

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 30, 2023

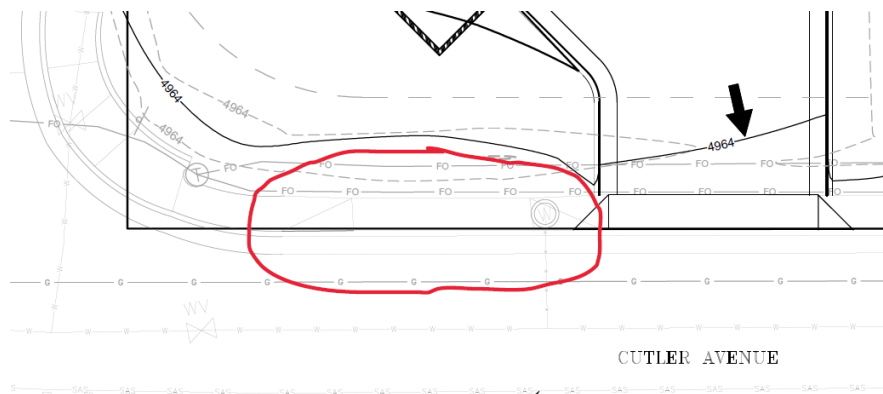
Dan Ponder, P.E.
Short Elliott Hendrickson, Inc.
934 Main Ave. Unit C
Durango, CO 81301

RE: NuVue - 6th and Cutler
Grading and Drainage Plan
Engineer's Stamp Date: No Date
Hydrology File: H14D117

Dear Mr. Ponder:

Based upon the information provided in your submittal received 03/27/2023, the Grading & Drainage Plan is **not** approved for Building Permit, Grading Permit, and SO-19 Permit. The following comments need to be addressed for approval of the above referenced project:

1. This private project is not a City of Albuquerque Department of Municipal Development project. Therefore, their Title Block is not needed and you can use your companies instead. The City does not care which one you use but private development typically uses their own.
2. Please provide an engineer's stamp with a signature and date.
3. Please close off all existing driveways that are not going to be used on Cutler with new curb & gutter and sidewalk.



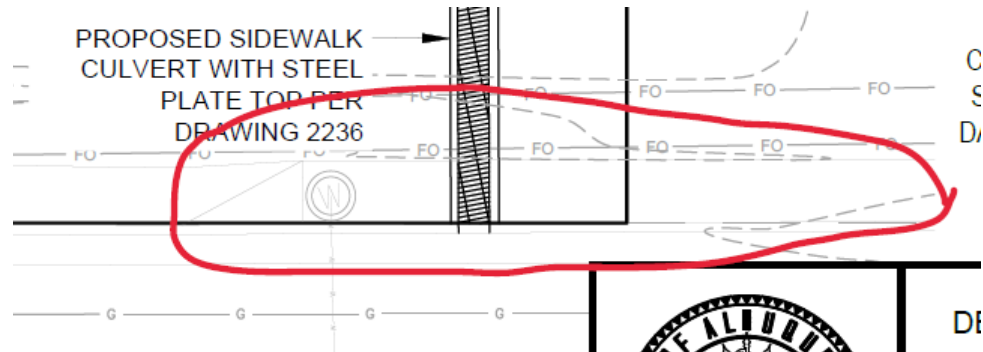
For the other one, please contact Transportation to determine what to do since the existing driveway extends over the front of the property to the property to the east.

