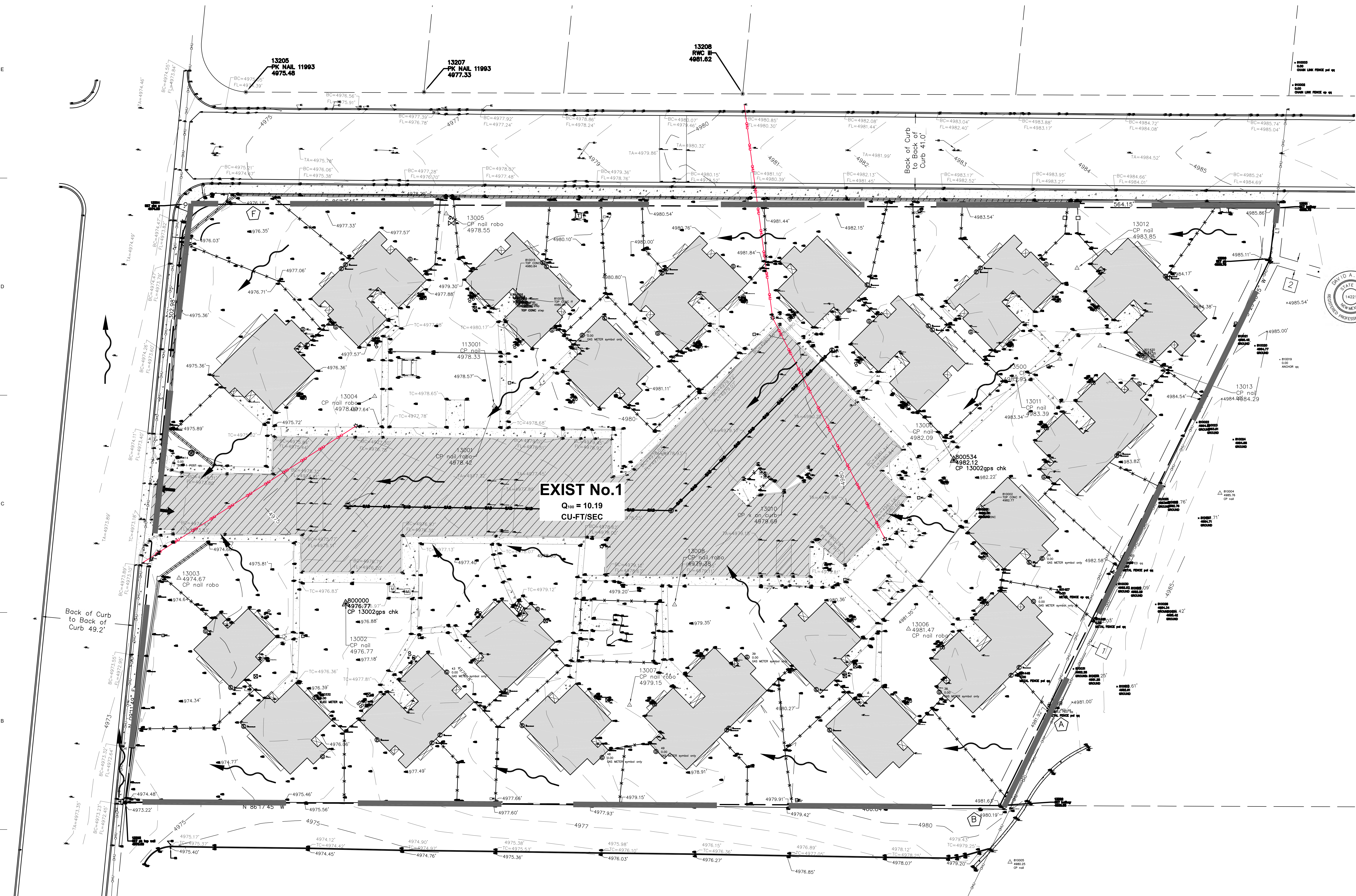
Drawn by	DAA
Checked by	DAA
Date	August 18, 2020
Project number	2561
CAD file name	

SHEET TITLE

### SITE CONCEPTUAL DRAINAGE PLAN

SHEET NUMBER

## CD2



## A1 EXISTING DRAINAGE PLAN

SCALE: 1" = 20'-0"





STAMP



NOT FOR  
CONSTRUCTION

60% CONSTRUCTION  
DOCUMENTS

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AUTHORITY

1850 BROADWAY PLACE NE,  
ALBUQUERQUE, NEW MEXICO 87102

REVISIONS

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SHEET TITLE

CONCEPTUAL  
DRAINAGE  
PLAN

SHEET NUMBER

CD3

