

CITY OF ALBUQUERQUE



Planning Department
Brennon Williams, Director

Mayor Timothy M. Keller

March 23, 2021

Peter Butterfield, RA
13013 Glenwood Hills Ct. NE
Albuquerque, NM 87111

Re: **Entry Ramps & Stair**
1 Claremont Ave NW
Traffic Circulation Layout
Engineer's/Architect's Stamp 03-10-21 (H14-D114)

Dear Mr. Butterfield,

The TCL submittal received 03-23-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Nilo Salgado-Fernandez.
Senior Traffic Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

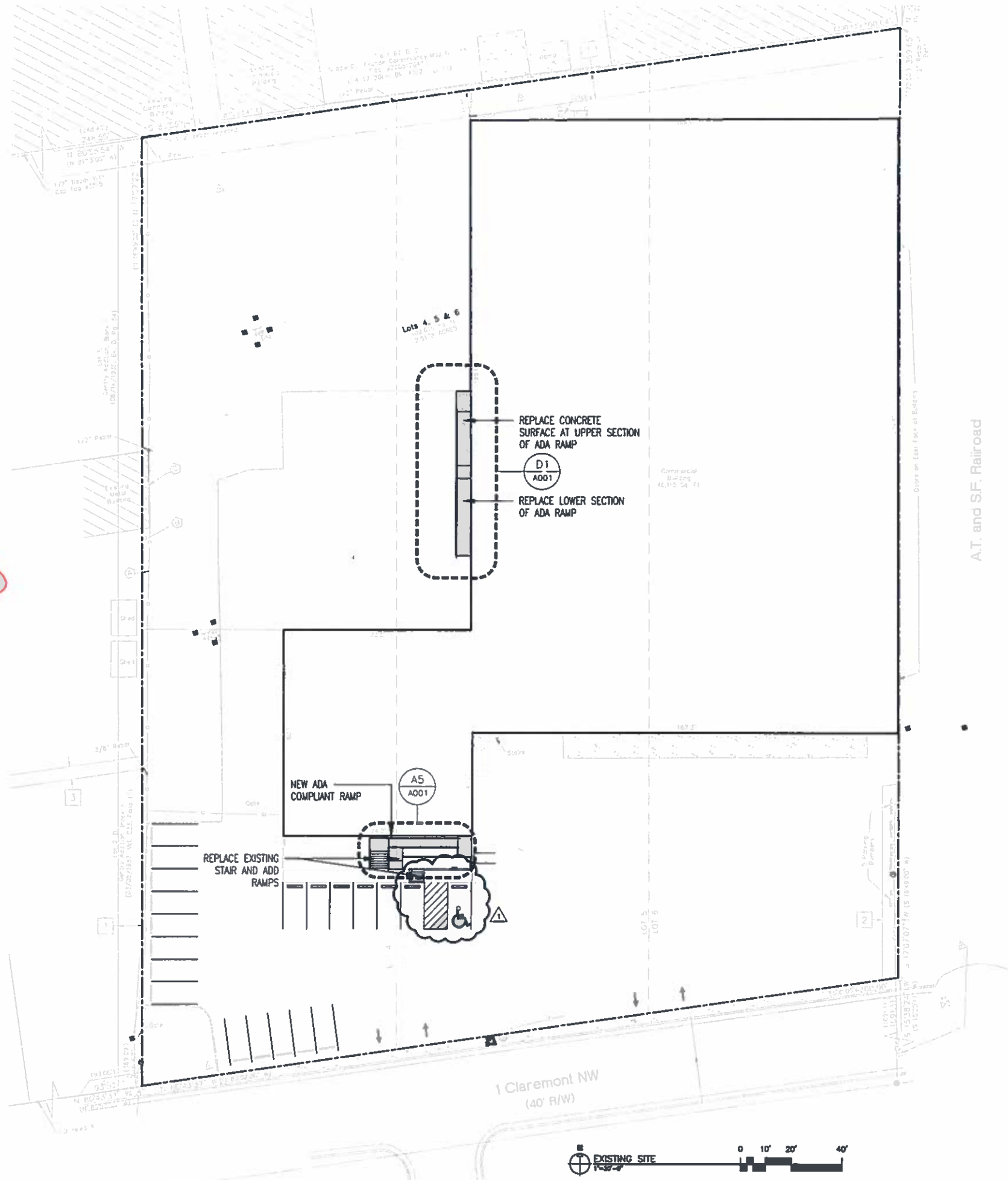
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: *[Signature]*
Date: 3/23/21