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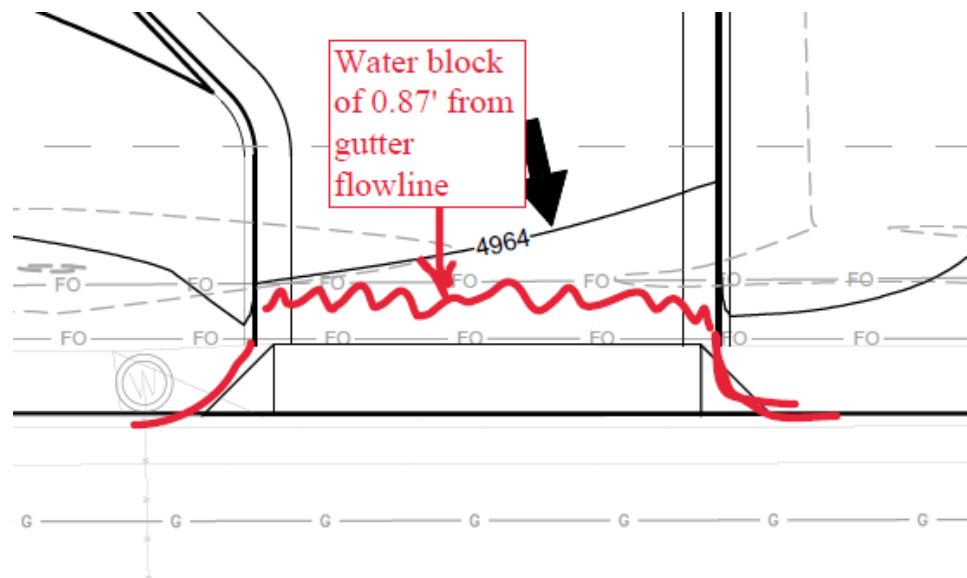
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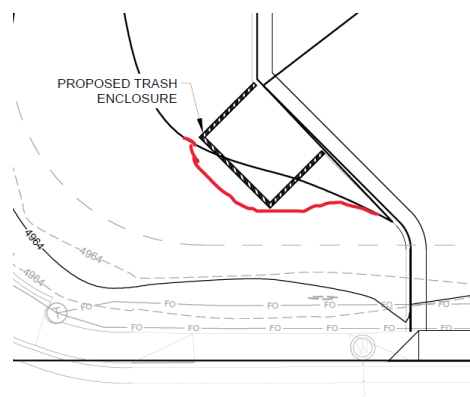
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- Typically, a commercial development uses COA Paving Detail No. 2426 which has curb returns. This also has a water block, 0.87' high from the gutter flowline at the end of the radius but 0.5' will be allowed if grades can't be achieved.



- Please just swing the contour around the dumpster enclosure.



PO Box 1293

Albuquerque

NM 87103

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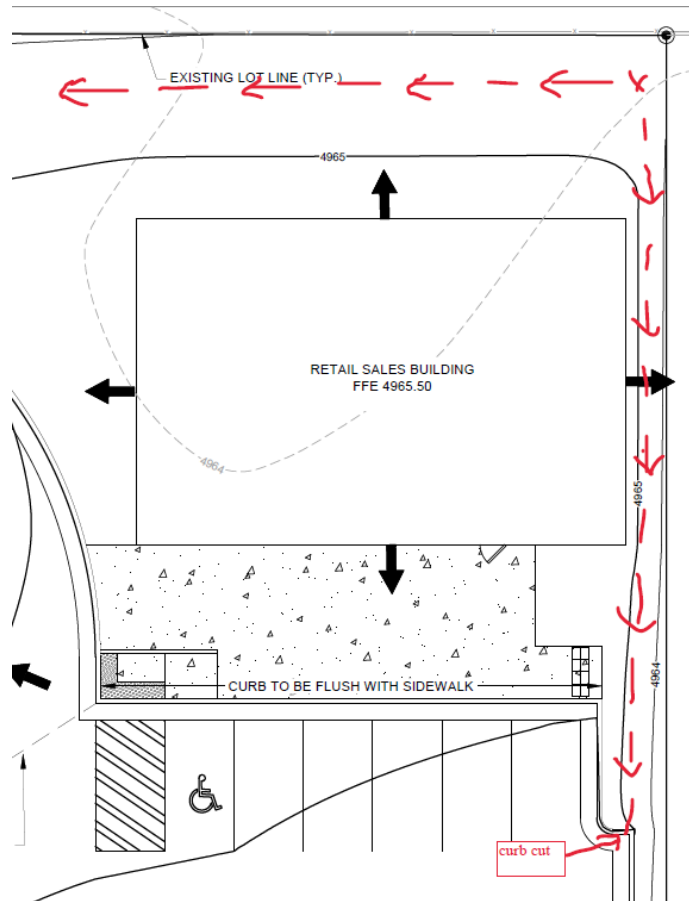
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6. Please provide swales on the east and north side of the building so that drainage can be directed to the stormwater quality ponds.



