

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

May 15, 2023

Fred C. Arfman, PE  
Isaacson & Arfman, Inc.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: Broadway McKnight Apartments**  
**300 McKnight Ave. NE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 12-07-20 (H14-D112)  
Certification dated 05-01-23

Dear Mr. Arfman,

Based upon the information provided in your submittal received 05-03-23, Transportation Development cannot approve the release of Certificate of Occupancy for the above referenced project.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per approved site plan keynote 8: parking stall asphalt pavement, but per site visit the parking stall area was fine crushed gravel. Please address this concern.
- Please provide "NO PARKING" pavement marking on the ADA aisle at the west side of the building J. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- Per site visit, there were Motorcycle parking space at the east side of building F. Please red mark the site plan to reflect the change.

Once construction is complete resubmit

1. The approved and stamped TCL, Administrative Amendment, or Site Plan for Building Permit with changes drawn in red.
2. Transportation Certification letter on either the plan or applicant's letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
5. The \$75 re-submittal fee.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

for log in and evaluation by Transportation.  
If you have any questions, please contact me at (505) 924-3675.

Sincerely,

A handwritten signature in black ink, appearing to read 'Marwa Al-najjar', with a long, sweeping horizontal line extending to the right.

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services  
\\ma via: email  
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

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# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Broadway McKnight

Project Title: Apartments Building Permit # Hydrology File #H14D112

DRB# PR-2020-004133 EPC# SI-2020-00809

Legal Description: Tract A-1, Sixbee Subdivision City Address OR Parcel 300 McKnight Ave NE

Applicant/Agent: Isaacson & Arfman, Inc.

Contact: Fred C. Arfman

Address: 128 Monroe Street NE

Phone: (505) 268-8828

Email: freda@iacivil.com

Applicant/Owner: Albuquerque Housing Authority

Contact:

Address: 1840 University Blvd SE - ABQ, NM 87106

Phone:

Email:

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ☒ ADMIN SITE: ☐

RE-SUBMITTAL: YES ☒ NO ☐

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION (TCL)
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: May 1, 2023

## TRAFFIC CERTIFICATION

I, Fred C. Arfman, NMPE No. 7322 OF THE FIRM ISAACSON & ARFMNA, INC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED **DRB SITE PLAN** DATED **DEC. 18. 2020**. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Robert J. Fierro, NMPS No. 22900 OF THE FIRM **Fierro & Company, LLC**. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON May 1, 2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR **Permanent Certificate of Occupancy**.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
Fred C. Arfman, PE



05-01-23  
Date

# PROJECT TABULATED PARKING COUNTS AND OPEN SPACE

Building(s)	Unit Type	Units	Use	GSF per unit	Total SF	Req'd Parking	Parking Provided	Open Space Req'd	Open Space Provided	HC Req'd	HC Provided	MC Req'd	MC Provided	Bicycle Req'd	Bicycle Provided
Community			Office		2336	9									
U1	1 bdr, 1 ba	10	Residential	688	6880	10		2000							
U2	1 bdr, 1 ba	2	Residential	756	1512	2		400							
U3	2 bdr, 1.75 ba	20	Residential	943	18860	20		5000							
U4	2 bdr, 1.75 ba	2	Residential	1076	2152	2		500							
U5	3 bdr, 1.75 ba	11	Residential	1254	13794	22		3300							
U6	4 bdr, 1.75 ba	7	Residential	1457	10199	14		2100							
U7	4 bdr, 1.75 ba	1	Residential	1391	1391	2		300							
U8	5 bdr, 2.75 ba	1	Residential	1839	1839	2		300							
Total		54			58969	83		86	13900	53,853		4	3	3	9

## Notes:

- Parking required 1 space per DU, up to 2 BDR, 2 spaces, per DU with 3 or more BDR
- Bicycle parking required, 3 spaces or 10% whichever is greater
- Motorcycle parking required 1 space per 25 off street parking
- Accessible Parking is based on 2015 NM Commercial Building Code, Table 1106.1 of Title 14, Chapter 7, Part 2
- Open Space areas listed does not include sidewalks, private areas in back yards, or front porches of units.