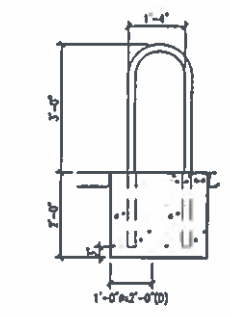
<p>SITE DATA</p> <p>ZONING DATA DESIGNATION: MR-LM UPC: 101425848149812911 Owner: ASADA LLC Owner Address: PO BOX 7817 ALBUQUERQUE NM 87184 Site Address: 1 CLAREMONT AVE NW ALBUQUERQUE NM 87107 Legal Description: LT 5 BLK 1 GENTRY ADDN Acres: 2.52</p> <p>OCCUPANCY TYPE U (UTILITY AND MISCELLANEOUS GROUP)</p> <p>PROJECT DESCRIPTION REPLACE EXISTING EXTERIOR CONCRETE ADA RAMP & STAIR</p> <p>VICINITY MAP</p> <p>IDO Zone Atlas May 2018</p>
<p>CODE DATA</p> <p>PROJECT DESCRIPTION REPLACE EXISTING EXTERIOR CONCRETE ADA RAMP & STAIR</p> <p>OCCUPANCY CLASSIFICATION U (UTILITY AND MISCELLANEOUS GROUP)</p> <p>CONSTRUCTION TYPE R-8 (NON-SPRINKLED)</p> <p>CONSTRUCTION AREA DATA ENCLOSED AREA: 774 S.F.</p>
<p>REQUIRED PLUMBING FIXTURES</p> <p>N/A</p>

<p>DRAWING INDEX</p> <p>1 000 CODE DATA / SITE PLAN 2 A001 RAMP PLANS AND SECTION/DETAILS 3 S101 STRUCTURAL DRAWINGS</p>

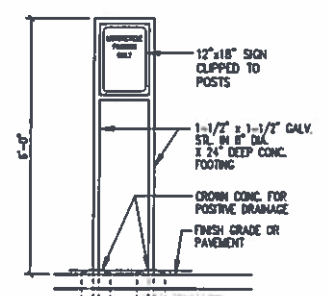
DRAWING NAME

REVISIONS

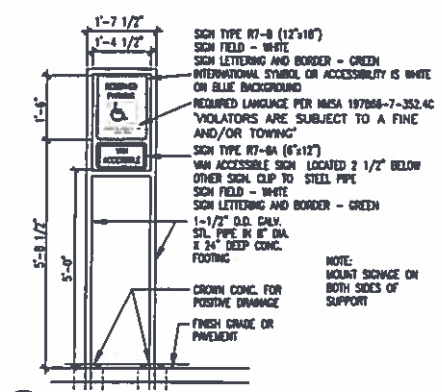
△ RELOCATE ADA RAMP TO EXISTING ADA STALL LOCATION



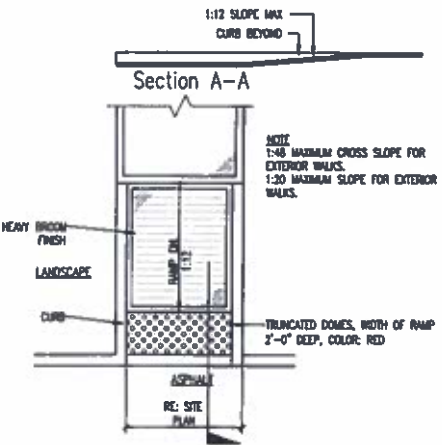
2 BICYCLE RACK
1/2"=1'-0"