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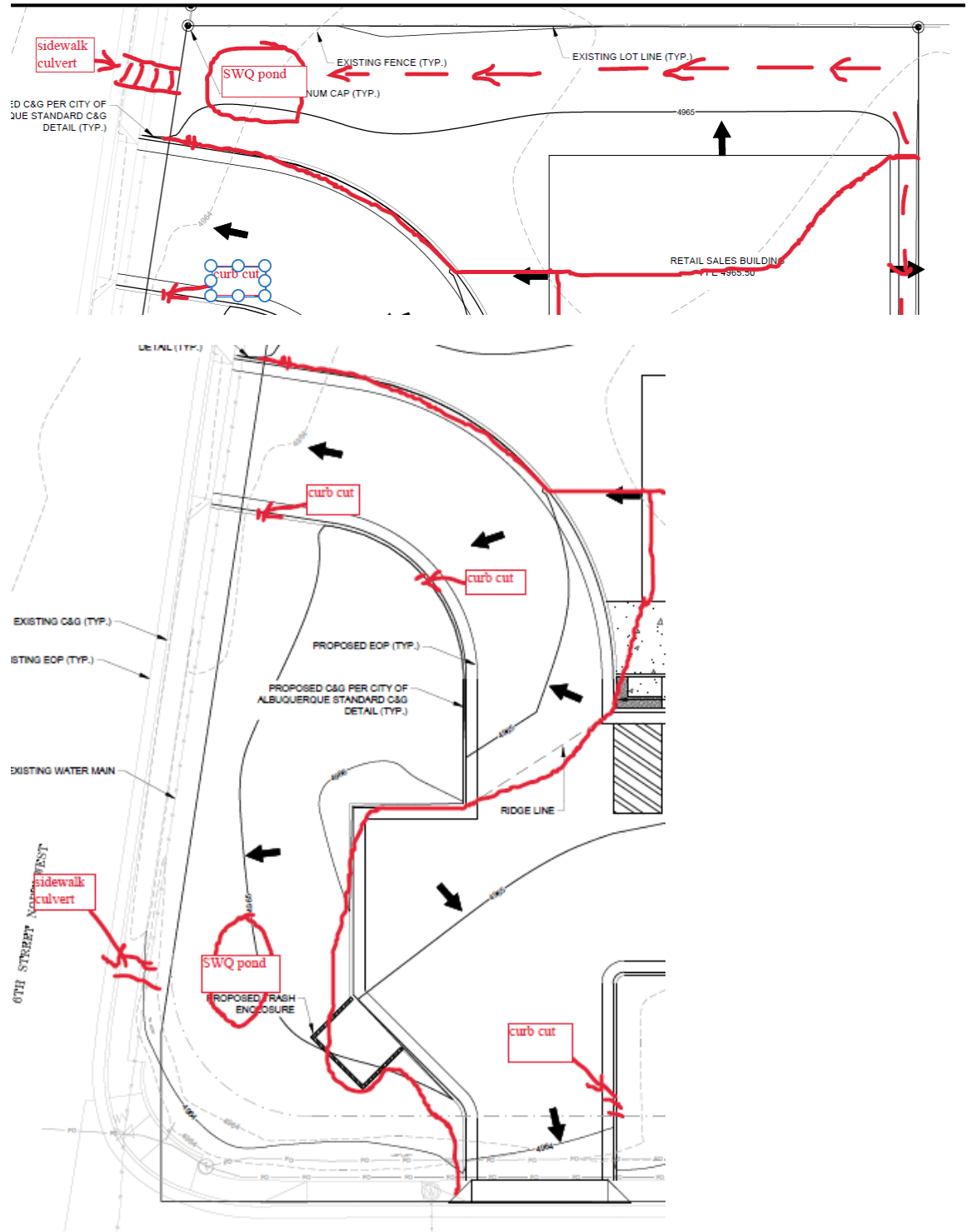
7. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100 year-6 hour storm event. These calculations should be on the Drainage Plan.
8. Please follow the DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the impervious area draining to the BMP by 0.42 inches for new development sites. I think that the site will probably have three drainage area and therefore three SWQ ponds.

