

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

February 17, 2021

Martin Grummer, RA
Martin Grummer Architect
331 Wellesley Place NE
Albuquerque NM 87106

Re: Mountaintop Extracts LLC
1912 First St. NW
Traffic Circulation Layout
Engineer's/Architect's Stamp 1-7-21 (H14D113)

Dear Mr. Grummer,

The TCL submittal received 2-12-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

MOUNTAIN TOP EXTRACTS LLC

NEW BUILDING ADDITION

1912 FIRST STREET NW

ALBUQUERQUE, NEW MEXICO 87102

TRAFFIC CIRCULATION LAYOUT APPROVED
2/18/2021

Jaanne Wolfenbarger

CODE ANALYSIS

APPLICABLE CODES	
2015 INTERNATIONAL EXISTING BUILDING CODE	
2015 NEW MEXICO BUILDING CODE (TITLE 14)	
2009 ANSI	
OCCUPANCY GROUP	F-1, MARIJUANA PROCESSING
TYPE OF CONSTRUCTION (CH.6)	TYPE V-B, UNSPRINKLED
OCCUPANT LOAD (TABLE 1004.1.2)	
EXTG. MANUF. AREA	1381 SF @ 200 SF/ = 6.935 O.L.
NEW MANUF. AREA	172 SF @ 100 SF/ = 1.72 O.L.
EXTG. STORAGE	1632 SF @ 300 SF/ = 5.44 O.L.
TOTAL OCC. LOAD	14.095 O.L.
1 EXIT REQUIRED 2 PROVIDED	
14.095 @ .2' = 2.819' REQUIRED - 64' PROVIDED	
OCCUPANCY SEPARATION	
F PER TABLE 508.4	NO SEPARATION REQ. BTWN F-2

DRAWING INDEX

A1.1	CODE ANALYSIS / SITE PLAN
A2.1	FLOOR PLAN
A7.1	WALL SECTION/FNDN PLAN, ROOF PLAN
E1	ELECTRICAL PLAN
E2	POWER RISER DIAGRAM
F2.1	FIRE 2

SCOPE OF WORK

NEW FIRE-PROCESSING ADDITION TO EXISTING BUILDING
NEW ELECTRICAL AS SHOWN
NEW MECHANICAL AND PLUMBING AS SHOWN

ADDRESS

1912 FIRST STREET NW
ALBUQUERQUE, NEW MEXICO
87102

LEGAL DESCRIPTION

LOT 20
BLOCK 8
FRANCISCAN ADDN
H-14-Z
UPC NO.: 10140593307041203

ZONING

NR-GM, NON-RESIDENTIAL, GNRL MANUF.

BUILDING AREAS

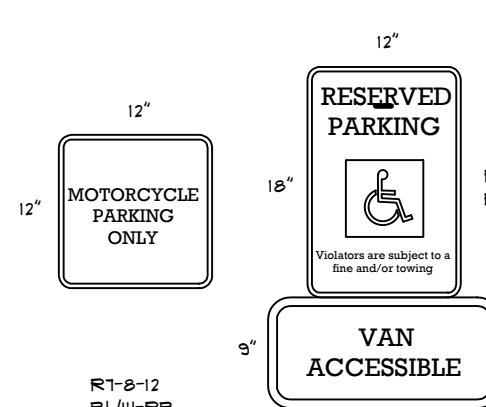
EXTG. MANUF. AREA	1,381 SF
EXTG. STORAGE	1,632 SF
NEW MANUF. AREA	172 SF
NEW TOTAL	3,191 SF