- Table S-5.1: Off-street Parking Requirements  
Table S-5.5: Bicycle Parking Requirements  
Table S-5.4: Motorcycle Parking Requirements

# SITE PLAN KEYED NOTES

- CONCRETE PAVEMENT
- CONCRETE CURB AND GUTTER
- CONCRETE SIDEWALK
- SINGLE TRASH ENCLOSURE PER DETAIL A1C-501
- DOUBLE REFUSE ENCLOSURE PER DETAIL A1C-501
- EXISTING SIDEWALK TO REMAIN
- MAIN DRIVE ASPHALT PAVEMENT
- PARKING STALL ASPHALT PAVEMENT
- LANDSCAPED AREA - REFER TO LANDSCAPING PLANS
- ADA RESERVED PARKING STALL
- ADA RESERVED PARKING SYMBOL
- ADA VAN ACCESSIBLE RESERVED SIGN PER DETAIL D6C-501
- CONCRETE PARKING BLOCK
- STRIPED UNLOADING ZONE
- CURB ACCESS RAMP PER COA STANDARD DRAWINGS 2440 THROUGH 2448. TYPE A PER 20' PARALLEL RAMP 2443. TYPE B PER PERPENDICULAR RAMP AND TYPE C PER 2446.
- 12"X18" MOTORCYCLE PARKING ONLY SIGN
- (2) 2" WIDE CONCRETE SIDEWALK CULVERTS
- RIP RAP EROSION PROTECTION
- 6" TALL CONCRETE MASONRY UNIT SCREEN WALL PER DETAIL C5C-501
- APARTMENT STAIRS PER ARCHITECTURAL PLANS
- 2' TALL FENCE PER DETAIL A5C-501
- CONCRETE STAIR WITH HAND RAILS
- FIRE DEPARTMENT KNOX BOX
- 6" TALL WROUGHT IRON PERIMETER FENCE
- 4" WIDE 6" TALL WROUGHT IRON PERSONNEL GATE
- MECHANICAL UNIT ON CONCRETE PAD PER MECHANICAL PLANS
- PLAYGROUND AREA
- BIKE RACKS PER DETAIL C5C-501
- PAINTED CROSSWALK CONTINENTAL STYLE CROSS WALK STRIPING WITH 2" WIDE BY 6" LONG WHITE STRIPES AT 8" ON CENTER PER COA STD DWG 200-106
- MOTORCYCLE PARKING SPACE WITH "MC" PAINTED ON SURFACE AND SIGNAGE PER DETAIL E6C-501
- 3" TALL WROUGHT IRON FENCE PER DETAIL D3C-501
- MINI SIGHT TRIANGLE
- VALLEY GUTTER AND CONCRETE CURB RETURNS PER COA STD DWG 2400
- EXISTING 3" TALL CMU WALL WITH PLASTER. PLASTER TO REMAIN. CURB CUT SECTION BETWEEN PLASTER AT 2'4" ABOVE FINISHED GROUND, INSTALL WROUGHT IRON INFILL PANELS TO RESTORE 3" TALL PERIMETER FENCE PER DETAIL D1C-501. SOME PORTIONS OF WALL ENDOCH ON TO MARTINEZTOWN PARK. MAINTENANCE OF THE WALL IS RESPONSIBILITY OF ALBUQUERQUE HOUSING AUTHORITY (AHA) OR THEIR ASSIGNED. IF PROPERTY IS SOLD BY AHA, AN ENDOCHMENT AND REVOCABLE PERMIT MAY BE REQUIRED BY THE CITY OF ALBUQUERQUE.
- STREET LIGHTS PER DETAIL A5C-501
- SANITARY SEWER MANHOLE PER ABOVE/VA STANDARD DRAWINGS
- APPROXIMATE LOCATION 3" WIDE PERSONNEL GATE FROM PROJECT TO MARTINEZTOWN PARK. EXACT LOCATION TO BE DETERMINED BASED ON GRACES.

# TABLE OF CONTENTS:

- SP-DRB: SITE PLAN - DRB  
LP-DRB: LANDSCAPING PLAN  
C-501: CONCEPTUAL SITE GRADING PLAN  
C-301: CONCEPTUAL SITE UTILITY PLAN  
202.1: FINISHED ELEVATIONS - TYPICAL UNIT  
204.1: ENLARGED ELEVATIONS - TYPICAL UNIT  
205.1: ENLARGED ELEVATIONS - TYPICAL UNIT  
C-501: CIVIL DETAILS

PROJECT LOCATION:  
BROADWAY BLVD. NE AT MCKNIGHT AVENUE, NE.

