

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 1, 2023

Evan Berger, RA
Archis Architects
4700 Lincoln Rd. NE
Albuquerque, NM 87109

**Re: Apache Trail Town Homes
428 & 424 Prospect Ave. NW
Traffic Circulation Layout
Architect's Stamp 01-05-23 (H14-D116)**

Dear Mr. Berger,

The TCL submittal received 01-09-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

EXECUTIVE SUMMARY

NEW CONSTRUCTION 4-UNIT TOWN HOMES PHASE 1 (1320 SQUARE FEET) ON A CURRENTLY VACANT LOT. DESIGN GUIDELINES SHALL FOLLOW ALL COA STANDARDS.

BOTH LOTS OF 11-A AND 9-A WILL BE DEVELOPED IN PHASES AND OWNED BY ONE OWNER. PHASE 1 WILL CONSIST OF THE WEST LOT (11-A) TO BE DEVELOPED WITH PAD SITE AND BUILDING WHILE THE REST OF THE LOTS WILL BE DEVELOPED WITH INFRASTRUCTURE INCLUDING ALL PARKING AND PAVING. PHASE 2 WILL INCLUDE THE PAD SITE AND BUILDING FOR LOT 9-A AND IS NOT A PART OF THIS PROJECT AT THIS TIME.

TRAFFIC CIRCULATES ON THE NORTH SIDE OF THE LOT TO PROVIDE ALL RESIDENCES, INCLUDING PHASE 2 RESIDENCES 1 PARKING SPOT PER UNIT

SITE INFORMATION

INTEGRATED DEVELOPMENT ORDINANCE (2020)
 ZONE DISTRICT - MX-M
 ZONE ATLAS PAGE - H-14-Z

TABLE 2-4-5 MX-M, GENERAL DIMENSIONAL STANDARDS
 USABLE OPEN SPACE = 25 BR: 350 SQ FT./UNIT
 BUILDING HEIGHT = 48 FT MAX

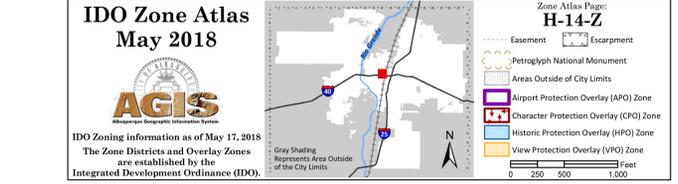
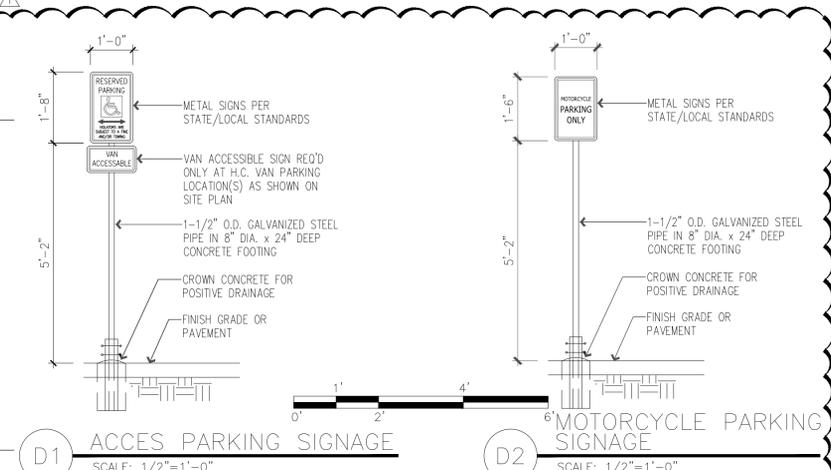
FRONT SETBACK = 5' MIN / N/A MAX
 SIDE SETBACK = (INT 0' MIN/MAX) / (STREET 5' MIN/ N/A MAX)
 REAR SETBACK = 15' MIN