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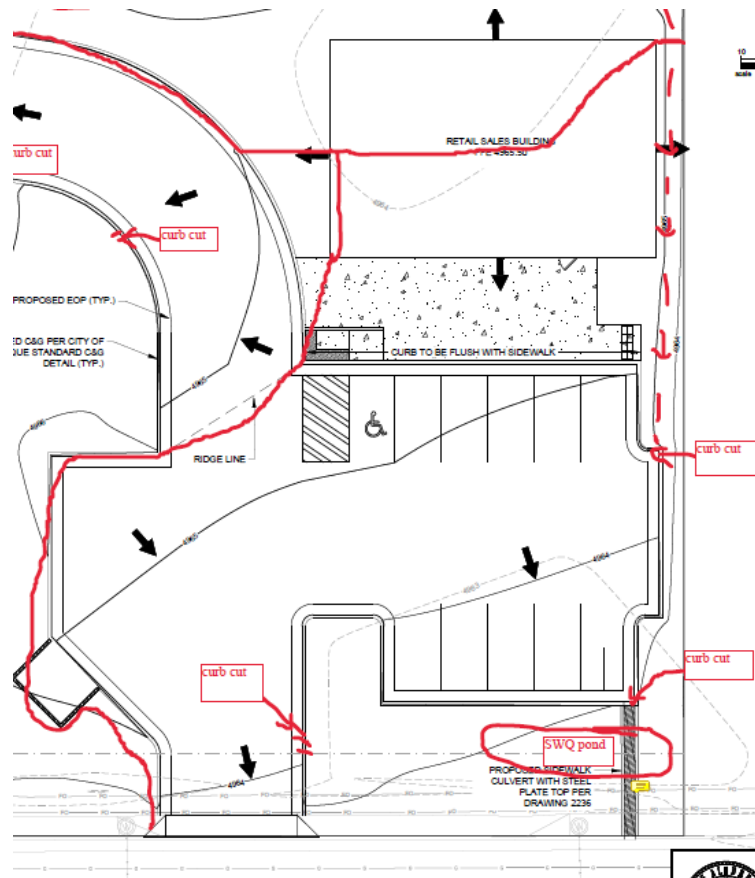
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9. Please provide the weir calculations, per DPM Article 6-16(A), for the curb cuts and sidewalk culverts. A coefficient of 2.7 is typically used for the weir equation $Q = CLH^{2/3}$.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: NuVue - 6th and Cutler **Building Permit #** TBD **Hydrology File #** TBD
DRB# TBD **EPC#** TBD

Legal Description: TR A BLK B LINCOLN ADDN (REPL **City Address OR Parcel** 2300 6th Street NW
OF LTS 9 10 & POR OF 11 BLK B)

Applicant/Agent: SEH, Inc. **Contact:** Philip Rennhack
Address: 934 Main Avenue, Unit C Durango, CO 81301 **Phone:** 970.459.4317
Email: prennhack@sehinc.com

Applicant/Owner: NuVue Pharma **Contact:** Paul Julian
Address: 4740 Dillon Drive Pueblo, CO 81301 **Phone:** 919.619.2443
Email: paulj@nuvuepharma.com

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE X ADMIN SITE: RE-SUBMITTAL: YES X NO

DEPARTMENT: TRANSPORTATION X HYDROLOGY/DRAINAGE
Check all that apply:

TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
PAD CERTIFICATION
X CONCEPTUAL G&D PLAN
GRADING PLAN
DRAINAGE REPORT
DRAINAGE MASTER PLAN
FLOOD PLAN DEVELOPMENT PERMIT APP.
ELEVATION CERTIFICATE
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
TRAFFIC CIRCULATION LAYOUT FOR DRB
APPROVAL
TRAFFIC IMPACT STUDY (TIS)
STREET LIGHT LAYOUT
OTHER (SPECIFY)
PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