SPACE USE

EXISTING MANUF. SPACE

PARKING

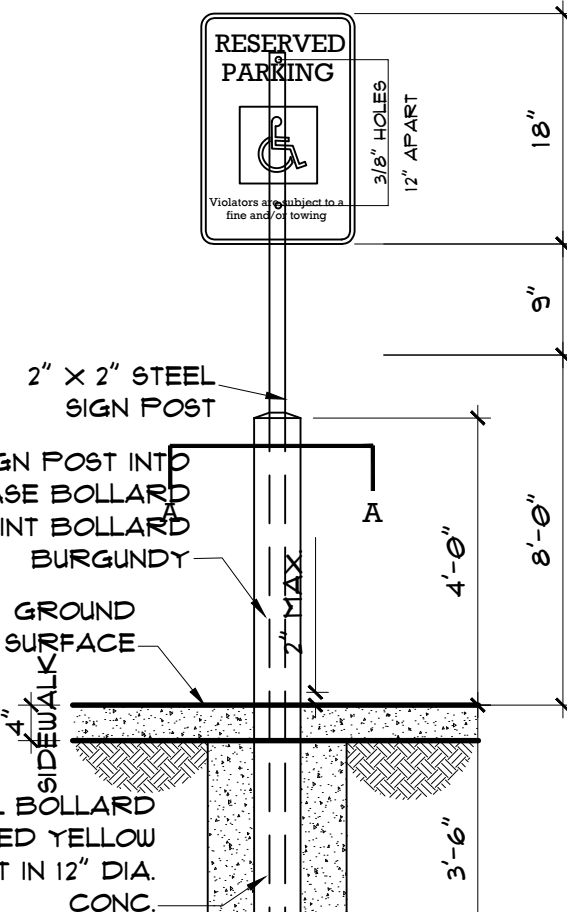
1 SPACE/1,000 GFA FOR 1,559 SF OF LIGHT MANUF. = 1.559	1 PROVIDED
1,932 SF OF STORAGE NO REQ.	1 PROVIDED
2 REQUIRED, 2 PROVIDED	3 BIKE REQ.
1 ADA SPACE REQ.	1 PROVIDED
1 MOTORCYCLE REQ.	1 PROVIDED
3 BIKE REQ.	



NOTE: LETTERING SHALL BE FHWA SERIES "B" ALPHABET

MOUNTING OPTIONS
A) FLEXIBLE P.E. POST WITH SURFACE MOUNT BASE - EPOXY TO PAVEMENT SURFACE
B) PERFORATED GALVANIZED TUBING INSTALL IN LANDSCAPE AREAS ONLY

BLACK BORDERS AND TEXT, ON WHITE OR REFLECTIVE BACKGROUND (TYP)
BOTTOM OF SIGN SHALL BE 6" STEEL BOLLARD NOT BE LESS THAN 4'-0" PAINTED YELLOW ABOVE FINISH SURFACE