LEGAL DESCRIPTION:  
TRACT 4 THREE THIRDS  
CONTAINING 3.43 ACRES

ZONE ATLAS PAGES:  
H-14-Z

EXISTING ZONING:  
R-1 RESIDENTIAL TOWNHOUSES

PROPOSED USES:  
25 RESIDENTIAL BUILDINGS AND 1 COMMUNITY BUILDING



CONSULTANT

STAMP



David A. Abbe

PROJECT NAME:

ALBUQUERQUE HOUSING AUTHORITY

1650 BROADWAY PLACE, NE  
ALBUQUERQUE, NEW MEXICO 87102

PROJECT NUMBER: PR-2020-004133

Application Number: SI-2020-00809

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Jeanette Wolfenbarger</i> Traffic Engineering, Transportation Division	Date: Dec 15, 2020
<i>[Signature]</i> Planning and Transportation Department	Date: Dec 15, 2020
<i>[Signature]</i> City Engineer	Date: Dec 17, 2020
<i>[Signature]</i> City Engineer/Assistant	Date: Dec 14, 2020
<i>[Signature]</i> Code Enforcement	Date: Dec 14, 2020
<i>[Signature]</i> Environmental Health Department (conditional)	Date: Dec 18, 2020
<i>[Signature]</i> Herman Gallegos Solid Waste Management	Date: Dec 18, 2020
<i>[Signature]</i> Public Works/Planning Department	Date: Dec 18, 2020

# Easement Notes

- EXISTING 100' PHM EASEMENT (4/24/86, C3-76)
- EXISTING 10' P.U.E. (04/24/86, C3-76)
- EXISTING 20' DRAINAGE EASEMENT (04/24/86, C3-76)
- EXISTING 10' P.U.E. (06/12/85, 950-208)
- EXISTING 10' UNDERGROUND MSTR&T AND PHM EASEMENT (10/13/87, BOOK MSC. 545, PAGE 100)
- EXISTING 5' UNDERGROUND UTILITY EASEMENT (06/24/04, BK. A79, PG. 7887)



# REVISIONS

No.	Description	Date

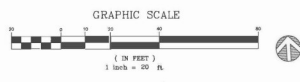
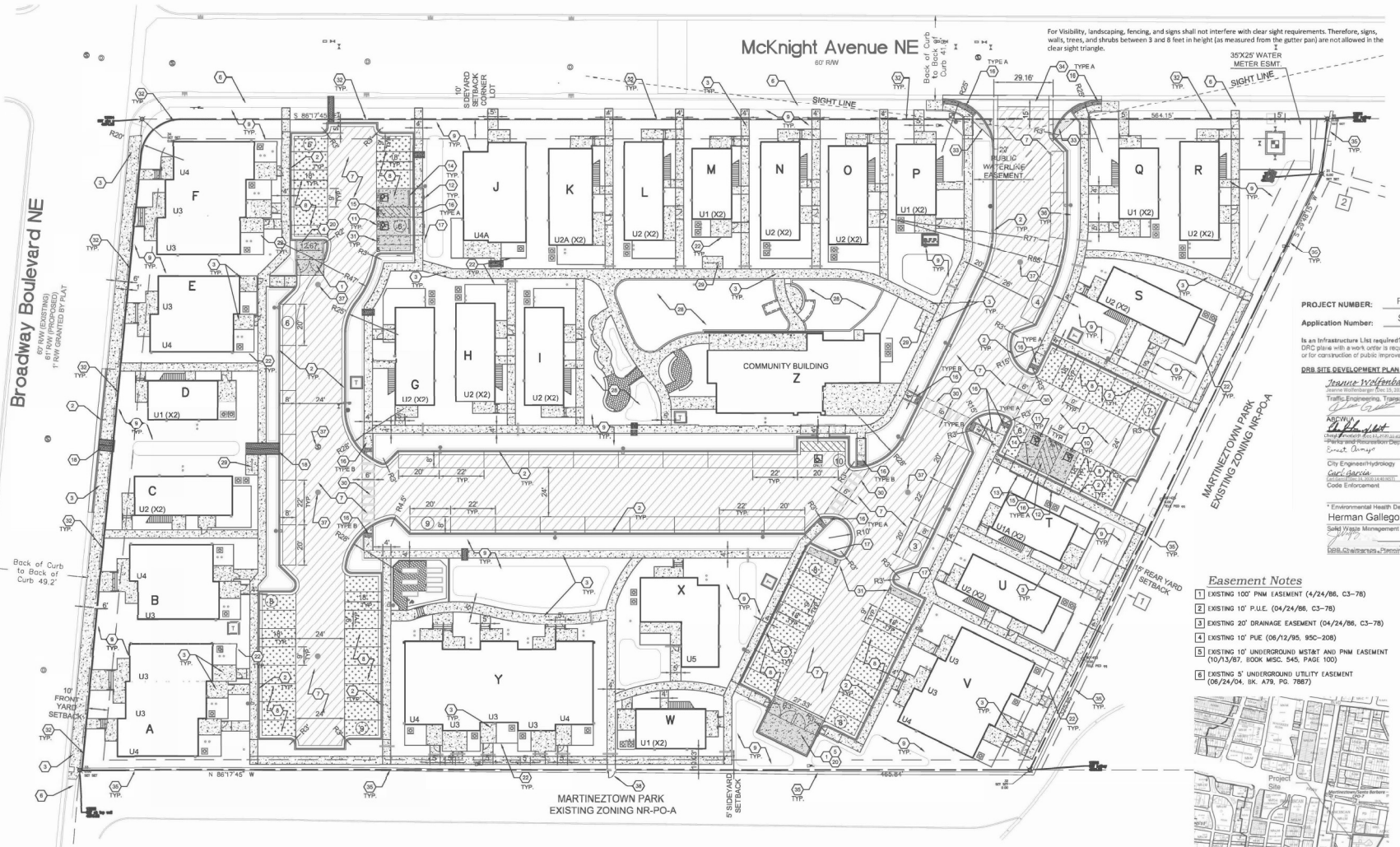
Copyright: Design Group  
Drawn by: DAA  
Checked by: DAA  
Date: August 21, 2020  
Job: Project  
Public number: 2081  
CAD file name:  