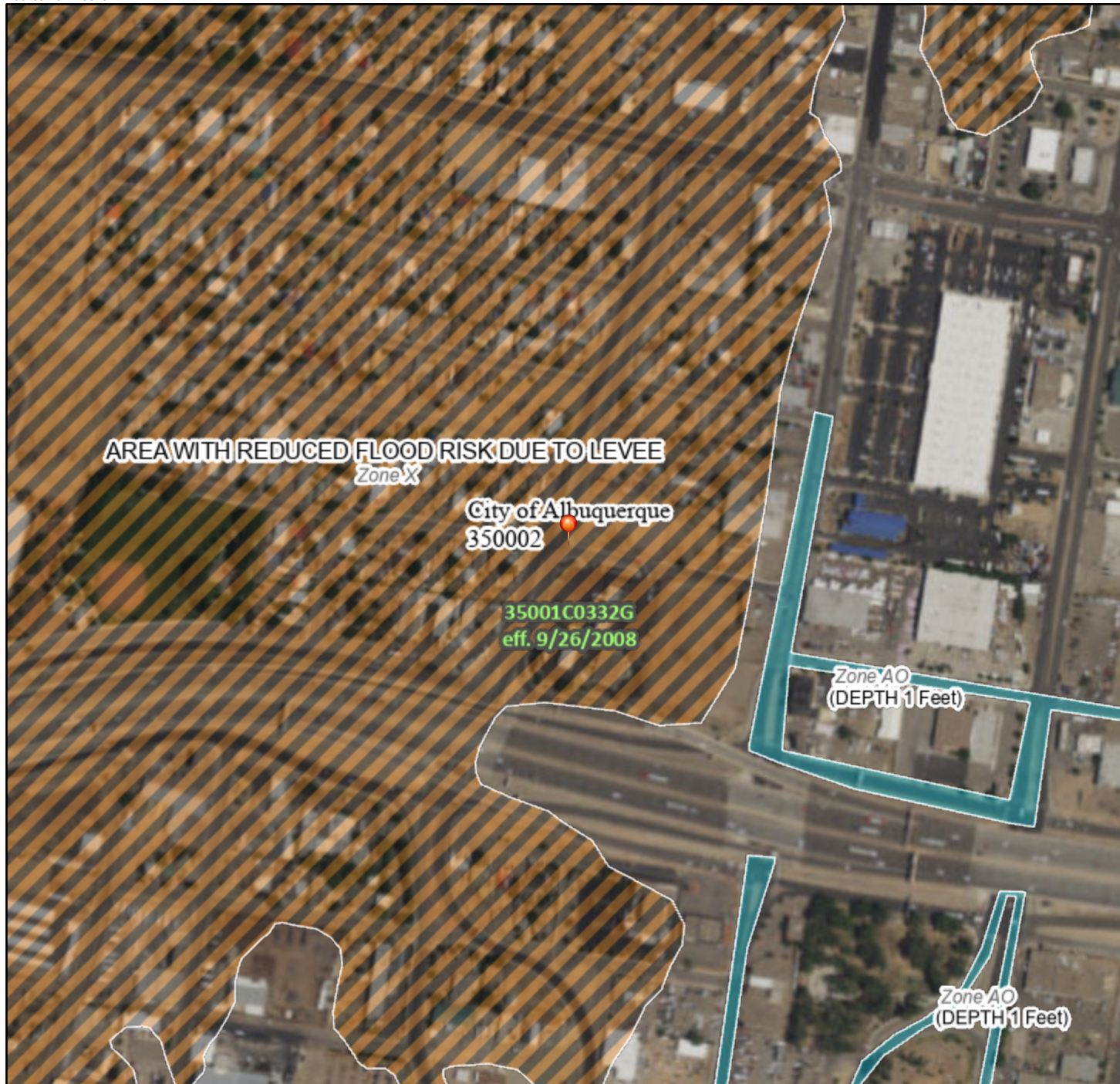
X BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY
CONCEPTUAL TCL DRB APPROVAL
PRELIMINARY PLAT APPROVAL
SITE PLAN FOR SUB'D APPROVAL
SITE PLAN FOR BLDG PERMIT APPROVAL
FINAL PLAT APPROVAL
SIA/RELEASE OF FINANCIAL GUARANTEE
FOUNDATION PERMIT APPROVAL
GRADING PERMIT APPROVAL
SO-19 APPROVAL
PAVING PERMIT APPROVAL
GRADING PAD CERTIFICATION
WORK ORDER APPROVAL
CLOMR/LOMR
FLOOD PLAN DEVELOPMENT PERMIT
OTHER (SPECIFY)

