

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

September 7, 2021

Martin Grummer, RA  
Martin Grummer Architect  
331 Wellesley Pl. NE  
Albuquerque, NM 87106

**Re: Mountaintop Extracts**  
**1912 1<sup>st</sup> St. NW 87102**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 1-7-21 (H14D113)  
Certification dated 8-9-21

Dear Mr. Grummer,

PO Box 1293  
Albuquerque  
NM 87103  
www.cabq.gov

Based upon the information provided in your pictures received 9-2-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque  
NM 87103  
www.cabq.gov

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

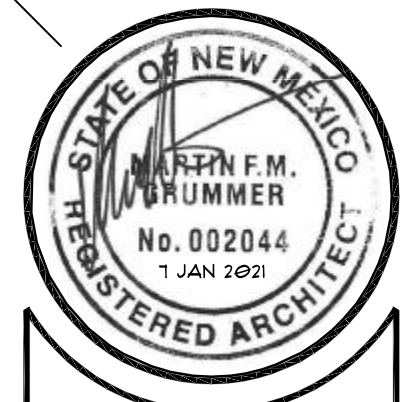
Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

# MOUNTAIN TOP EXTRACTS LLC

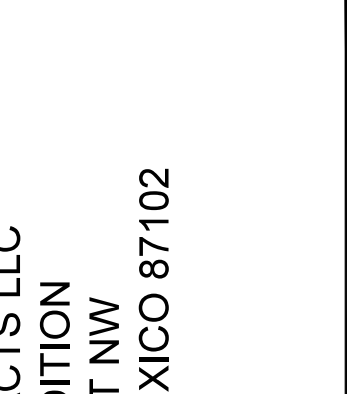
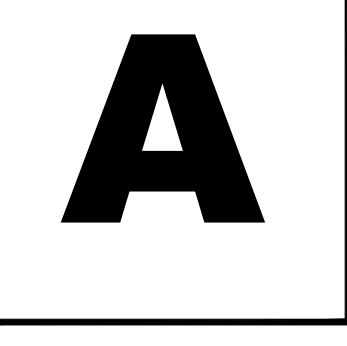
## NEW BUILDING ADDITION

### 1912 FIRST STREET NW

### ALBUQUERQUE, NEW MEXICO 87102



ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



SITE PLAN  
MOUNTAIN TOP EXTRACTS LLC  
NEW BUILDING ADDITION  
1912 FIRST STREET NW  
ALBUQUERQUE, NEW MEXICO 87102

TCL

DATE: 12 APR 2021  
DRAWN BY: MFMG  
CHECKED BY:  
VERIFIED BY:

REVISIONS  
14 JAN 2021

SHEET NO:  
**A1.1**

CODE ANALYSIS	
APPLICABLE CODES	
2015 INTERNATIONAL EXISTING BUILDING CODE	
2015 NEW MEXICO BUILDING CODE (TITLE 14)	
2009 ANSI	
OCCUPANCY GROUP	F-1, MARIJUANA PROCESSING
TYPE OF CONSTRUCTION (CH.6)	TYPE V-B, UNSPRINKLED
OCCUPANT LOAD (TABLE 1004.1.2)	
EXTG. MANUF. AREA	1381 SF @ 200 SF/ = 6.935 O.L.
NEW MANUF. AREA	172 SF @ 100 SF/ = 1.72 O.L.
EXTG. STORAGE	1632 SF @ 300 SF/ = 5.44 O.L.
TOTAL OCC. LOAD	= 14.095 O.L.
1 EXIT REQUIRED 2 PROVIDED	
14.095 @ 2'7" = 2.019' REQUIRED - 64" PROVIDED	
OCCUPANCY SEPARATION	
F PER TABLE 508.4	NO SEPARATION REQ. BTWN F-2

DRAWING INDEX	
A1.1	CODE ANALYSIS / SITE PLAN
A2.1	FLOOR PLAN
A1.1	WALL SECTION/FNDN PLAN, ROOF PLAN
E1	ELECTRICAL PLAN
E2	POWER RISER DIAGRAM
F2.1	FIRE 2

SCOPE OF WORK	
NEW PRE-PROCESSING ADDITION TO EXISTING BUILDING	
NEW ELECTRICAL AS SHOWN	
NEW MECHANICAL AND PLUMBING AS SHOWN	

