

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

June 4, 2025

David Soule, P.E.  
Rio Grande Engineering  
PO BOX 93924  
Albuquerque, NM 87199

**RE: 2900 3<sup>rd</sup> Street NW**  
**Grading & Drainage Plan**  
**Engineer's Stamp Date: 5/29/25**  
**Hydrology File: H14D118**  
**Case # HYDR-2025-00196**

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your submittal received 6/02/2025, the Grading plan is **approved** for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E., CFM  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



Weighted E Method														
100-Year 6-hr, 100 yr 24-Hour														
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Flow cfs	Volume (ac-ft)	Flow cfs	Volume (ac-ft)			
HISTORICAL PROPOSED	11106.00	0.255	0%	0	35%	0.089	35%	0.089	30%	0.076	1.260	0.027	0.76	0.032
	11106.00	0.255	0%	0	17%	0.043	20%	0.051	63%	0.161	1.725	0.037	0.90	0.047

Equations:

Weighted E = Ea\**A*a + Eb\**A*b + Ec\**A*c + Ed\**A*d / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* *A*a + Qb \* *A*b + Qc \* *A*c + Qd \* *A*d

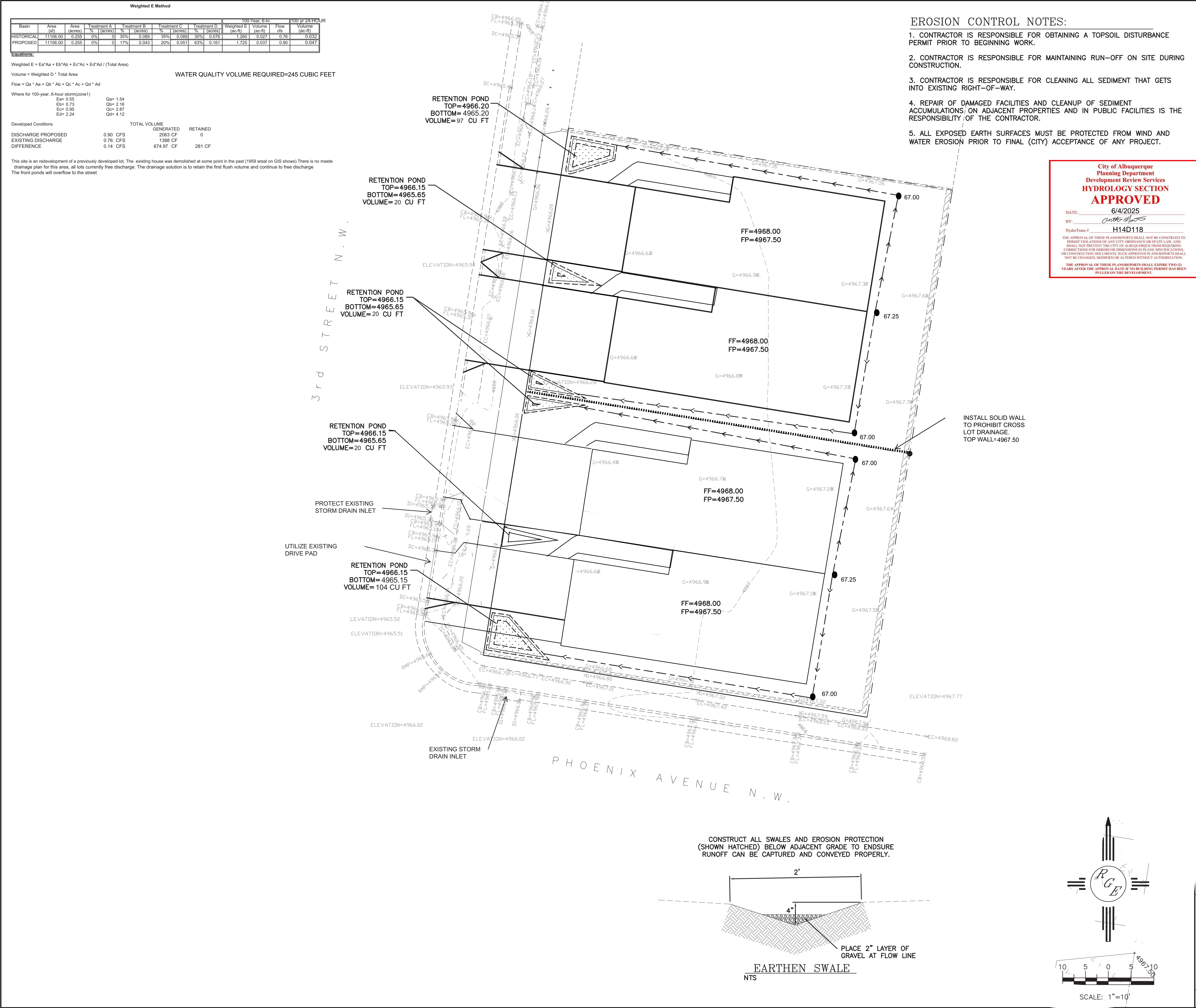
Where for 100-year, 6-hour storm(zone1)