PARKING (INTEGRATED DEVELOPMENT ORDINANCE)

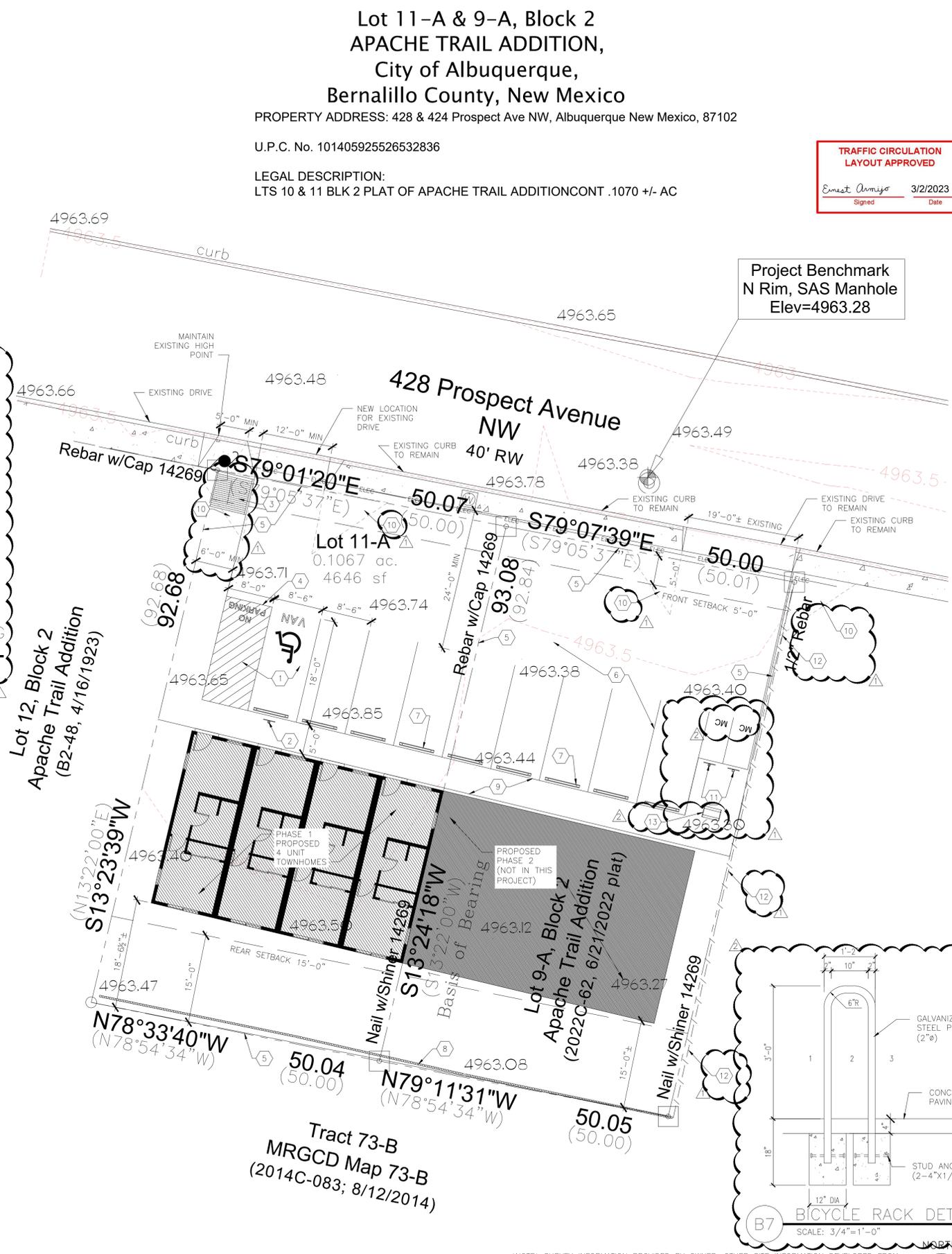
TABLE 5-5-1 OFF-STREET PARKING DWELLING, TOWNHOUSE
 1 SPACE PER DU UP TO 2BR = 4 (>2BR DU) = 4
 REQUIRED SPACES = 4 REGULAR
 3 BICYCLE
 1 MOTORCYCLE
 PROVIDED SPACES = 9 REGULAR
 3 BICYCLE
 1 MOTORCYCLE

