

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 7, 2023

Ubaldo Munoz
Jeebs & Zuzu, LLC
5924 Anaheim Ave. NE
Albuquerque, NM 87113

Re: Artistic Improvement Construction Yard
2010 Claremont Ave. NE
Traffic Circulation Layout
Architect's Stamp 08-12-23 (H15-D004A)

Dear Mr. Munoz,

The TCL submittal received 08-23-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

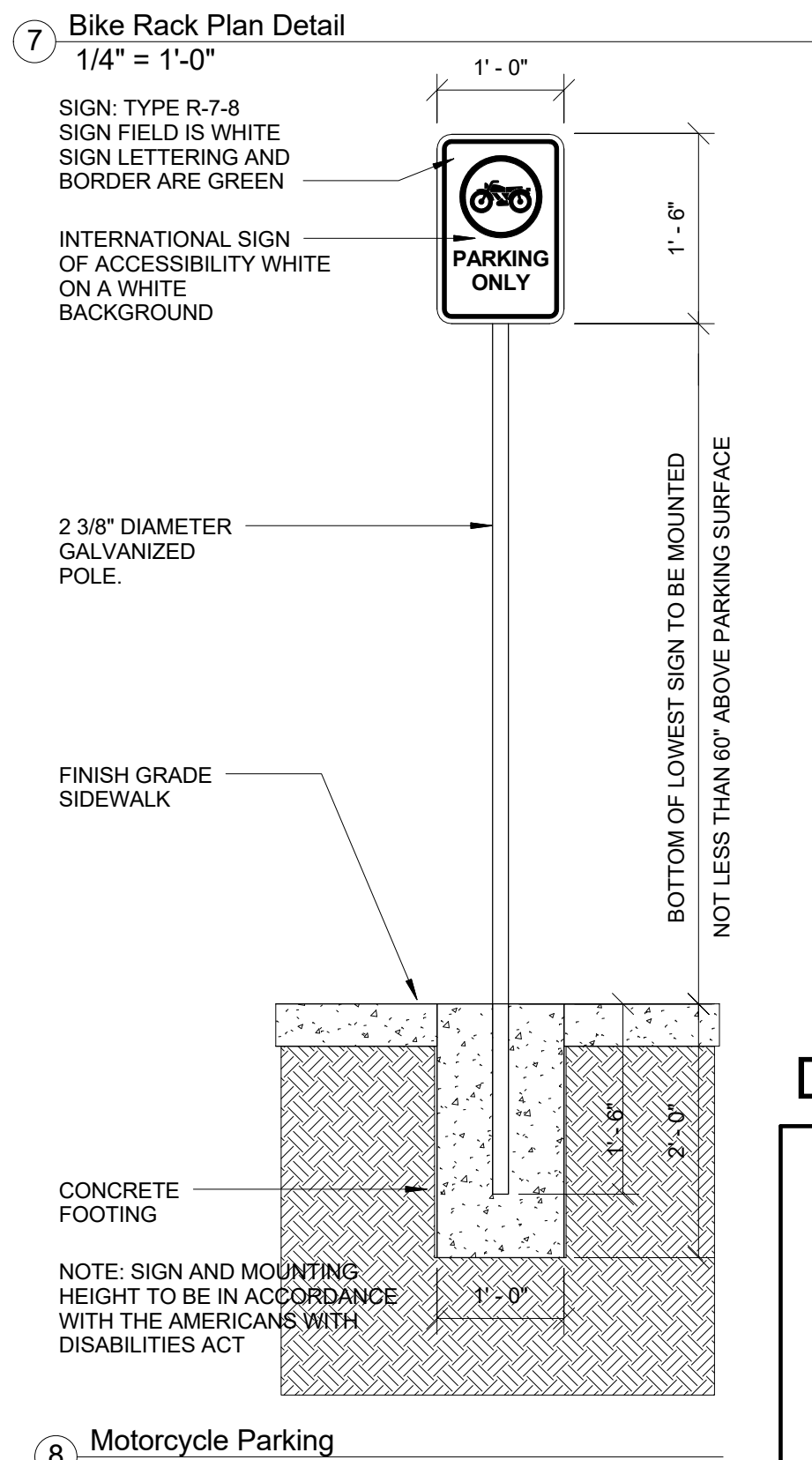
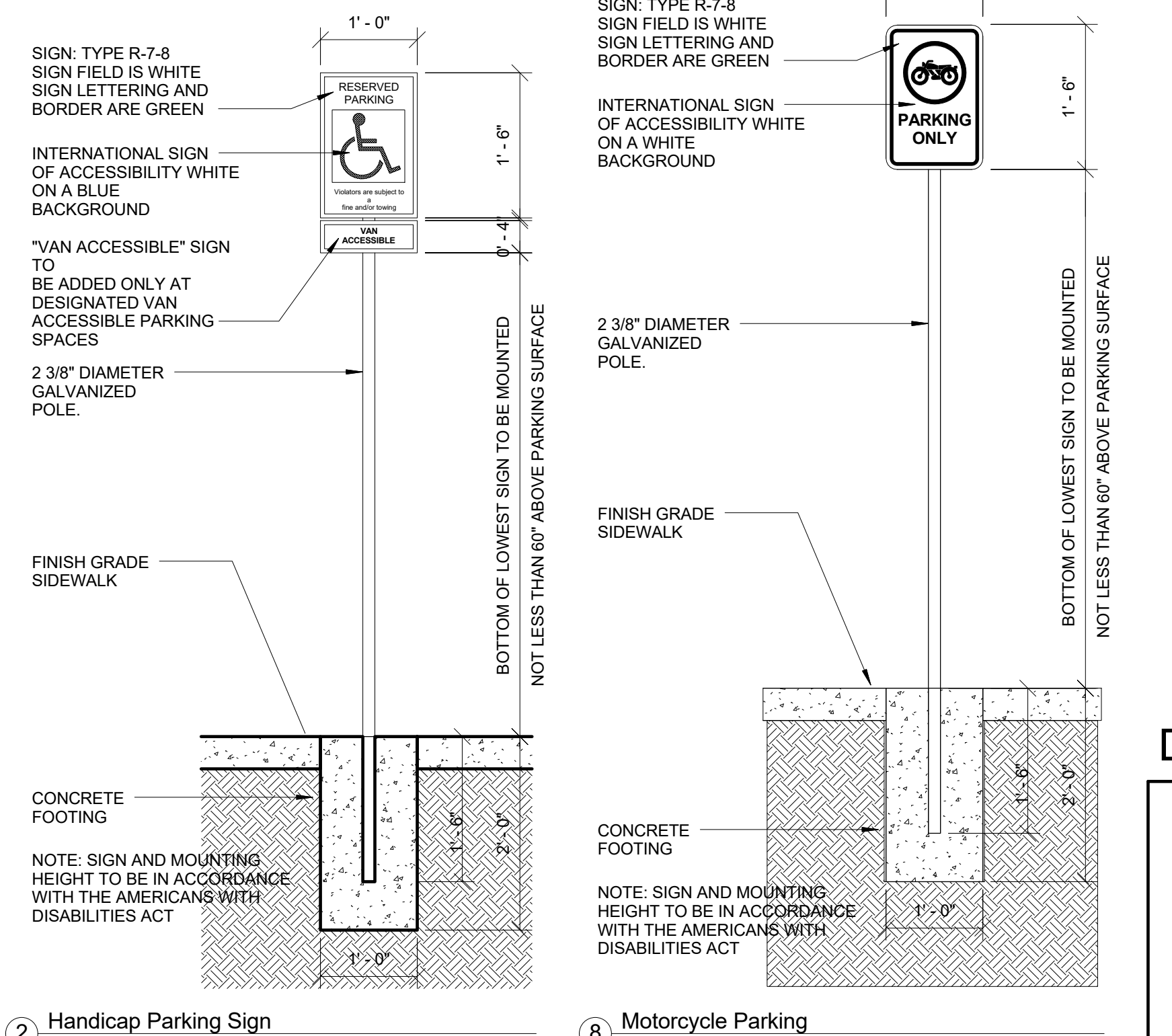
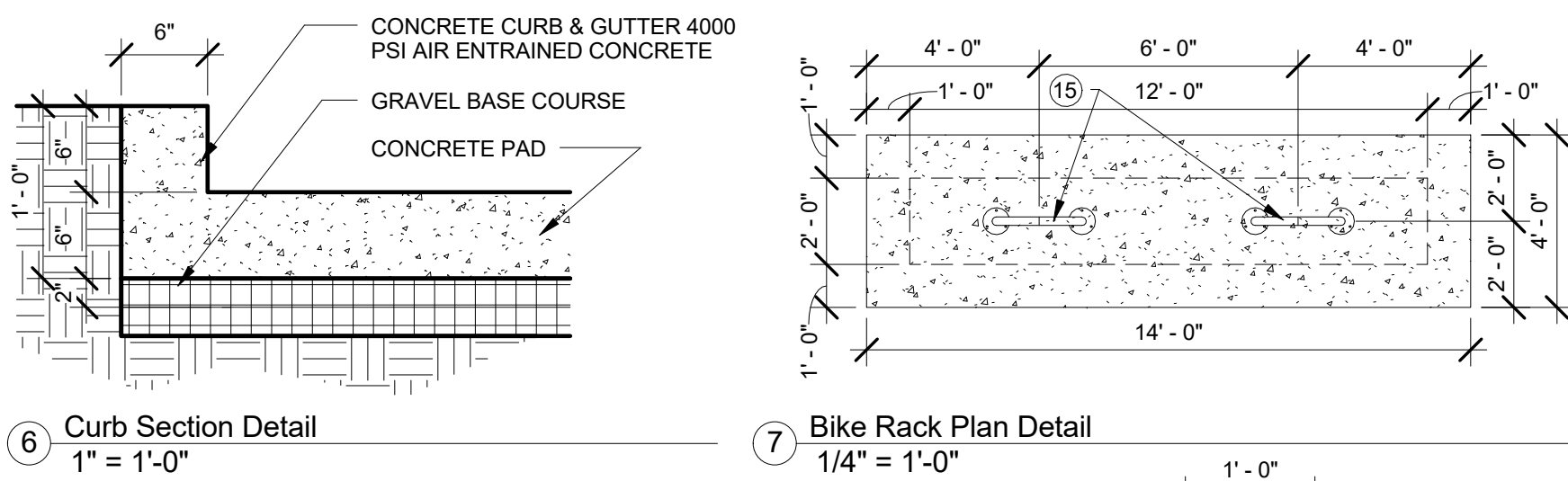
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

