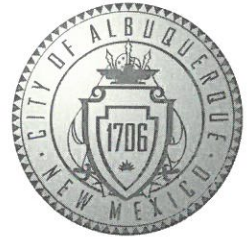


# CITY OF ALBUQUERQUE



March 30, 2020

Eric Munn, RA  
T.I. Design Services  
717 Cagua Dr. NE  
Albuquerque, NM 87102

**Re: Paleta Bar/Spring Roll Restaurant**  
**317 Gold Ave. SW**  
**Traffic Circulation Layout**  
Architect's Stamp 03-27-20 (H14-D223)

Dear Mr. Munn,

Based upon the information provided in your submittal received 03-27-2020, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please coordinate all calculations for parking spaces, including bicycle, and motorcycle parking with Zoning and list the number of parking spaces required by the zoning code as well as the proposed number of parking spaces including bicycle and motorcycle parking.
2. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, wall and anything that influences the parking and circulation on the site.
3. Identify all existing access easements and rights of way width dimensions.
4. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
<b>Standard</b>	8.5'	18'	<b>2'</b>
<b>Compact</b>	7.5'	15'	1.5'
<b>Motorcycle</b>	<b>4'</b>	<b>8'</b>	<b>N/A</b>
<b>ADA</b>	8.5'	18'	<b>2'</b>

5. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
6. ADA curb ramps must be updated to current standards and have truncated domes installed ( corner of Gold and 4<sup>th</sup>, **IF APPLICABLE**)
7. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.

8. All bicycle racks shall be designed according to the following guidelines:
  - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
  - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
  - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
  - d. The rack allows varying bicycle frame sizes and styles to be attached.
  - e. The user is not required to lift the bicycle onto the bicycle rack.
  - f. Each bicycle parking space is accessible without moving another bicycle.
9. Bicycle racks shall be sturdy and anchored to a concrete pad.
10. A 1-foot clear zone around the bicycle parking stall shall be provided.
11. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
12. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
13. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
14. Curbing should be installed to delineate landscape, parking, and pedestrian ways, **PROPERTY LINE(to adjacent lot)**, and identify points of access. Please call out detail and location of barrier curb.
15. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
16. It is not apparent what type of pavement surface is being proposed ADA stalls need to be 2% cross slope in all directions). A hard driving surface will be required as part of this proposed project.

**Clear Sight (IF APPLICABLE)**

17. Please provide a sight distance exhibit..
18. Show the clear sight triangle and add the following note to the plan:  
"Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
19. Please specify the City Standard Drawing Number when applicable.
20. Shared Site acces: driveways that straddle property lines, or are entirely on one propertybut are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the



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adjacent property owner (If not, then provide curbing at property line adjacent to existing parking lot.

21. **(IF APPLICABLE):** Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
22. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
23. Parking **SHALL NOT BE ALLOWED** in allowed in alleyway from properties.

If you have any questions, please contact me at (505) 924-3630. My work schedule is 9:30am-2:30pm.

Sincerely,

Nilo Salgado-Fernandez, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

NM 87103

\xxx via: email  
C: CO Clerk, File

[www.cabq.gov](http://www.cabq.gov)