Qa= 1.54	
Ea= 0.55	Qb= 2.16
Eb= 0.73	Qc= 2.87
Ec= 0.95	Qd= 4.12
Ed= 2.24	

Developed Conditions

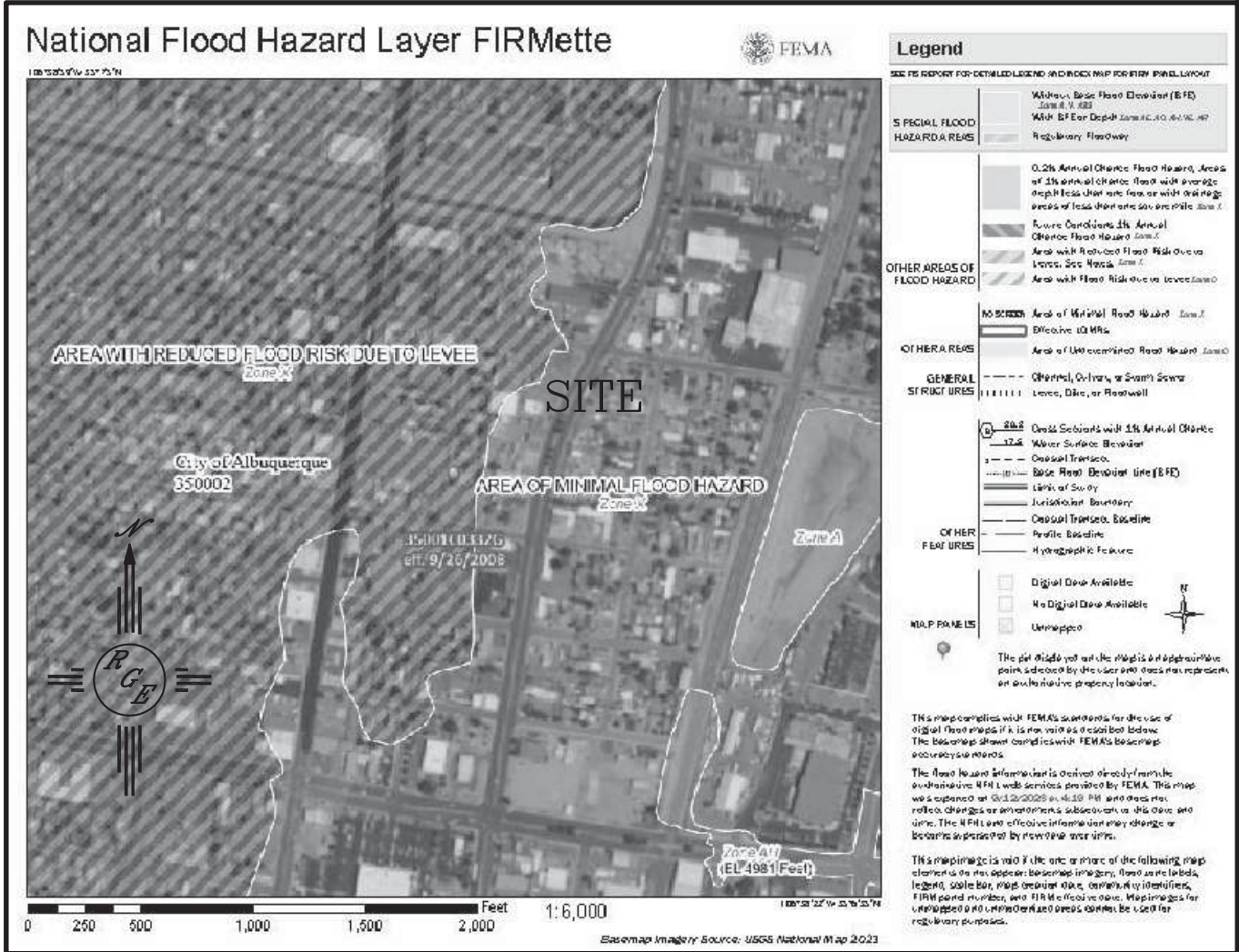
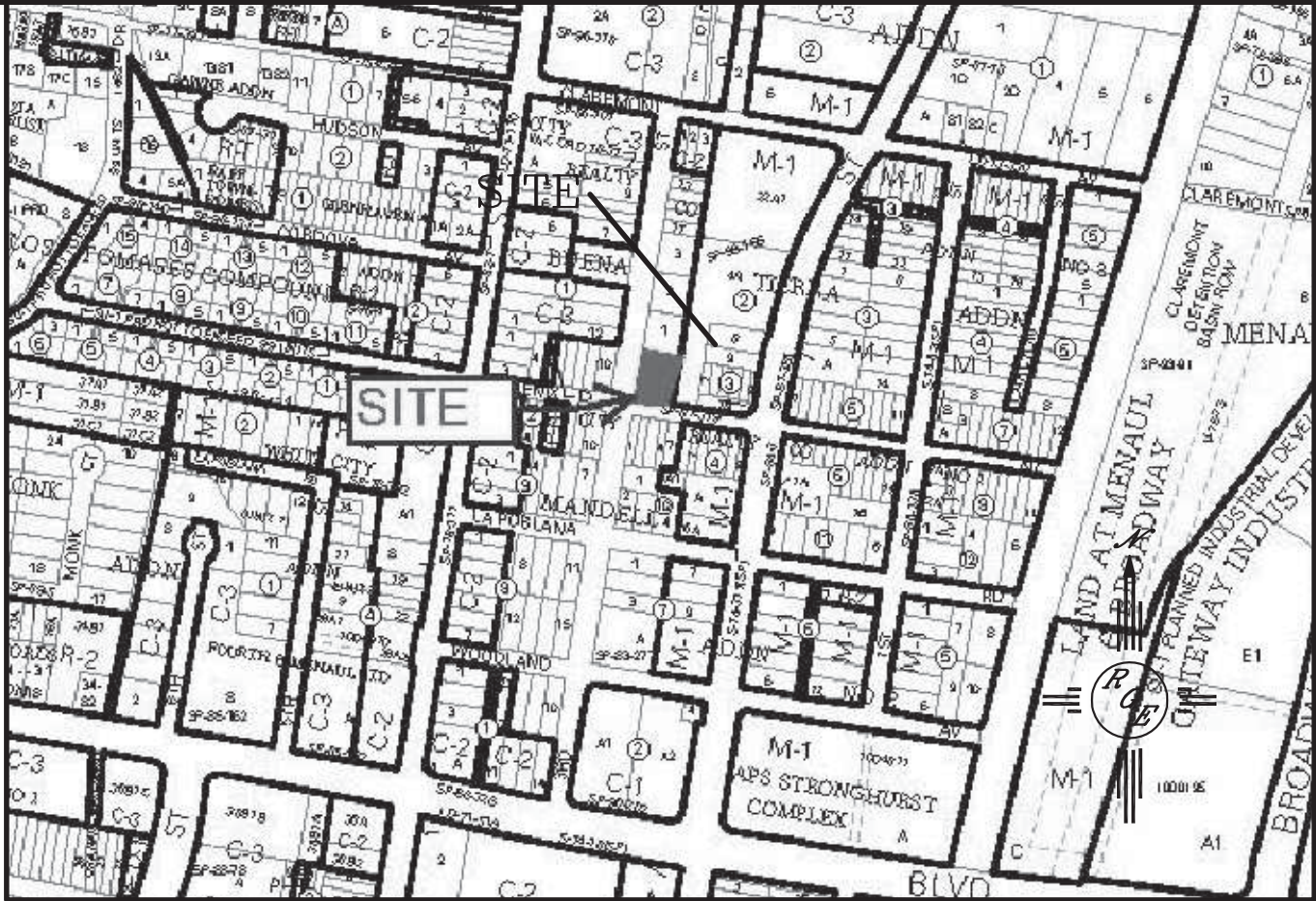