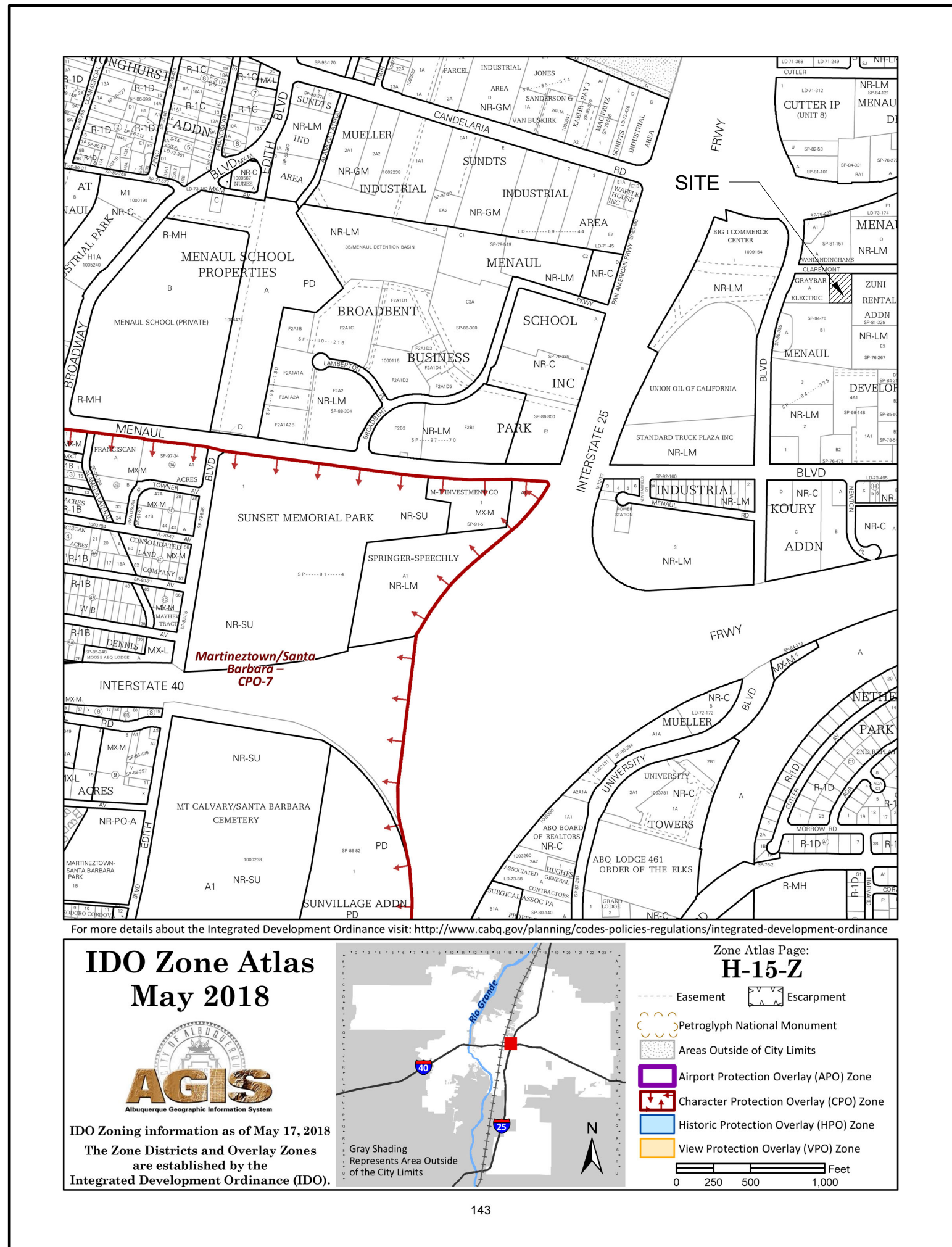
Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



ZONE ATLAS



KEYED NOTES:

- NEW PORTABLE BUILDING METAL RAMP. RAMP TO HAVE CROSS SLOPE OF 1:50 MAX AND RUNNING SLOPE OF 1:12 MAX
- NEW PORTABLE BUILDING METAL STAIRS.
- NEW PORTABLE BUILDING METAL LANDING.
- NEW ADA CONCRETE PARKING SLAB
- NEW CURB RAMP ONTO NEW SIDEWALK. SEE 3/TCL1.0 AND 5/TCL1.1 FOR DETAILS.
- EXISTING ASPHALT PARKING TO REMAIN.
- NEW TRASH & RECYCLE ENCLOSURE PER DOUBLE DETAILS TCL1.1
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING POWER POLE TO REMAIN.
- EXISTING DRIVE ACCESS TO REMAIN SAME LOCATION. NEW CONCRETE APRON - 6" TH. WITH 6x6 no. 4 WELDED WIRE FABRIC REINFORCEMENT MIN. 2" FROM BOTIOM. 3,000 PSI CONCRETE PER CITY STANDARD DETAIL 2425B
- EXISTING PUBLIC SIDEWALK TO REMAIN.
- NEW 6" CONCRETE SIDEWALK 3,000 PSI PER CITY STANDARD DETAIL & LESS THAN 2% CROSS SLOPE
- EXISTING PUBLIC XEROSCAPE AREA TO REMAIN.
- MOTORCYCLE PARKING SPACE. PARKING STALL TO BE 4'X8' MINIMUM IN ITS DIMENSIONS - SEE 8/TCL1.0 FOR DETAIL.
- NEW SURFACE MOUNTED BICYCLE RACKS - SEE 7 & 11/TCL1.0 FOR DETAIL.
- SIGHT TRIANGLE PER DPM TABLE 7.5.60 - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE W/ CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, & SHRUBBERY BETWEEN 3 & 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- NEW 6" CONCRETE SIDEWALK THAT LEADS TO PUBLIC WAY. SEE 4/TCL1.0 FOR DETAILS.
- MAIN BUILDING ENTRYWAY
- EXISTING 8' METAL FENCE TO REMAIN.
- EXISTING SLIDING METAL VEHICLE ACCESS GATE TO REMAIN.
- EXISTING METAL MAN GATE TO REMAIN.
- SLOPE LEADING TO TRASH ENCLOSURE SHALL BE LESS THAN 1/8" PER FOOT.