NMBC, SECTION 2, TABLE 1106.1 - ACCESSIBLE PARKING SPACES
 1 TOTAL REQUIRED, 1 TO BE VAN ACCESSIBLE

TOTAL OFF-STREET SPACES PROVIDED = 9 SPACES
 STANDARD PARKING PROVIDED = 8 SPACES
 ADA/VAN PARKING PROVIDED = 1 VAN



A1 ZONE ATLAS MAP
SCALE: NTS



A3 ARCHITECTURAL SITE PLAN - TCL
SCALE: 1" = 10'-0"

**Lot 11-A & 9-A, Block 2
 APACHE TRAIL ADDITION,
 City of Albuquerque,
 Bernalillo County, New Mexico**

PROPERTY ADDRESS: 428 & 424 Prospect Ave NW, Albuquerque New Mexico, 87102

U.P.C. No. 101405925526532836

LEGAL DESCRIPTION:
 LTS 10 & 11 BLK 2 PLAT OF APACHE TRAIL ADDITIONCONT .1070 +/- AC

TRAFFIC CIRCULATION LAYOUT APPROVED
 Ernest Armijo 3/2/2023
 Signed Date

GENERAL NOTES

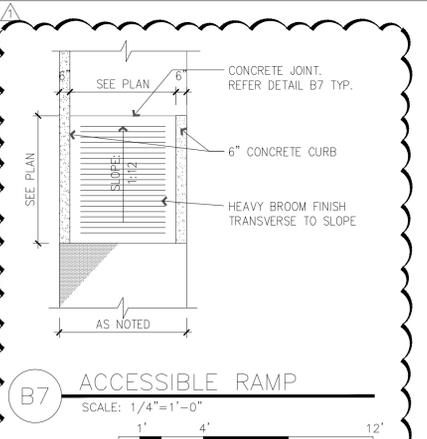
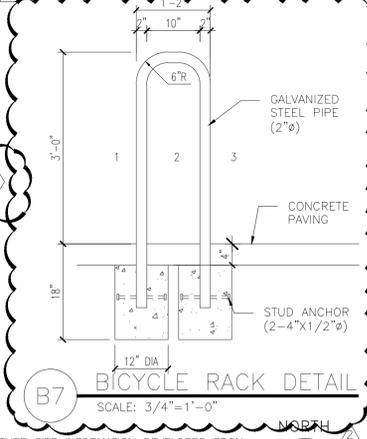
- A. USE FULL SCALE DRAWINGS FOR CONSTRUCTION PRINTED ON 24X36 "D" SIZE PAPER; DO NOT SCALE DRAWINGS
- B. REFER TO NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) STANDARD DRAWING 608-001-1 "PEDESTRIAN ACCESSIBLE ROUTE GENERAL NOTES" FOR STANDARD RAMP AND STAIR DETAILS ON CONSTRUCTING SITE STEPS, RAMPS, FINISHES AND OTHER REQUIREMENTS; ANY DETAILS OR REQUIREMENTS IN THAT DOCUMENT SUPERCEDE THESE DETAILS AND WHERE ANY DETAILS IN THAT DOCUMENT OR OTHER CURRENT ADA STANDARDS CONFLICT WITH THESE DETAILS, OR EACH OTHER, THE MOST STRINGENT REQUIREMENTS SHALL APPLY
- C. PROVIDE EXTERIOR GRADE SEALANTS AT EXPANSION JOINTS AT SIDEWALKS AND OTHER CONCRETE AREAS
- D. PROVIDE POSITIVE GRADING AROUND THE ENTIRE BUILDING
- E. RE: GRADING & DRAINAGE PLAN FOR ADDITIONAL INFORMATION
- F. LANDSCAPING SHOWN FOR REFERENCE ONLY
- G. ALL IMPROVEMENTS IN THE RIGHT OF WAY MUST BE INCLUDED ON THE FINAL WORK ORDER
- H. TREATMENT OF NEW ACCESS POINTS, CURB CUTS AND/OR DRIVE PADS SHALL COMPLY WITH COA DPM CHAPTER 26, SECTION 6
- I. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER TO MATCH EXISTING ADJACENT SIDEWALK, CURB & GUTTER PER COA STD DETAILS; COORDINATE WITH CIVIL ENGINEER
- J. NEW PARKING LOT TO HAVE A SLOPE OF NO LESS THAN 1% AND NO MORE THAN 8%