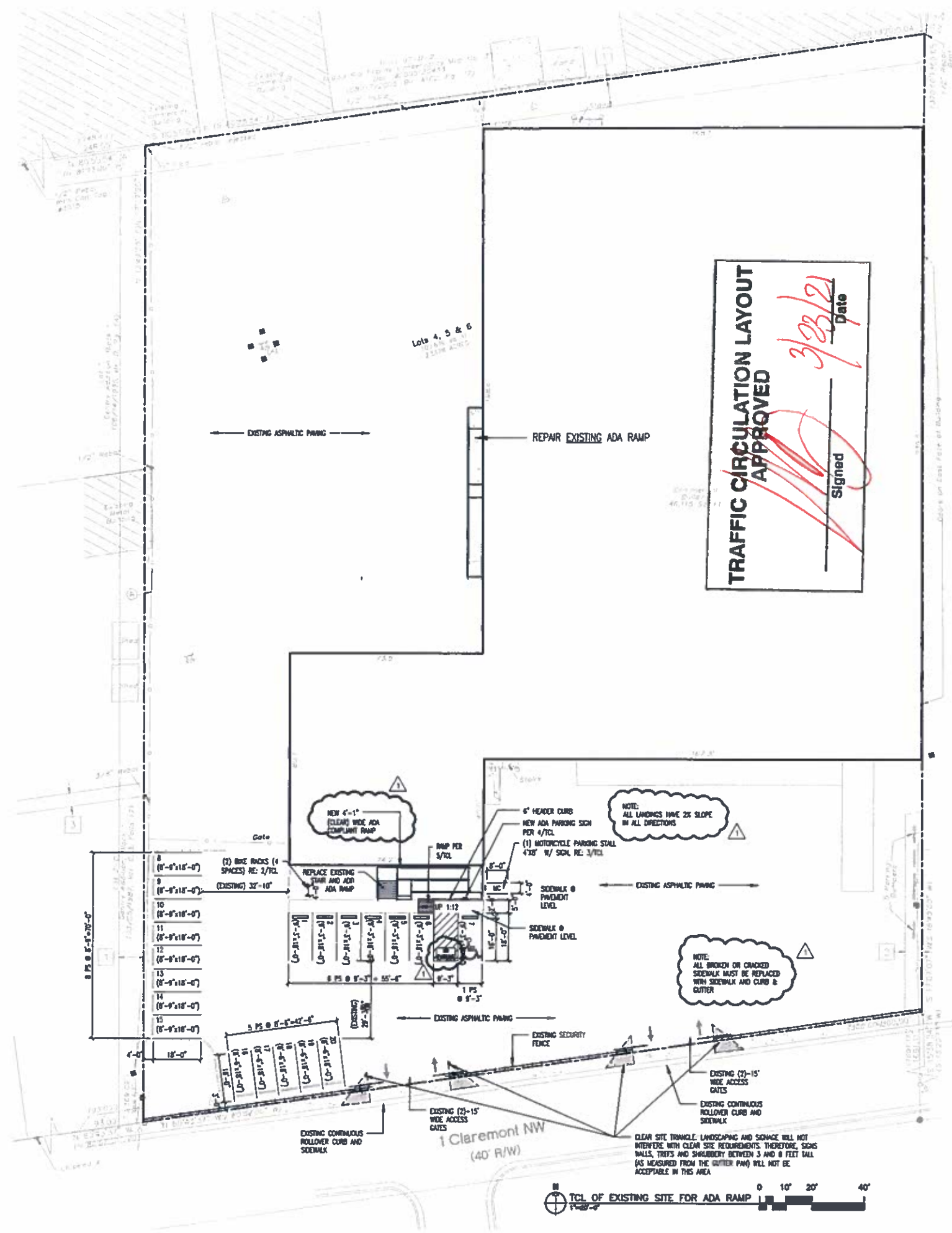
3 MOTORCYCLE SIGN ELEVATION
1/2"=1'-0"



4 H.C. SIGN ELEVATION
1/2"=1'-0"



5 RAMP & SIDEWALK SECTION
1/2"=1'-0"



EXECUTIVE SUMMARY
PROJECT IS LOCATED IN ZONE GRID MAP LOCATION H-14-Z AS INDICATED BELOW. ZONED NR-LM. THE PROJECT IS ADDING AN ADA COMPLIANT ACCESSIBLE RAMP TO AN EXISTING 46,115 S.F. WAREHOUSE WITH ACCESSORY OFFICES.