DATE SUBMITTED: 03.17.2023

National Flood Hazard Layer FIRMette



106°39'16"W 35°6'44"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

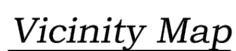


The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 3/22/2023 at 4:52 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



LEGAL DESCRIPTION: TRACT "A" IN BLOCK LETTERED "B" OF
LINCOLN ADDITION.

BENCHMARK - NAVD 88
ACS MONUMENT "A-438" HAVING AN ELEVATION OF 4975.35'

SITE AREA: 0.5464 ACRES

FLOOD HAZARD STATEMENT: F.E.M.A. FLOODWAY BOUNDARY AND FLOODWAY MAP DATED SEPTEMBER 26, 2008 (PANEL NO. 35001C0332G) INDICATES A FLOOD HAZARD ZONE X WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

EXISTING CONDITIONS:
THE PROPERTY IS COMPOSED OF GLENDALE LOAM AND OTHER
SIMILAR SOILS RELATED TO HYDROLOGIC SOIL GROUP C, WITH 0
TO 1 PERCENT SLOPES. THE LOT DRAINS VIA SURFACE FLOW
FROM NORTH TO SOUTH AND WEST TO EAST. RUNOFFS
DEVELOPED ON EXISTING CONDITIONS ARE NOT CONVEYED TO
DRAINAGE FEATURES, THEY ARE BEING ABSORBED BY SOILS AND
VEGETATION.

PROPOSED CONDITIONS:
THE PROPOSED DEVELOPMENT INCLUDES A RETAIL SALES BUILDING AND AN OFF-STREET PARKING LOT FOR TRAFFIC CIRCULATION ALONG THE SITE. THE GRADING ALONG THE PROPERTY WAS DESIGNED TO CONVEY RUNOFFS TO THE NORTH AND SOUTH CURB CUTS TO ENTER THE EXISTING CURB AND GUTTER NETWORK ALONG 6TH STREET AND CUTLER AVE. THE DEVELOPED OVERALL FLOWS WILL BE INCREASED FROM EXISTING CONDITIONS BUT EXPECT THE CHANGE TO BE NEGLIGIBLE DUE TO THE SMALL IMPERVIOUS AREA THAT WILL BE INTEGRATED TO THE SITE.

Private Drainage Facilities within City Right-of-Way Notice to Contractor

1. Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
2. An excavation permit will be required before beginning any work within City Right-Of-Way.
3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
4. Prior to any excavation, the contractor must contact New Mexico One Call, dial "811"[or (505) 260-1990] for the location of existing utilities.
5. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
6. Backfill compaction shall be 95%.
7. Maintenance of the facility shall be the responsibility of the owner of the property being served.
8. Work on arterial streets may be required on a 24-hour basis.
9. For excavation and barricading inspections, contact DMD Construction Services Division.

NOTES:

1. NO WORK SHALL BE PERFORMED IN PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.



CALL NM ONE-CALL
SYSTEM SEVEN (7)
DAYS PRIOR TO ANY
EXCAVATION



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

ZONE MAP NO.

CITY PROJECT NO

SHEET NO

3 OF 6

**Short Elliott
Hendrickson, Inc.**

934 Main Avenue, Unit C
Durango, Colorado 81301
Phone: (970) 385-4546
Fax: (970) 385-4502