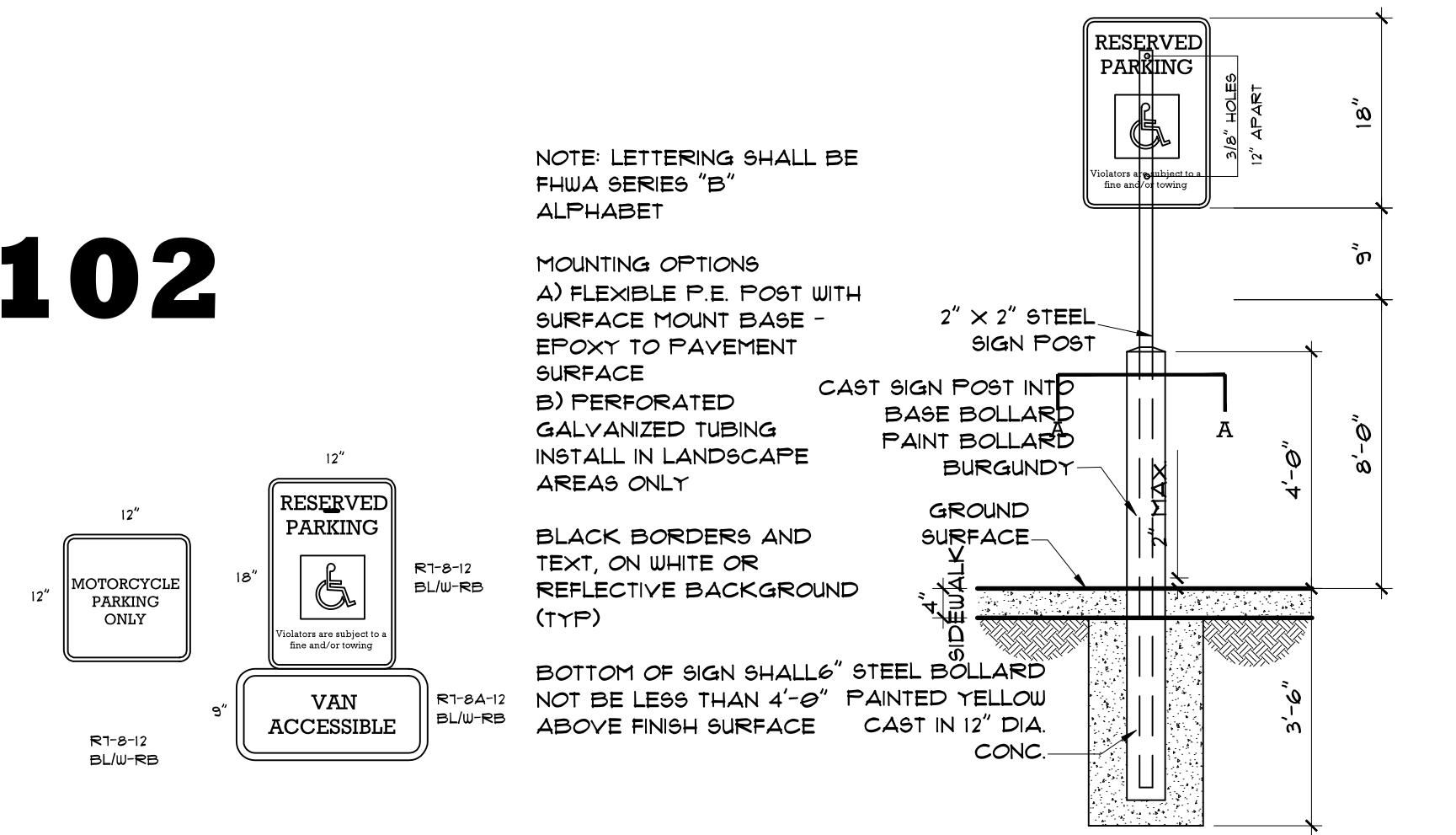
ADDRESS	
1912 FIRST STREET NW	
ALBUQUERQUE, NEW MEXICO	
87102	
LEGAL DESCRIPTION	
LOT 20	
BLOCK 8	
FRANCISCAN ADDN	
H-14-Z	
UPC NO: 101405939301041209	
ZONING	
NR-GM, NON-RESIDENTIAL, GNRL MANUF.	
BUILDING AREAS	
EXTG. MANUF. AREA	1,381 SF
EXTG. STORAGE	1,632 SF
NEW MANUF. AREA	172 SF
NEW TOTAL	3,191 SF
SPACE USE	
EXISTING MANUF. SPACE	
PARKING	
1 SPACE/1,000 GFA FOR 1,559 SF OF LIGHT MANUF. = 1.559	
1,932 SF OF STORAGE NO REQ.	
2 REQUIRED, 2 PROVIDED	
1 ADA SPACE REQ.	1 PROVIDED
1 MOTORCYCLE REQ.	1 PROVIDED
3 BIKE REQ.	3 PROVIDED