SHEET KEYNOTES

1. ADA PARKING STALL AT 1% MIN TO 2% MAX SLOPE; 4" WIDE STRIPING, MARKED WITH PAINTED ADA MARKING LOCATED AT END OF STALL AND FACING DIRECTION AS SHOWN AND FREESTANDING SIGN; PAINT ALL STRIPING BLUE
2. ADA PARKING SIGN AS REQUIRED FOR VAN AND STANDARD; DESIGN SHALL COMPLY WITH COA STANDARD DETAILS
3. ADA LOW-SLOPE RAMP; RE: COA STD DWG 2440
4. ADA ACCESS AISLE; 4" WIDE STRIPING; PAINT ADA BLUE
5. PROPERTY LINE
6. NEW ASPHALT PAVING WITH PARKING STALLS AT 1% MIN TO 8% MAX SLOPE; PROVIDE 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES, 2 COATS MIN; PARKING LOT REQUIREMENTS SHALL COMPLY WITH COA STANDARD DETAILS AND MINIMUM REQUIREMENTS FOR PARKING LOTS
7. 6" WIDE x 7'-0" LONG PRE-CAST CONC WHEEL STOP; INSTALL MIN OF 2'-0" FROM FRONT EDGE OF SIDEWALK TO FRONT FACE OF STOP; ANCHOR TO PARKING LOT SURFACE; TYP
8. EXISTING SITE WALL TO REMAIN
9. NEW CONCRETE SIDEWALK; MAXIMUM 2% CROSS SLOPE AWAY FROM BUILDING
10. CLEAR SITE TRIANGLE AS DEFINED BY THE COA DEVELOPMENT REVIEW MANUAL; LANDSCAPING AND SIGNAGE MAY NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS
11. MOTORCYCLE PARKING SIGNAGE
12. EXISTING FENCE ON ADJACENT PROPERTY
13. APPROXIMATE LOCATION FOR NEW BICYCLE RACK SECURED TO CONCRETE PAD, MIN. 3 BICYCLE CAPACITY; RACK DESIGN SHALL COMPLY WITH IDO SECTION 5-5(E)
14. "MC" PAVEMENT MARKING AS REQUIRED BY COA

SYMBOLS LEGEND

- o Not Set
- ⊕ Fnd Monument (As Noted)
- ⊕ Benchmark
- ⊕ Sanitary Sewer Manhole
- ⊕ Water Meter
- ⊕ Utility / Power Pole
- ELEC- Overhead Utility Line
- ▬ Wall



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 NEW MEXICO 87109
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 www.archisarchitects.com

**APACHE TRAIL
 TOWN HOMES**
 428 & 424 PROSPECT AVE NW
 ALBUQUERQUE, NEW MEXICO 87102

Project No. 22-028 Drawn by: EB
 Checked by: JFO
 Issue Date: January 5, 2023

Revisions:	Date:	TCL RESUBMIT	TCL RESUBMIT 2
1	02-06-2023		
2	03-01-2023		

Sheet Title:
Traffic Circulation Layout

Sheet No.
AS100