DESIGN CRITERIA

A. ZONING DESIGN CRITERIA

- LEGAL DESCRIPTION..... PARCEL B-1-B PLAT FOR PARCEL B-1-A & B-1-B MENAUL DEVELOPMENT AREA (BEING COMPRISED OF PARCEL B-1 MENAUL DEVELOPMENT AREA) CONT .6874 AC 101505952640110209

- ZONING CLASSIFICATION..... NR-LM
- PERMITTED AND CURRENT USE..... BUSINESS
- PREVIOUS USE..... MATERIAL STORAGE YARD

B. ARCHITECTURAL DESIGN CRITERIA

- NEW OCCUPANCY GROUP..... B
- CONSTRUCTION TYPE..... VB - NON SPRINKLED
- FLOOR AREAS
EXISTING AREA..... 1,642 SF
- OCCUPANCY LOAD

OFFICE 100 GROSS: 1642 SF / 100 GROSS	=	16 PEOPLE
TOTAL OCCUPANCY	=	16 PEOPLE

PARKING REQUIREMENTS:

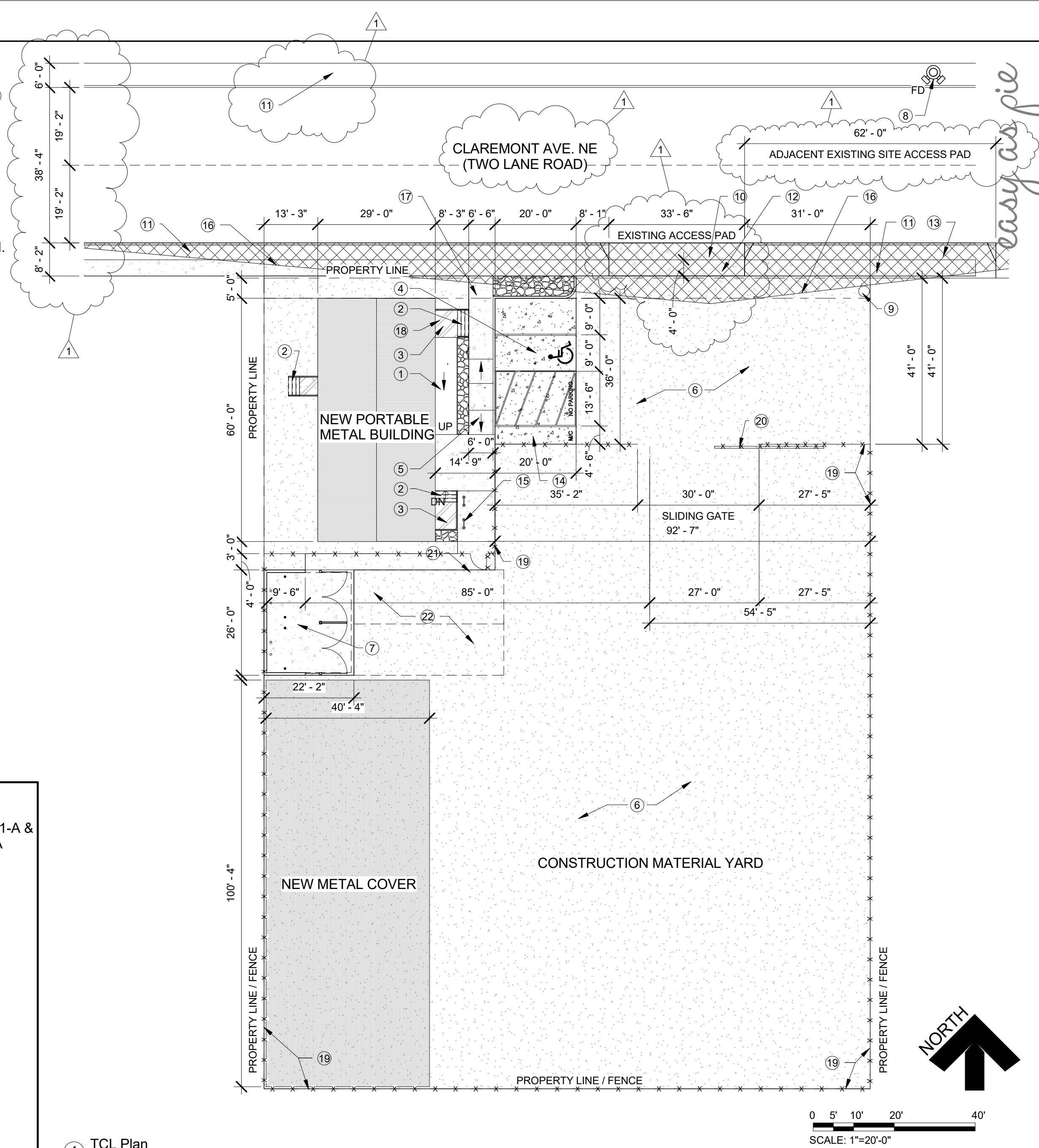
PARKING REQUIREMENTS PER INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 5-5