ZONING DATA
DESIGNATION: NR-LM
UPC: 10140544814812811
OWNER: ASADA LLC
OWNER ADDRESS: PO BOX 7817 ALBUQUERQUE NM 87184
SITE ADDRESS: 1 CLAREMONT AVE NW ALBUQUERQUE NM 87107
LEGAL DESCRIPTION: LT 5 BLK 1 GENTRY ADDN
Acres: 2.25

OCCUPANCY TYPE:
OFFICE - WAREHOUSE

PARKING REQUIREMENTS:
OFFICE: (3.5 STALLS PER 1000 S.F.) = 5700 SF/285 = 20 PARKING STALLS
WAREHOUSE: NO REQUIREMENT
20 STALLS REQUIRED (20 STALLS PROVIDED)

ADA STALLS REQUIRED: 1
ADA STALLS PROVIDED: 1 (VAN ACCESSIBLE)

MOTORCYCLE SPACES REQUIRED: 1
MOTORCYCLE SPACES PROVIDED: 1

BICYCLE SPACES REQUIRED: 3
BICYCLE SPACES PROVIDED: 4

ADA SITE NOTES
SIGNAGE (IMBGC 1110.1 AND ANSI 502.7)
• A VERTICAL SIGN IS CENTERED AT THE HEAD OF EACH PARKING SPACE.
• CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND, OR DARK CHARACTERS ON A LIGHT BACKGROUND.
• SIGN DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (NOTE: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PROVIDES WHITE SYMBOLS AND LETTERS ON A BLUE BACKGROUND, HOWEVER, ANSI AND 2010 STANDARDS DO NOT SPECIFY COLORS FOR SIGNAGE.)
• SIGNS TO BE WHITE BACKGROUND WITH A GREEN BORDER AND LEGEND (MUTCD SIGN 87-8 AND 87-8A).
• SIGN MUST INCLUDE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" (06-7-352.4C MNSA 1978 EFFECTIVE 7-01-2010). VAN ACCESSIBLE SIGNS ARE PROVIDED BELOW THE OTHER SIGN.
• THE VAN SPACE SIGNAGE IS NEEDED TO ALERT VAN USERS TO THE PRESENCE OF THE WIDER AISLE, BUT THE SPACE IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS. (2010 STANDARDS 502.5)
• IN PARKING LOTS THE BOTTOM OF THE SIGN IS 60" MINIMUM ABOVE THE GROUND OR PARKING SURFACE. (ANSI 502.7)
• ALONG THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS THE BOTTOM OF THE MUTCD 87-8 SIGN TO BE 84" ABOVE THE GROUND.
• IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.
PAVEMENT MARKINGS (IMBGC 1110.3)
• PARKING SPACE HAS A CLEARLY VISIBLE, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON THE PAVEMENT AT REAR OF THE SPACE (06-1-4.1.E MNSA 1978) OR MUTCD RECOMMENDS A WHITE SYMBOL ON A BLUE BACKGROUND.
• PARKING SPACE LINES BE PAINTED BLUE.
• ACCESS AISLE HAS BLUE, DIAGONAL STRIPING. (06-1-4.1.B MNSA 1978).
• ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED. (06-1-4.1.B MNSA 1978).
• IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

GENERAL NOTES
• WORK ORDER REQUIRED FOR WORK WITHIN PUBLIC RIGHT OF WAY WITH DRC APPROVED PLANS.
• ALL COA ROW CURB AND GUTTER, SIDEWALK, RAMPS AND DRIVEPADS MUST BE IN GOOD CONDITION AND ADA ACCESSIBLE IF APPLICABLE. ANY ITEMS IN DISREPAIR MUST BE REMOVED AND REPLACED TO NEAREST CONTROL JOINT.
• LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE SIGNS, TREES, AND SHRUBBERY BETWEEN 'J' AND 'B' TALL (AS MEASURED FROM GUTTER PAW) WILL NOT BE ACCEPTABLE IN THIS AREA.
• MAXIMUM SLOPE PERMITTED AT ADA STALLS AND ACCESS AISLES IS 2% (1:50)