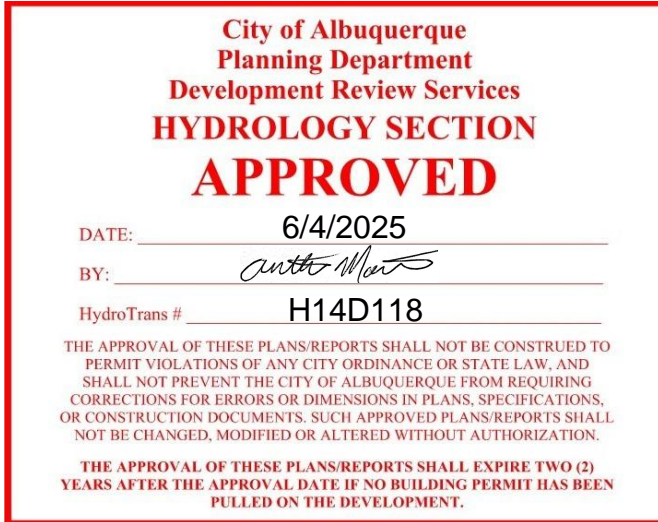
	TOTAL VOLUME	GENERATED	RETAINED
DISCHARGE PROPOSED	0.90 CFS	2063 CF	0
EXISTING DISCHARGE	0.76 CFS	1388 CF	
DIFFERENCE	0.14 CFS	674.97 CF	281 CF