TABLE 5-5-1: MINIMUM OFF-STREET PARKING REQUIREMENTS
OFFICE AND SERVICES
CONSTRUCTION CONTRACTOR FACILITY AND YARD:
NO PARKING REQUIREMENTS

PARKING PROVIDED	
STANDARD SPACES PROVIDED -	1 SPACE
ACCESSIBILITY SPACES -	1 SPACE
MOTORCYCLE SPACES -	1 SPACE
TOTAL MOTOR VEHICLE SPACES PROVIDED	3 SPACES
BICYCLE SPACES-	4 SPACES

GENERAL NOTES:

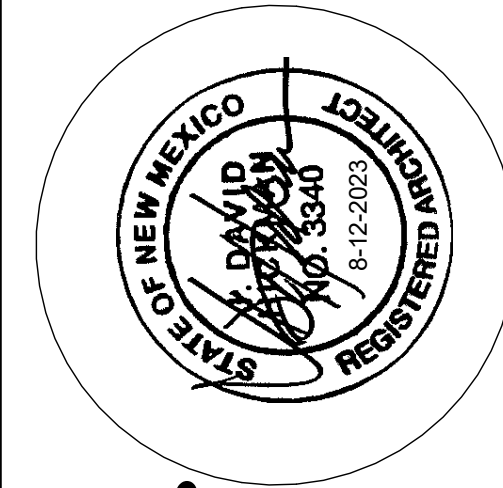
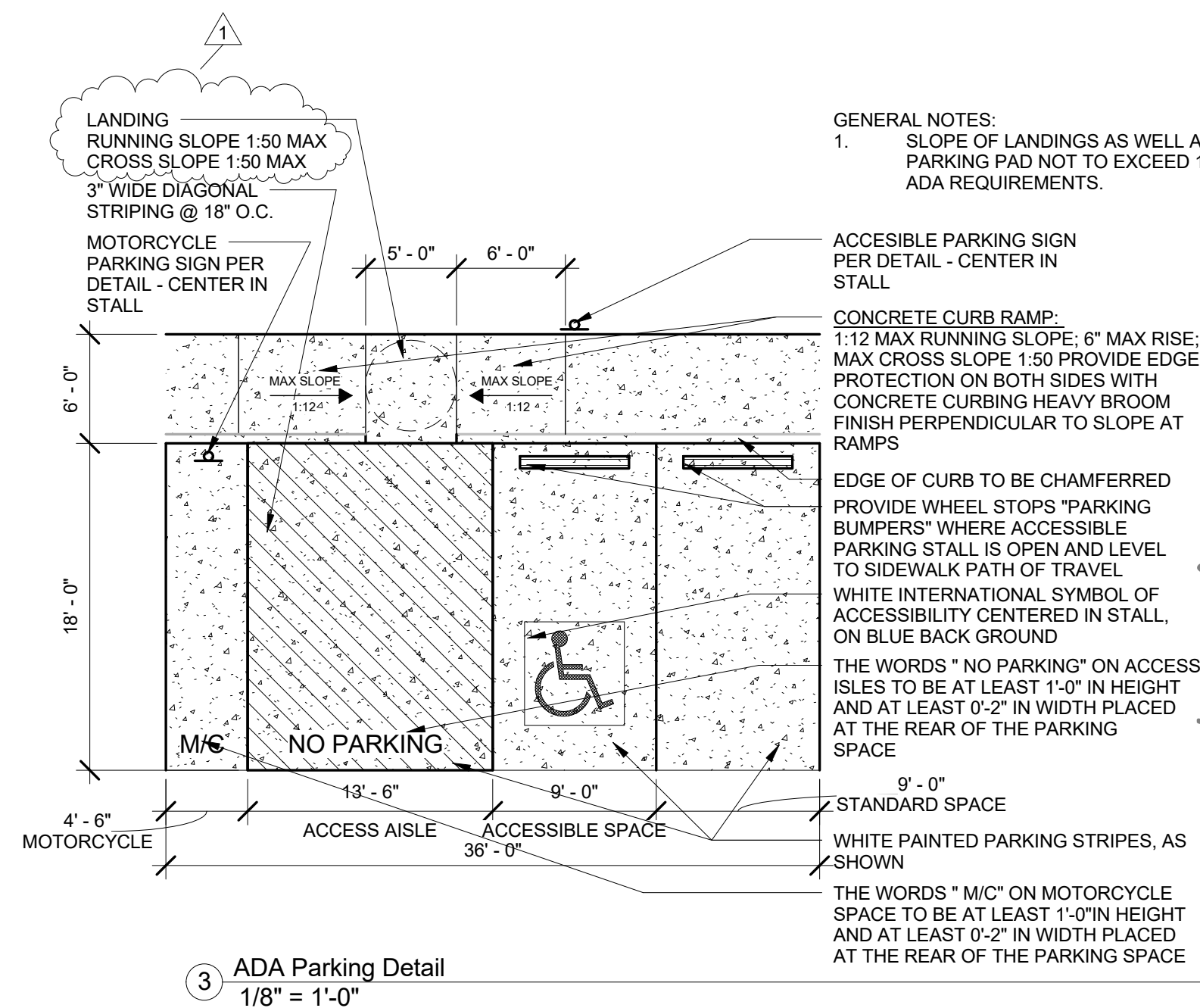
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC 2015, UMC 2021, UPC 2021, NEC 2017, ANSI A117.1-2009 AND IN ACCORDANCE WITH LOCAL PERMIT REQUIREMENTS. SUBCONTRACTORS SHALL VERIFY LOCAL REQUIREMENTS.
- ALL UTILITIES (PRIVATE AND PUBLIC) AND ACCESS CONNECTIONS SHALL BE COORDINATED, FEES PAID AND CONSTRUCTION INSTALLED AS REQUIRED BY GOVERNING AGENCIES OR COMPANY. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFIC PERMIT, APPROVALS AND PAYING ALL FEES AND TAXES.
- ALL BROKEN AND CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER AND PER CITY STANDARD DWG 2430 AND 2415A.**
- 30'-0" SLIDING GATE WILL BE OPENED BY 5AM BY OWNER ON TRASH AND RECYCLE PICK-UP DATES.
- NO OVERHANGING WIRES ARE LOCATED LEADING TO AND EXITING FROM THE TRASH ENCLOSURE. NO OVERHANGING WIRES ARE PRESENT WHERE TRASH ENCLOSURES ARE LOCATED OR WHERE THE DUMPSTER WILL BE SERVICED.
- THIS PROPOSED PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR SURROUNDING BUSINESSES DURING CONSTRUCTION.
- OWNER SHALL KEEP PATH FROM THE STREET TO THE REFUSE ENCLOSURE CLEAR AT ALL TIMES SO WASTE MANAGEMENT CAN ACCESS AND SERVICE THE DUMPSTERS WITH EASE AND SAFETY.
- ALL BROKEN OR CRACKED DRIVEPADS MUST BE REPLACED PER APPROPRIATE CITY STANDARD DRAWING.**