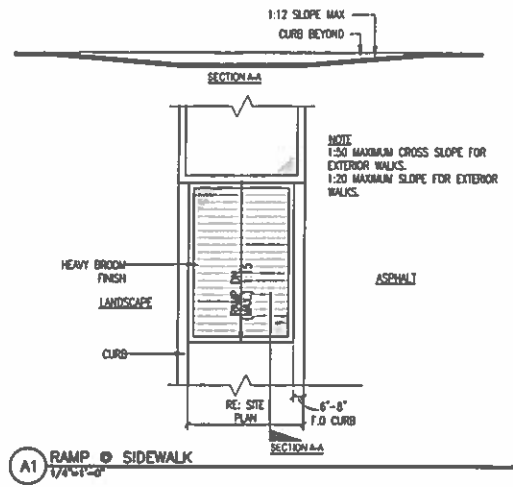
LEGEND
N 80°00'00" E MEASURED BEARING AND DISTANCES
(N 80°00'00" E) RECORD BEARINGS AND DISTANCES PER PLAT OR RECORD FOUND AS INDICATED
● FIRE HYDRANT
⊗ SANITARY MARKER "LS (427)"
⊠ COVERED AREA
● POLE
--- OVERHEAD UTILITY LINES
ANCHOR
LIGHT POST
X WATER VALVE
● WATER METER
● SANITARY SOWER MANHOLE
X GAS VALVE
□ UTILITY PEDESTAL
⊠ TO BE REMOVED

IDO Zone Atlas May 2018
H-14-Z
AGIS
SHEET NO.

peter butterfield
architect 13013 glenwood hills ct. ne
albuquerque nm 87111 (ph) 505 332 9323 (fax) 212 0801

STATE OF NEW MEXICO
REGISTERED ARCHITECT
NO. 3850
NLS 3

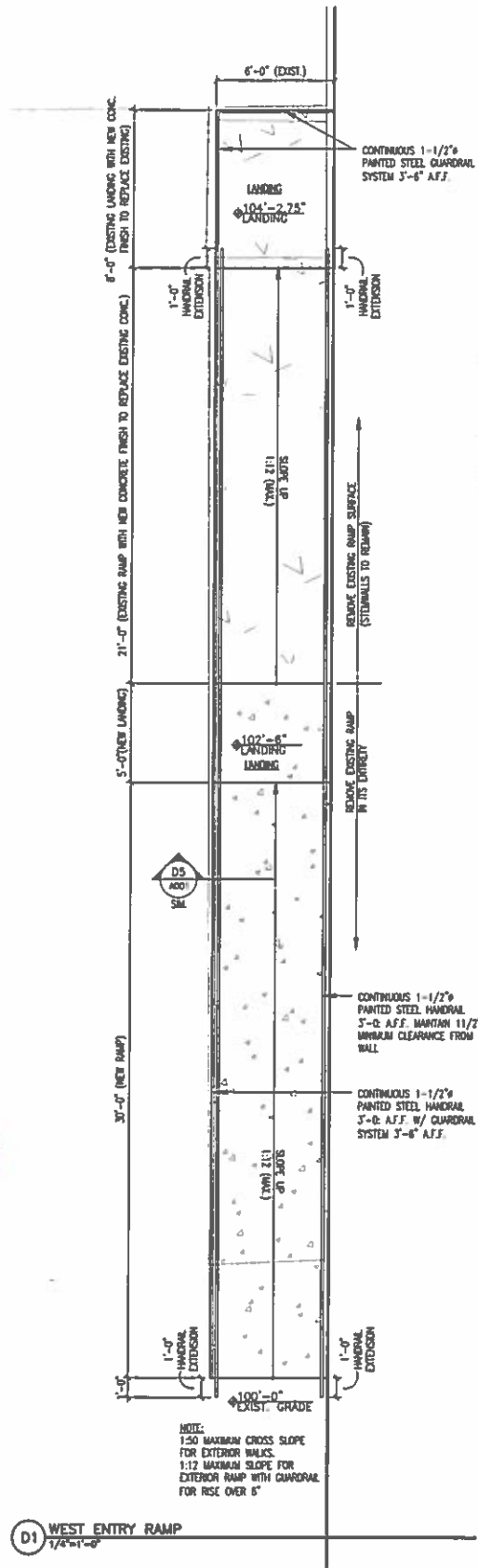
Entry Ramps & Stair
1 Claremont Avenue NW
Albuquerque NM 87107
TCL