SHEET TITLE

SITE PLAN DRB

SHEET NUMBER

SP-DRB



A1 SITE PLAN - DRB  
1" = 20'

A6 ZONE ATLAS PAGE H-14-Z

CONSULTANT

STAMP



David A. Gilbert

PROJECT NAME

ALBUQUERQUE  
HOUSING  
AUTHORITY

1850 BROADWAY PLACE NE,  
ALBUQUERQUE, NEW MEXICO 87102

#### UTILITY PLAN KEYED NOTES

1. DOMESTIC WATER SUPPLY LINE, 3/8" PVC SCH 40, INCLUDE BENDS AND ELBOWS AS REQUIRED.
2. 3" WATER METER AND METER VAULT PER COA MHI WORK ORDER.
3. FIRE SUPPRESSION SUPPLY LINE, 4" Ø Ø80 DR14.
4. WATER SUPPLY AND FIRE SUPPRESSION LINES TO BUILDING, SEE PER PLAN, INCLUDE BENDS AND ELBOWS AS REQUIRED.
5. GATE VALVE ASSEMBLY, AND VALVE BOX AND CONCRETE COLLAR, SEE ALBUQUERQUE FIRE DEPARTMENT.
6. POST INDICATOR VALVE PER DETAIL AS/C400.
7. 4" REDUCED PRESSURE PRINCIPLE BACK FLOW PREVENTION DEVICE IN HOT BOX (SAFETY COVER 600" L) WITH 200W HEATER, PROVIDE CONCRETE FOUNDATION PER HOT BOX MANUFACTURER'S RECOMMENDATIONS.
8. FIRE DEPARTMENT CONNECTION MOUNTED TO THE FACE OF THE INSULATED ENCLOSURE.
9. 6" PVC SDR 35 WATER LINE.
10. NEW PRIVATE FIRE HYDRANT PER MHI WORK ORDER.
11. NEW 1/2" BORGATION METER TO BE INSTALLED PER MHI WORK ORDER.
12. CONNECT WATER LINE ONTO BUILDING WATER LINES, SEE PLUMBING SHEETS.
13. EXISTING 6" WATER LINE.
14. SANITARY SEWER LINE, 6" Ø.
15. SANITARY SEWER LINE, 6" Ø.
16. CONNECT SANITARY SEWER LINE ONTO BUILDING SEWER LINES, SEE PLUMBING SHEETS.
17. EXISTING SANITARY SEWER LINE, 6" Ø.
18. EXISTING SANITARY SEWER MANHOLE PER DETAIL AS/C400.
19. NEW 4" SANITARY SEWER MANHOLE PER DETAIL AS/C400.
20. LIGHT POLE, SEE ELECTRICAL PLANS.
21. INSTALL PVC SCH 40 TEES AS REQUIRED FOR SERVICE BRANCH ON DOMESTIC AND FIRE SUPPRESSION LOOP.
22. Ø BEND 22.5°.
23. Ø BEND, 45°, SEE TO MATCH THE CONNECTING WATER LINES.
24. ELBOW, 90°, AND SEE TO MATCH THE CONNECTING WATER LINES.
25. 6" Ø 90° DUCTILE IRON TEE AND TRANSITION COUPLING.
26. GATE VALVE ASSEMBLY, 6" Ø, VALVE BOX AND CONCRETE COLLAR.
27. 6" Ø 90° DUCTILE IRON TEE AND TRANSITION COUPLING.
28. EXISTING STORM DRAIN CATCH BASIN TO REMAIN.
29. EXISTING PUSHE, FIRE HYDRANT TO REMAIN.
30. 6" Ø PVC SDR 35 SANITARY SEWER ECCENTRIC REDUCER.
31. WYE, 6" Ø 6" Ø.
32. WYE, 6" Ø 6" Ø.
33. WYE, 6" Ø 6" Ø.
34. TERMINAL CLEANOUT.
35. DOUBLE CLEANOUT.
36. SINGLE CLEANOUT.
37. EXISTING SANITARY SEWER LINE, 6" Ø.
38. EXISTING NATURAL GAS LINE TO REMAIN.
39. BOLLARD TYPE LIGHTS, SEE ELECTRICAL PLANS.
40. EXISTING POWER POLE TO REMAIN.
41. EXISTING TELEPHONE PRECINCT TO REMAIN.
42. 4" WIDE PREFABRICATED TRENCH DRAIN WITH BOTTOM SLOPE AT 1%.
43. 6" Ø PVC SDR 35 STORM DRAIN PIPING.
44. FROST PROOF POST HYDRANT AND 1" SUPPLY LINE INCLUDING SERVICE TAP TO MAIN DOMESTIC LOOP.

#### REVISIONS

No.	Description	Date

Corporate Design Center	
Drawn by	25A
Checked by	25A
Date	August 21, 2020
Project number	2561
CAD file name	

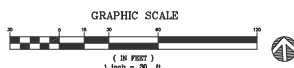
SHEET TITLE

CONCEPTUAL SITE  
UTILITY PLAN

SHEET NUMBER

C-301

#### A1 CONCEPTUAL SITE UTILITY PLAN



#### UTILITY PLAN GENERAL NOTES

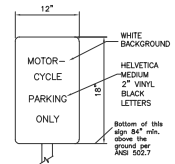
1. SEE SHEET C301 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/TYPE LEGEND THAT APPLY TO ALL SHEETS.



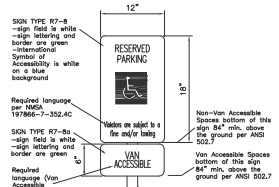
THE HOBMAN + HUSKEY  
**DESIGN GROUP**  
Architect • Engineers • Interior Design  
Planners • Urban Designers • LSCDM