- 6" 3,000 PSI CONCRETE SLAB
- LANDSCAPE XEROSCAPE GRAVEL
- EXISTING ASPHALT PAVEMENT

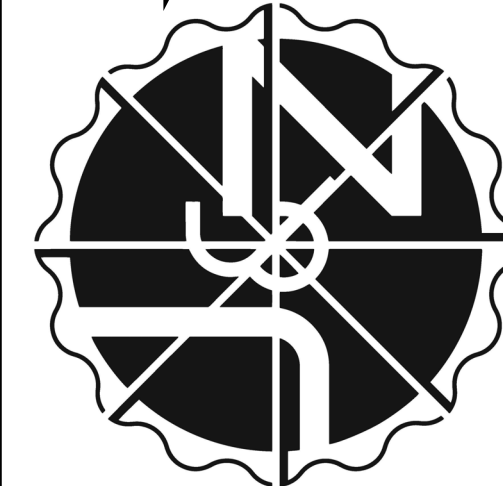
4 GROUND COVER MATERIAL LEGEND

1/4" = 1'-0"



JEEBS & ZUZU, LLC.

**Architecture
Construction
Design-Build**



job no: 23-024

drawn: UM

checked: JDH

date: Aug. 12, 2023

1 Sept. 6, 2023

**Artistic Improvement
Construction Yard**

2010 CLAREMONT AVE NE
Albuquerque, NM 87107

sheet no:

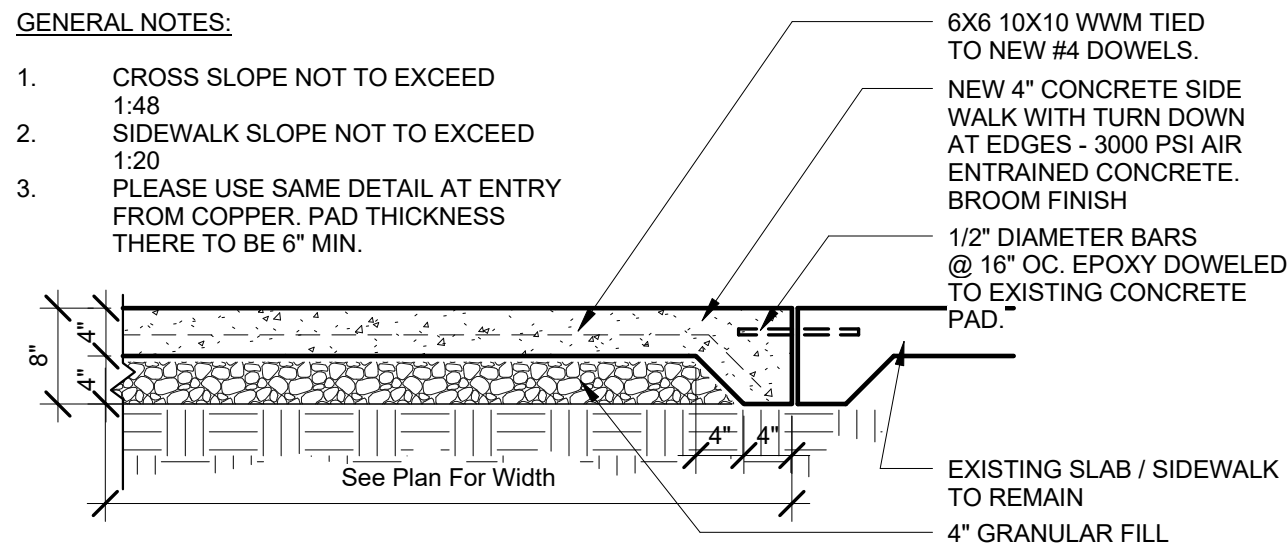
TCL1.0

TRAFFIC CIRCULATION LAYOUT

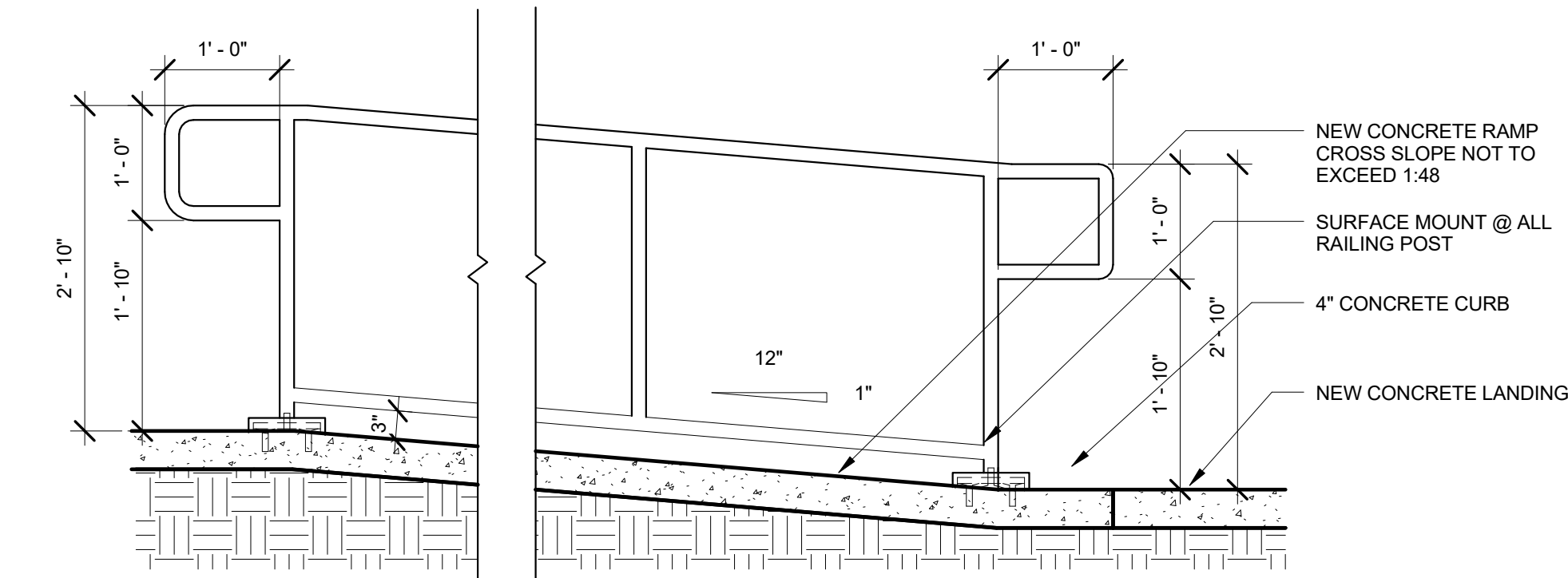
www.jeebsandzuzu.com

GENERAL NOTES:

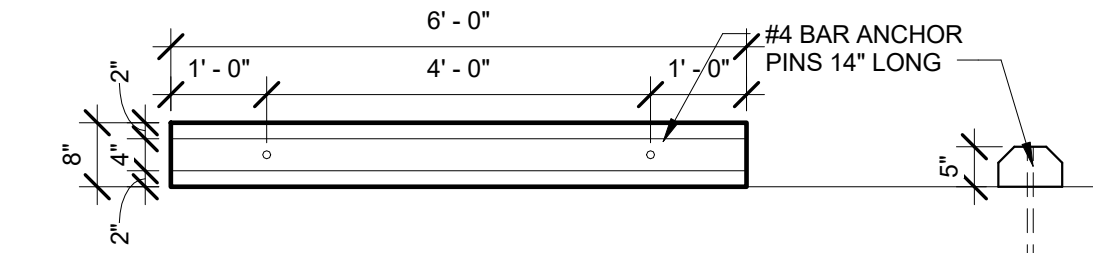
1. CROSS SLOPE NOT TO EXCEED 1:48
2. SIDEWALK SLOPE NOT TO EXCEED 1:20
3. PLEASE USE SAME DETAIL AT ENTRY FROM COPPER. PAD THICKNESS THERE TO BE 6" MIN.



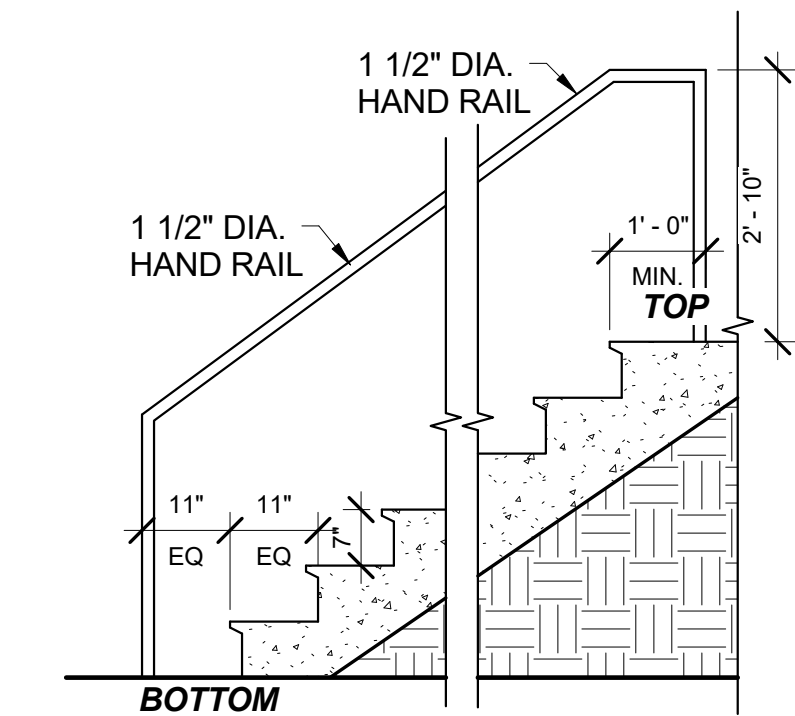
8 Sidewalk Detail
3/4" = 1'-0"