**EXISTING SPRINKLER SYSTEM**

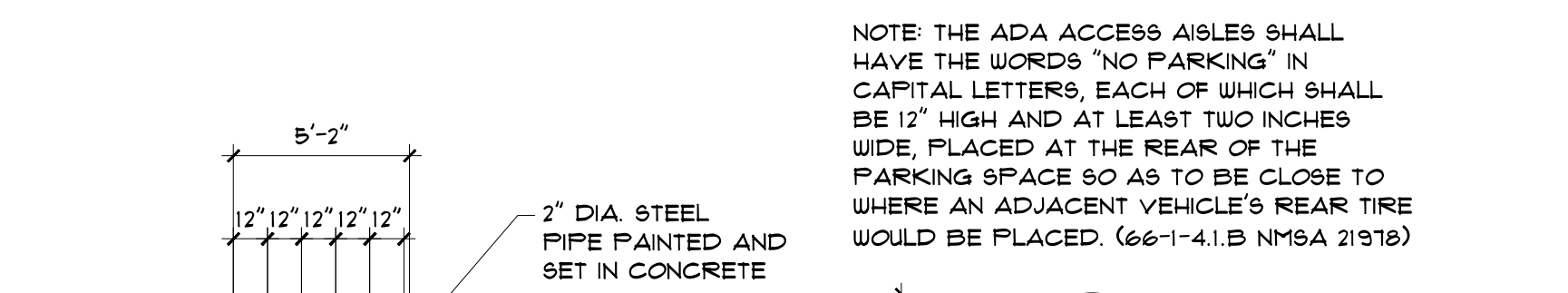
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL FOR ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, OR AN OTHER FIRE RELATED SYSTEM.
- THE FIRE SPRINKLER SYSTEM SHALL BE SUPERVISED WHEN REQUIRED BY THE 2015 INTERNATIONAL FIRE CODE.
- FIRE EXTINGUISHERS (IFC TABLE 906.3.1)  
1/ 3000 SF ONE 2A10BC PER BLDG.  
REQUIRED MAXIMUM TRAVEL DISTANCE = 15'

PLUMBING FIXTURE COUNT										
TABLE 2901.1										
OCCUPANCY USE	LOAD	RATIO	WATER CLOSETS		LAVATORIES		DF RATIO	DRINKING FOUNTAIN	SERVICE SINK	
			MALE	FEMALE	MALE	FEMALE				
FABRICATION	15	1 PER 100	0.015	1 PER 100	0.015	1 PER 100	0.015	1/400	0.0375	1
REQUIRED TOTALS			1	1	1	1	1	1	1	1
PROVIDED TOTALS			1	1	1	1	1	1	1	1

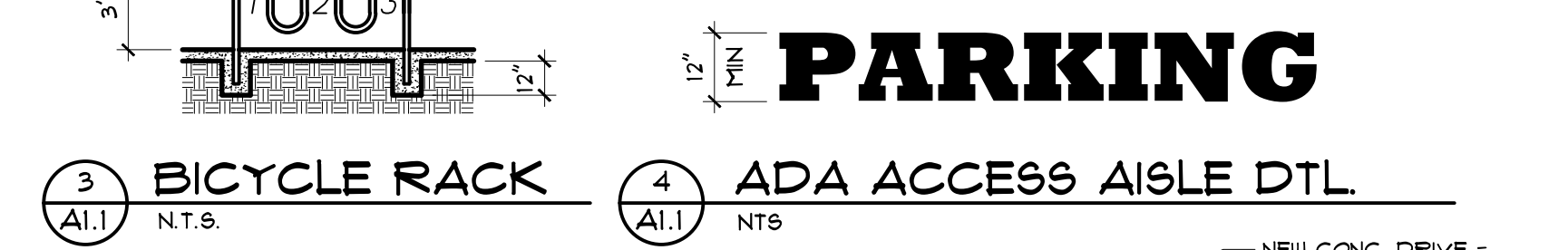
SEPARATE FACILITIES NOT REQUIRED IN STRUCTURES OR TENANT SPACES WITH AN OCC. LOAD LESS THAN 15 IBC SECTION 2902.2 EXCEP. 2