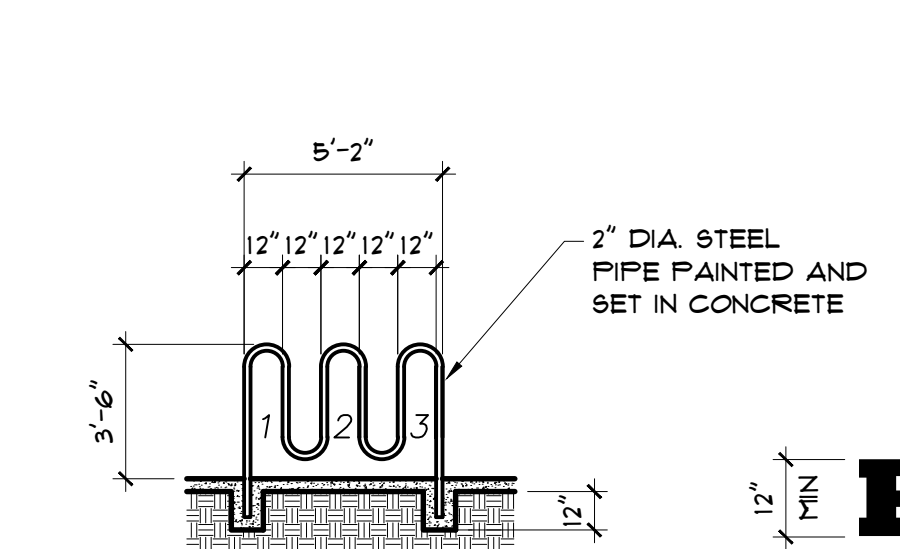


1 HANDICAP PARKING SIGNS

AI.1 NTS

2 SIGN MOUNTING DETAIL

AI.1 NTS

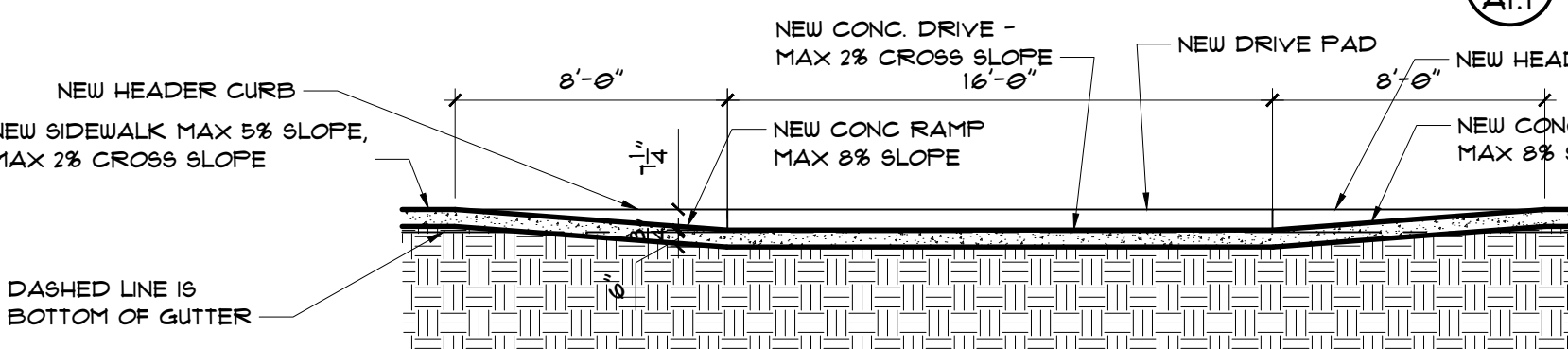


3 BICYCLE RACK

AI.1 N.T.S.

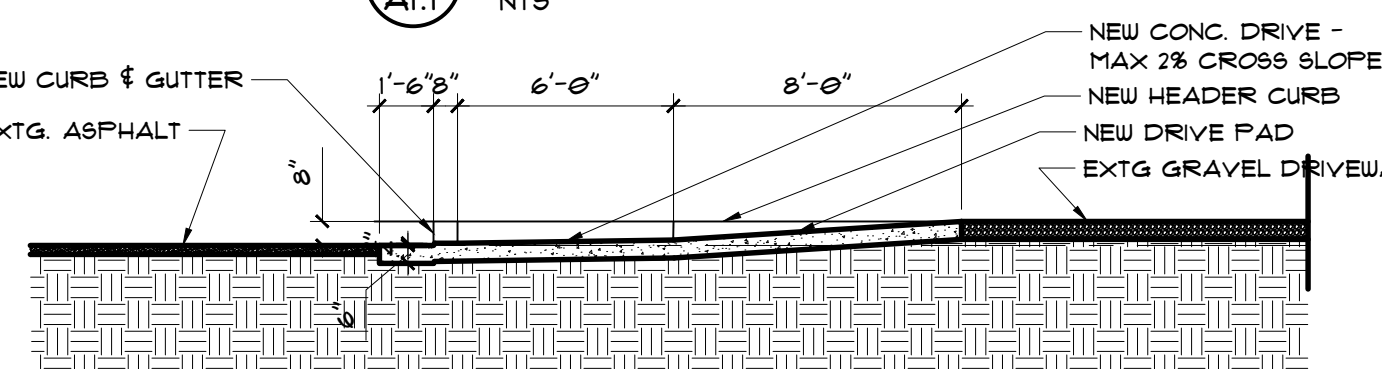
4 ADA ACCESS AISLE DTL.

AI.1 NTS



5 DRIVEPAD DETAIL

AI.1 N.T.S.