This site is an redevelopment of a previously developed lot. The existing house was demolished at some point in the past (1959 aerial on GIS shows). There is no master drainage plan for this area, all lots currently free discharge. The drainage solution is to retain the first flush volume and continue to free discharge. The front ponds will overflow to the street



### EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



### FIRM MAP:

### LEGAL DESCRIPTION:

LOTS 1, 2, 3 & 4, BLOCK 3, CITY REALTY'S COMPANY ADDITION

### NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY HARRIS SURVEYING USING NAVD DATUM 1988.

### LEGEND

- XXXX--- EXISTING CONTOUR
- XXXX--- EXISTING INDEX CONTOUR
- XXXX--- PROPOSED CONTOUR
- XXXX--- PROPOSED INDEX CONTOUR
- XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY 4967.50 \* 4967.25
- ADJACENT BOUNDARY
- ===== EXISTING CURB AND GUTTER
- PROPOSED EARTHEN SWALE
- [Pattern] PROPOSED CONCRETE
- [Pattern] PROPOSED PONDING
- [Pattern] PROPOSED GRAVEL 4967.50

ENGINEER'S SEAL	3RD AND PHOENIX TOWNHOMES	DRAWN BY WCWJ
DAVID SOULE 14522 PROFESSIONAL ENGINEER	GRADING AND DRAINAGE PLAN	DATE 9-08-23
5/29/25	Rio Grande Engineering PO BOX 93924 ALBUQUERQUE, NM 87199 4967.50	SHEET #
P.E. #14522 DAVID SOULE		JOB # 20230047