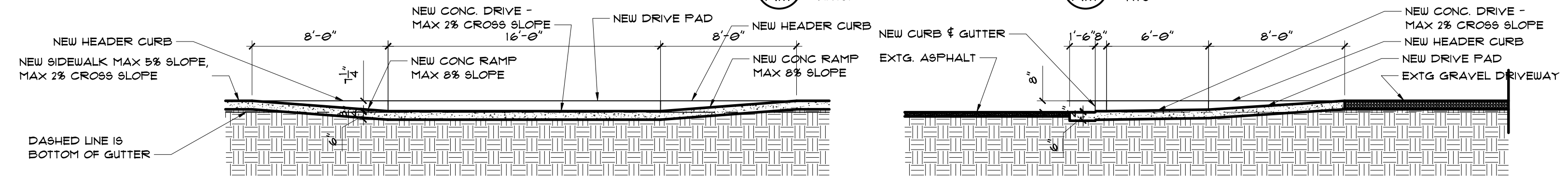
2 SIGN MOUNTING DETAIL



3 BICYCLE RACK

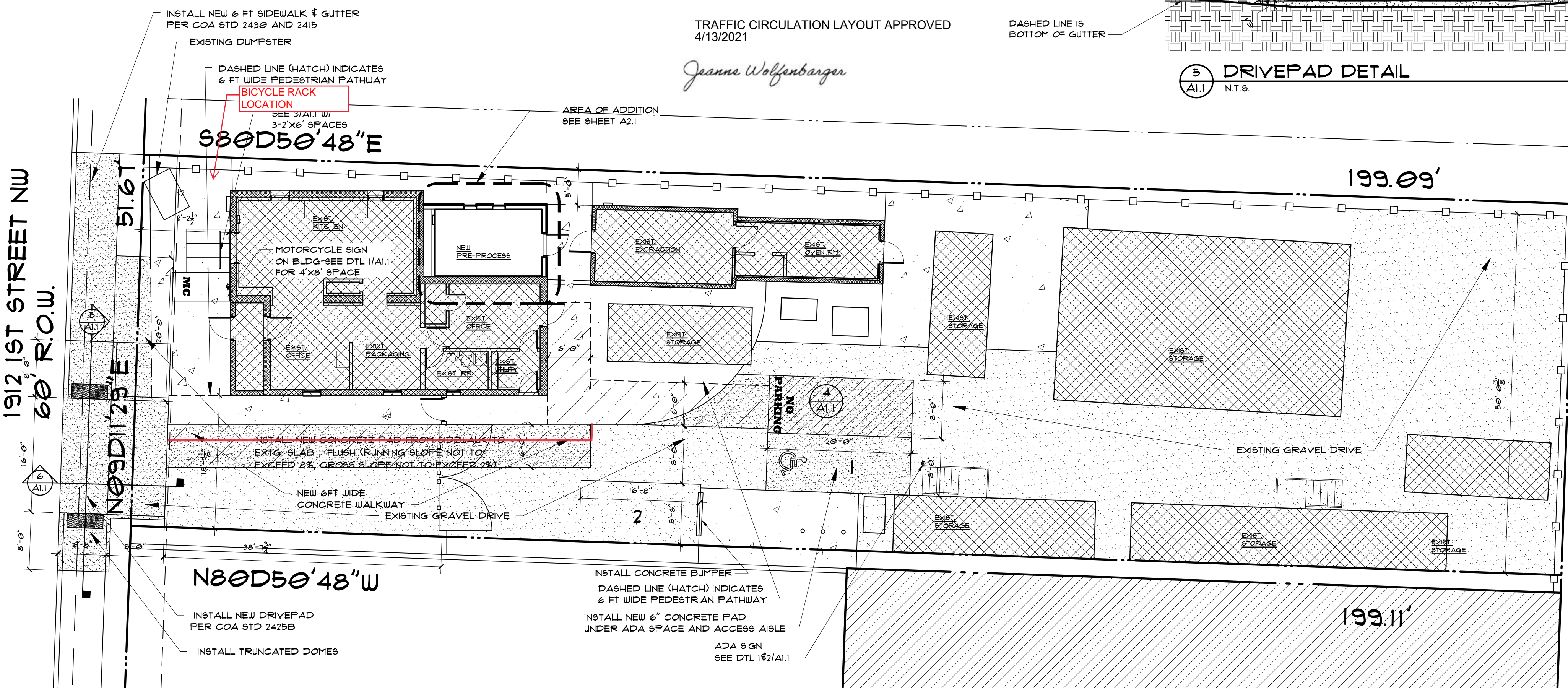


4 ADA ACCESS AISLE DTL



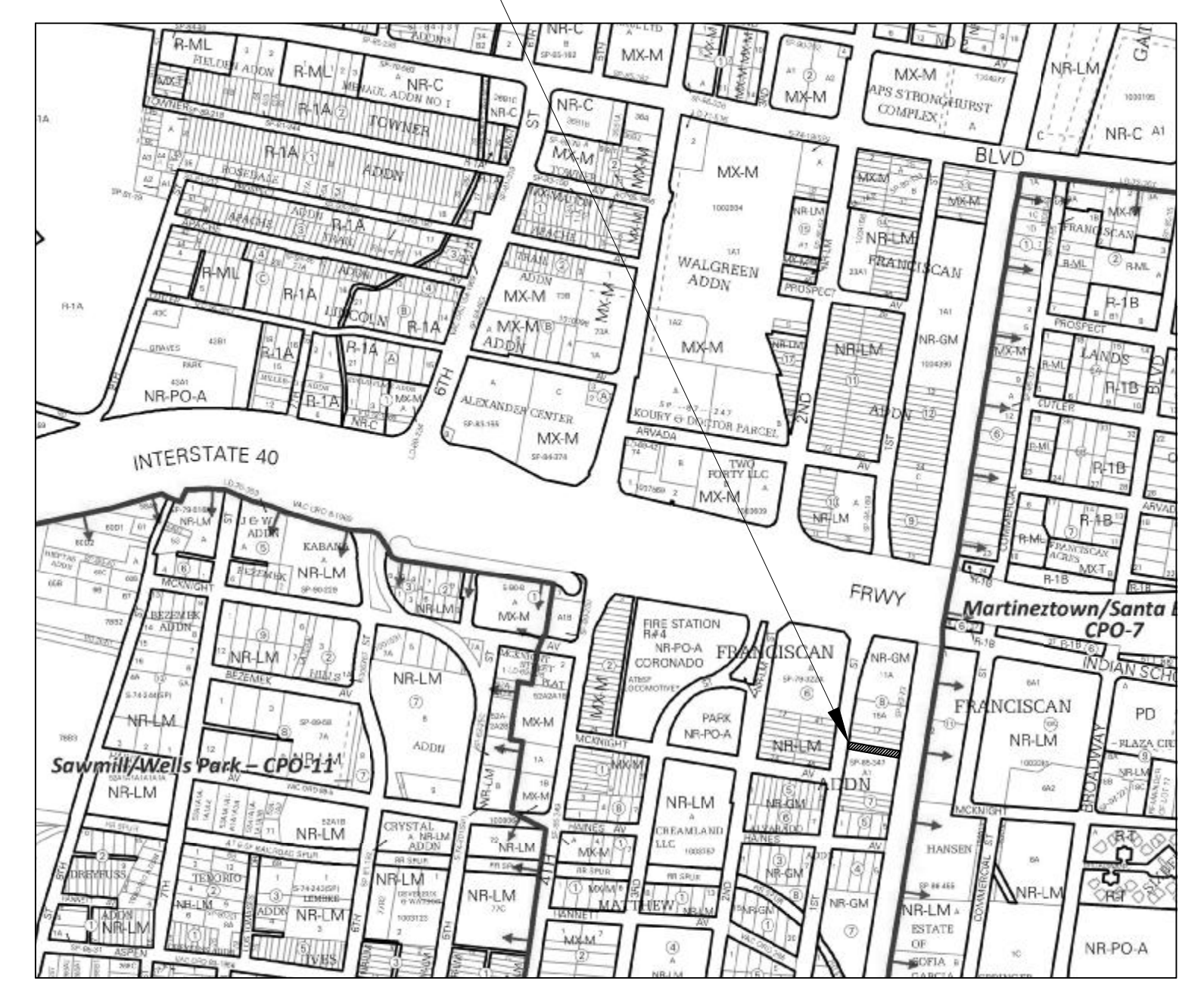
5 DRIVEPAD DETAIL

6 DRIVEPAD DETAIL



SITE PLAN

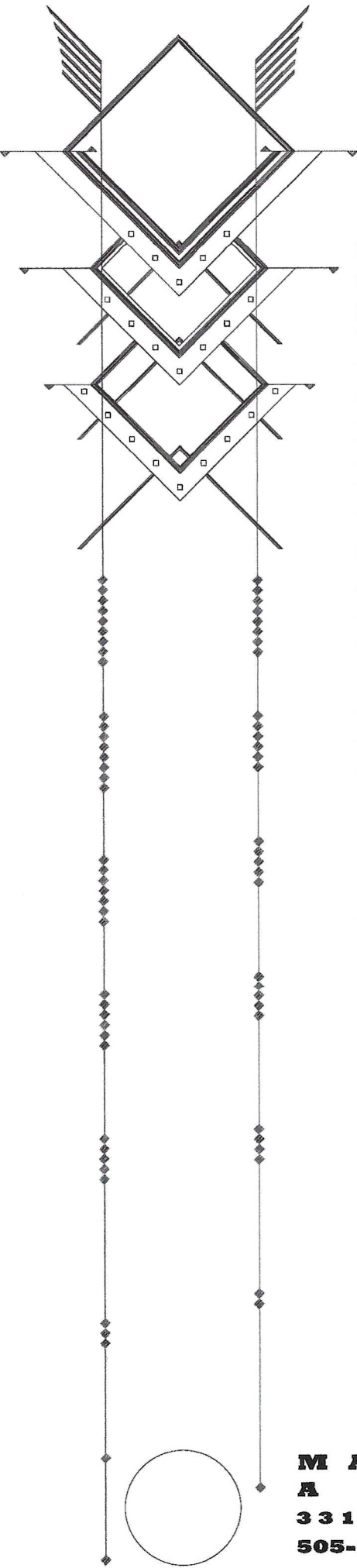
1" = 10'-0"



VICINITY MAP

N.T.S.





**TRAFFIC CERTIFICATION**

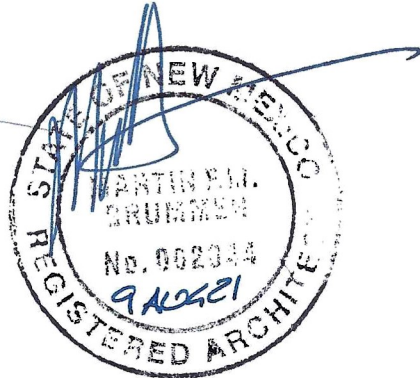
I, MARTIN GRUMMER, NMRA 2044, OF THE FIRM MARTIN GRUMMER - ARCHITECT, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12 Apr 2021. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY MARTIN GRUMMER OF THE FIRM MARTIN GRUMMER - ARCHITECT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 6 Aug 2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

*BICYCLE RACK WAS NOT INSTALLED AS DRAWN BUT WAS RELOCATED TO BE JUST EAST OF THE ADA SIGNAGE AND PARKING SPACE. THE OWNER WAS CONCERNED WITH THEFT IN THE NEIGHBORHOOD AND WANTED IT LOCATED BEHIND THE GATE.*

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

**Martin FM Grummer**

Date: 9 August 2021



**M A R T I N F M G R U M M E R**  
**A R C H I T E C T**  
**331 WELLESLEY PL NE ALBUQUERQUE, NM 87106**  
**505-265-2507** [mgrummer@centurylink.net](mailto:mgrummer@centurylink.net)