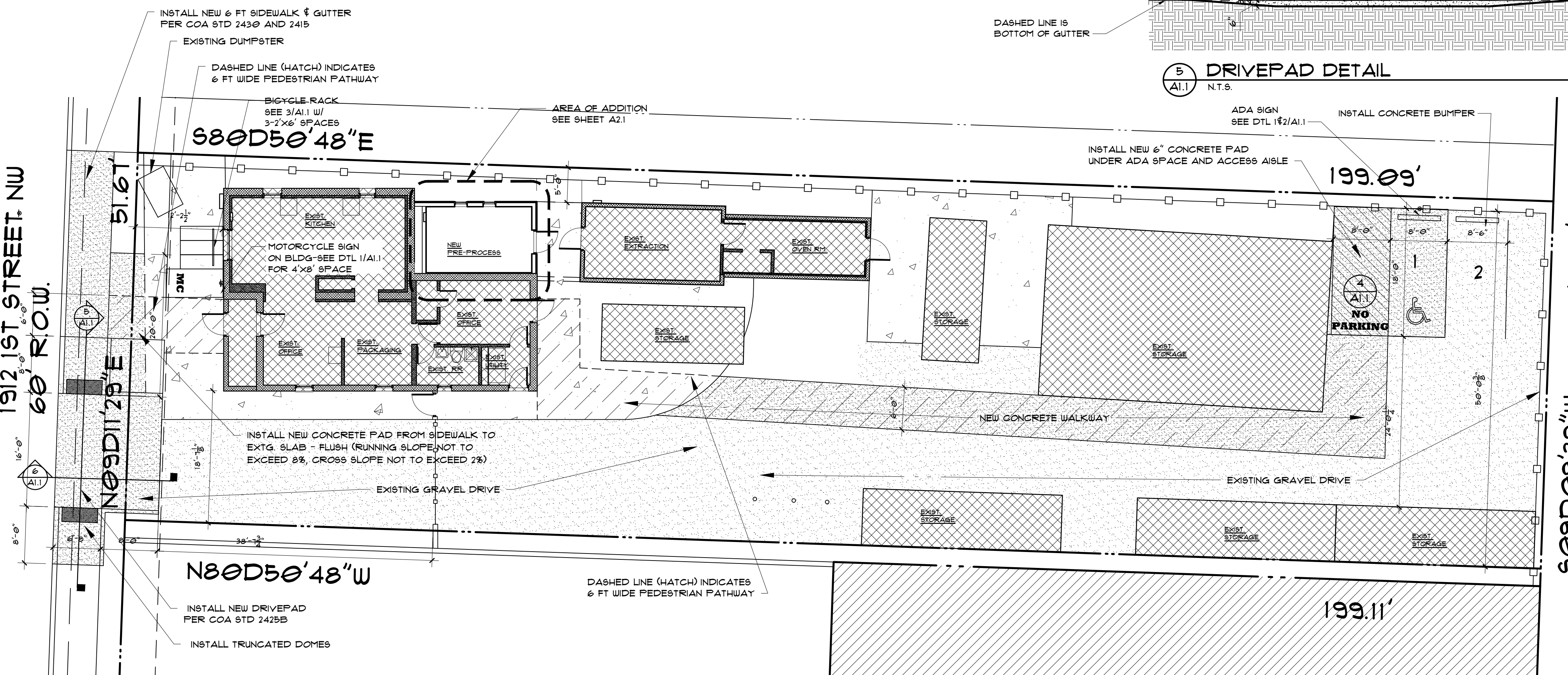


6 DRIVEPAD DETAIL

AI.1 NTS

PLUMBING FIXTURE COUNT											
TABLE 2301.1											
OCCUPANCY	USE	LOAD	RATIO	MALE	RATIO	FEMALE	RATIO	MALE	RATIO	FEMALE	DF
											DRINKING
											FOUNTAIN
											SINK
FABRICATION	15	1 PER 100	0.015	1 PER 100	0.015	1 PER 100	0.015	1 PER 100	0.015	1/400	0.0375
REQUIRED TOTALS											
PROVIDED TOTALS											

SEPARATE FACILITIES NOT REQUIRED IN STRUCTURES OR TENANT SPACES WITH AN OCC. LOAD LESS THAN 15
IBC SECTION 2302.2 EXCEPT 2

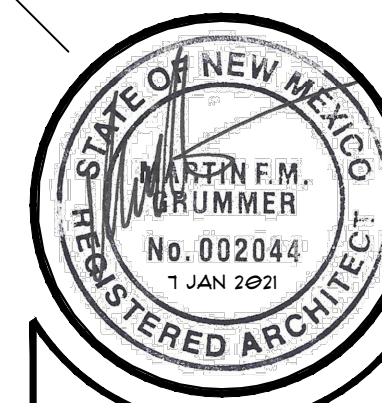


SITE PLAN

1" = 10'-0"

VICINITY MAP

N.T.S.



MARTIN F.M. GRUMMER
ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507

MOUNTAIN TOP EXTRACTS LLC
NEW BUILDING ADDITION
1912 FIRST STREET NW
ALBUQUERQUE, NEW MEXICO 87102

TCL

DATE: 1 JAN 2021
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

REVISIONS
14 JAN 2021

SHEET NO:
A1.1