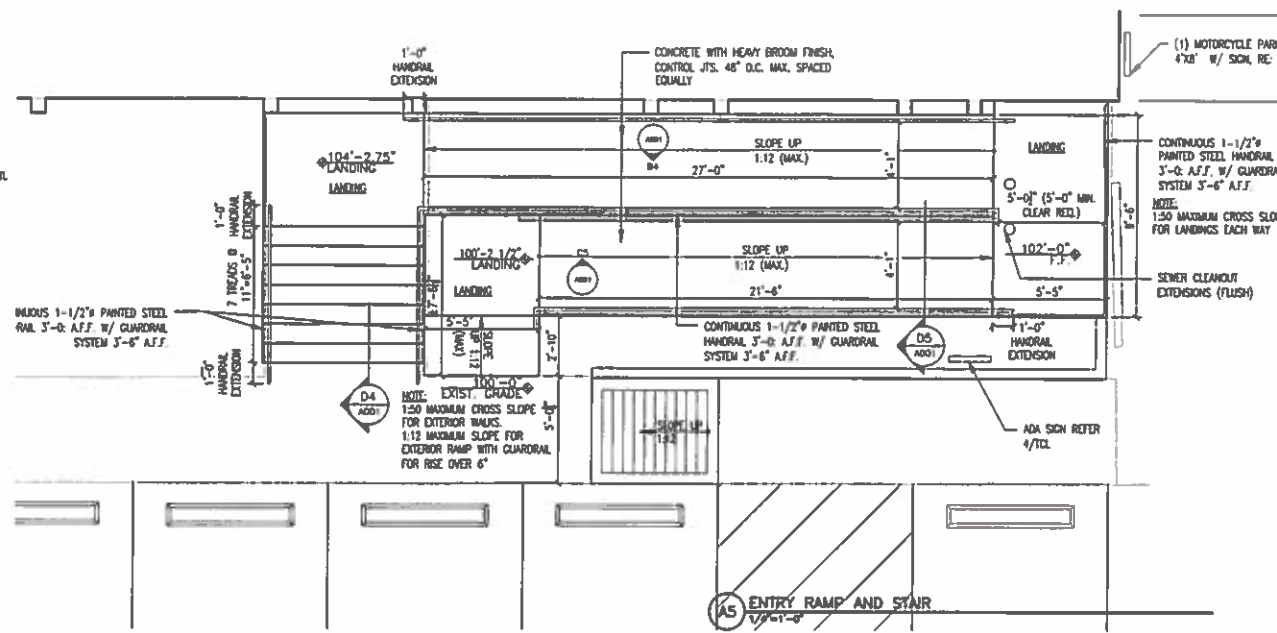
A1 RAMP & SIDEWALK
1/4"=1'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED

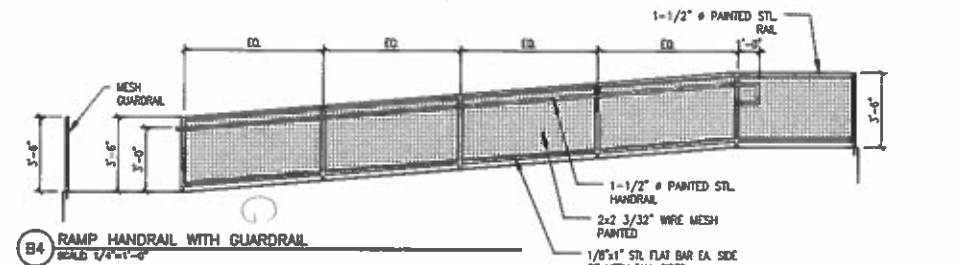
Date: 3/23/24
Signed: _____



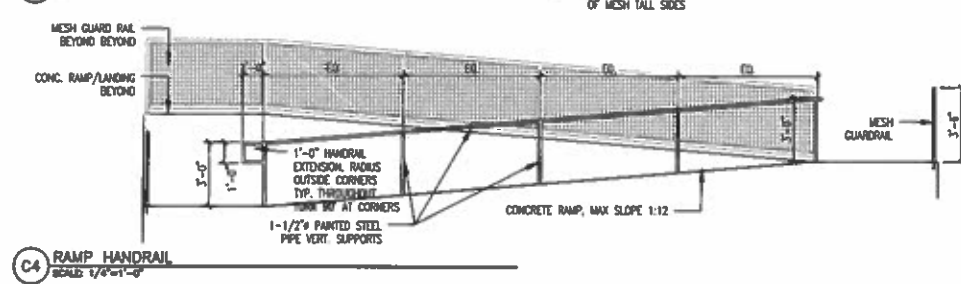
D1 WEST ENTRY RAMP
1/4"=1'-0"