120 Yamacraw Drive SE Suite 100  
Albuquerque New Mexico 87106  
T 505 242 6880 • F 505 242 6891

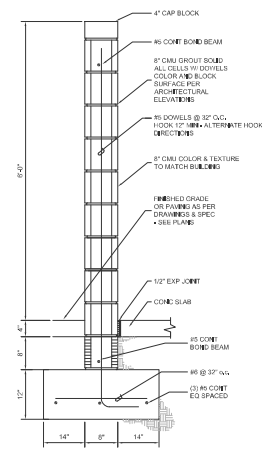
CONSULTANT



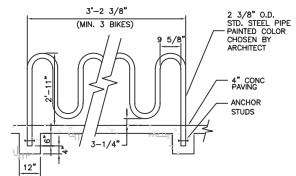
E6 MC Parking Signs  
NFB



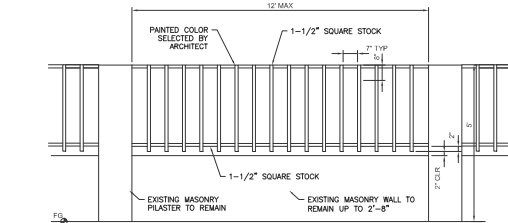
D6 ADA Parking Signs  
NFB



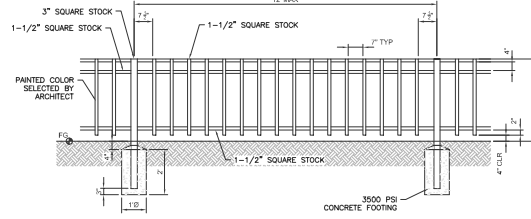
C5 6' CMU Screen Wall  
NFB



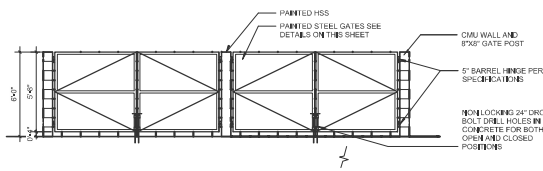
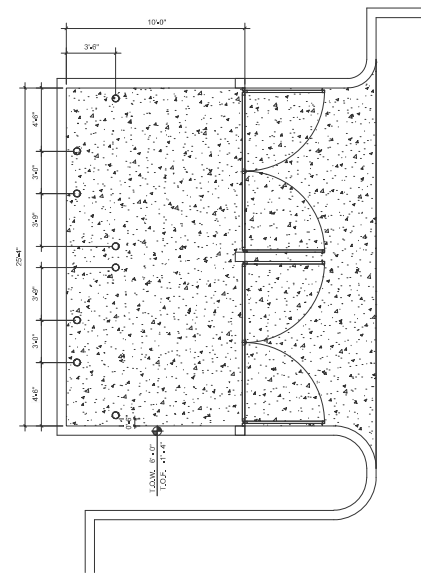
C6 Bike Rack  
NFB



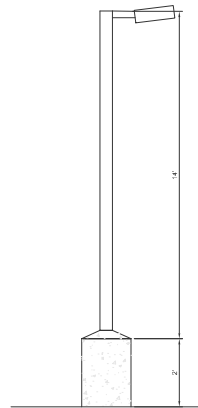
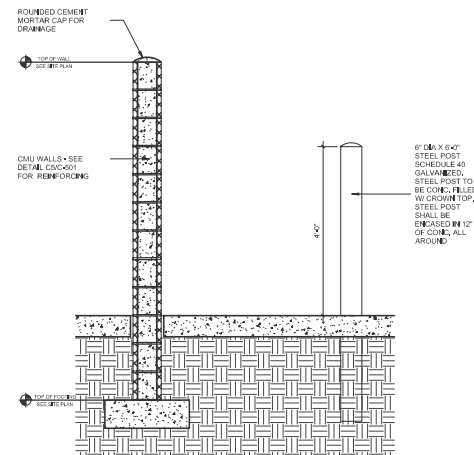
D1 WALL AT MARTINEZTOWN PARK  
NFB



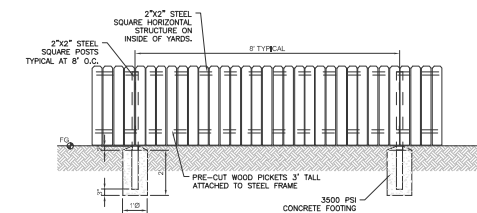
D3 WROUGHT IRON FENCE  
NFB TO SCALE



A1 Refuse Enclosure Plan,  
Section and Gate Elevations  
NFB



A4 Light Pole  
NFB



A5 Fence Detail  
NFB

STAMP



David A. Aubrey

PROJECT NAME

ALBUQUERQUE  
HOUSING  
AUTHORITY

1650 BROADWAY PLACE NE,  
ALBUQUERQUE, NEW MEXICO 87102

REVISIONS

No.	Description	Date

Captain: Design Group

Drawn by:	DAA
Checked by:	DAA
Date:	August 21, 2020
Drawn by:	2561
CAD file name:	

SHEET TITLE

SITE PLAN-ORB  
DETAILS

SHEET NUMBER

C-501