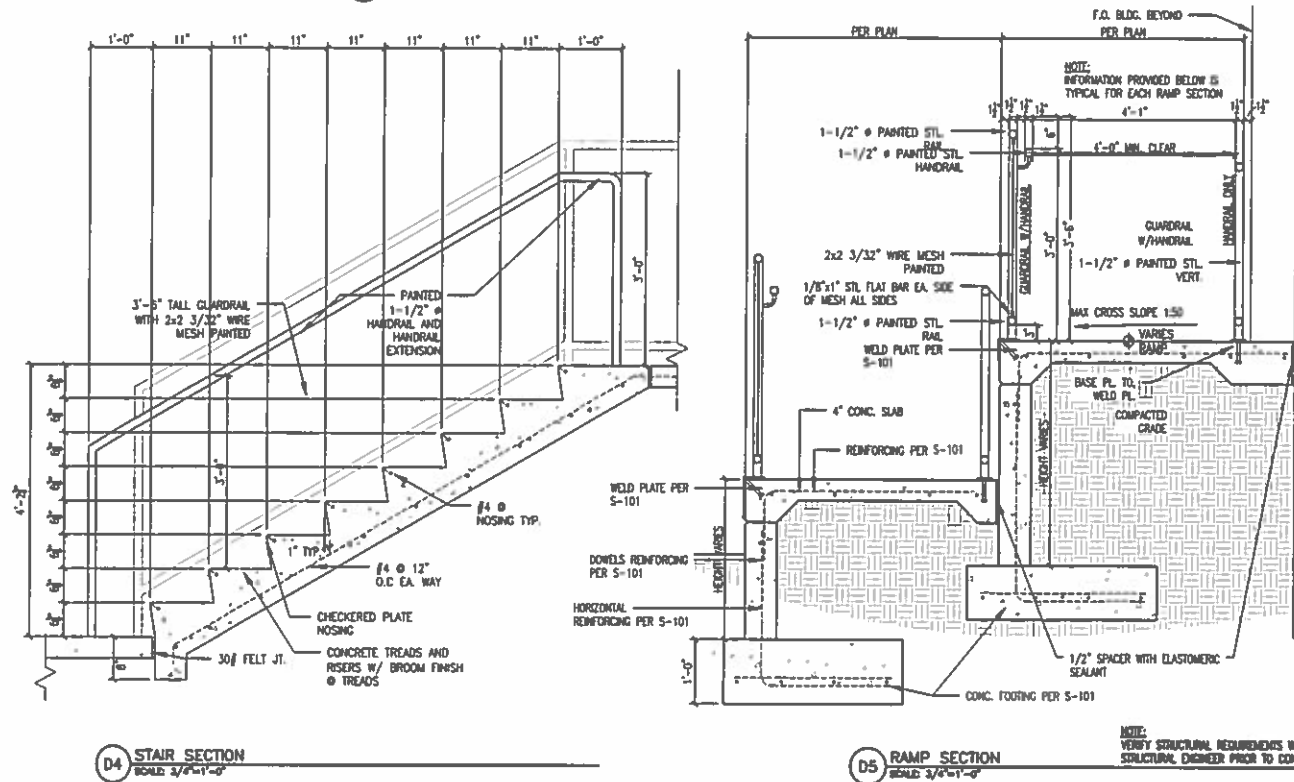
AS ENTRY RAMP AND STAIR
1/4"=1'-0"



B4 RAMP HANDRAIL WITH GUARDRAIL
SCALE: 1/4"=1'-0"



C4 RAMP HANDRAIL
SCALE: 1/4"=1'-0"



D4 STAIR SECTION
SCALE: 3/4"=1'-0"

D5 RAMP SECTION
SCALE: 3/4"=1'-0"



DRAWING NAME
REVISIONS
▲
▲