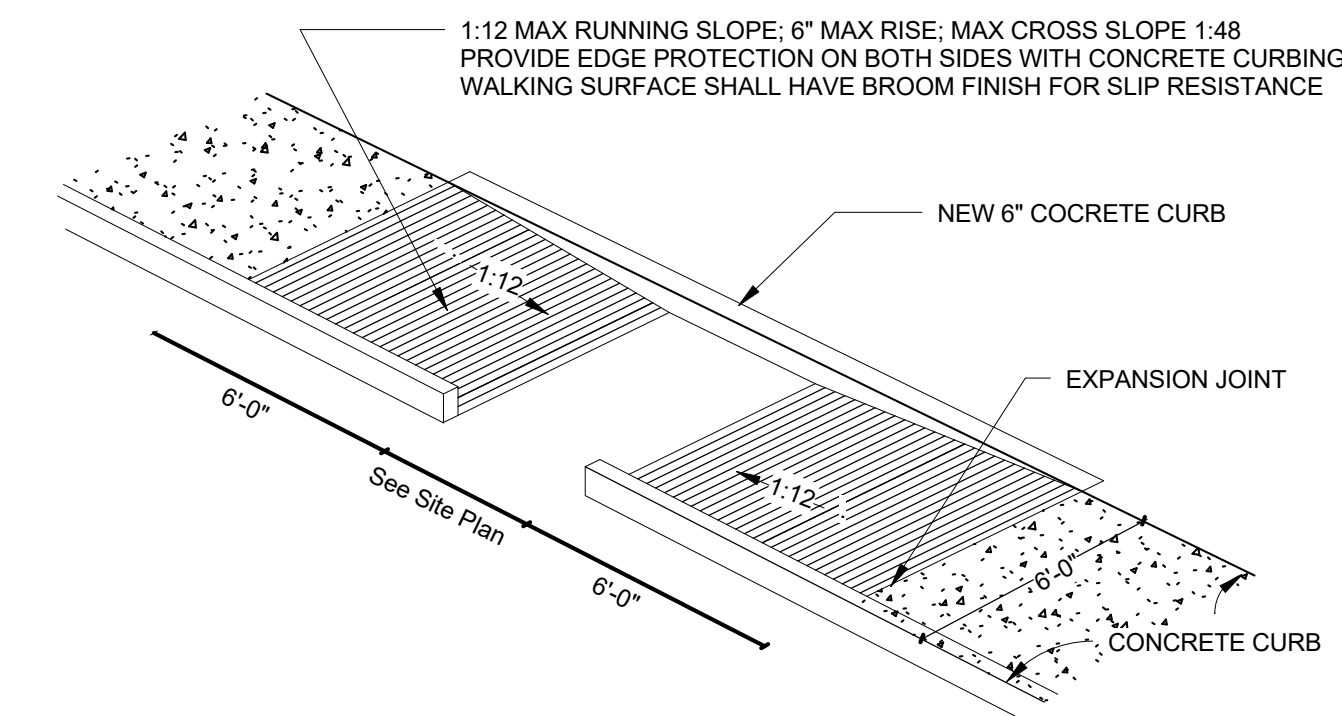
7 Handrail At Ramp
3/4" = 1'-0"



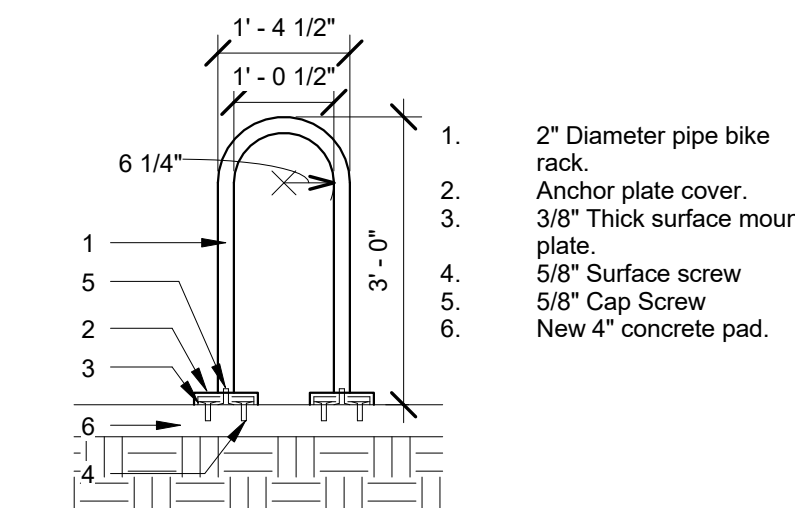
10 Concrete Bumper Detail
1/2" = 1'-0"



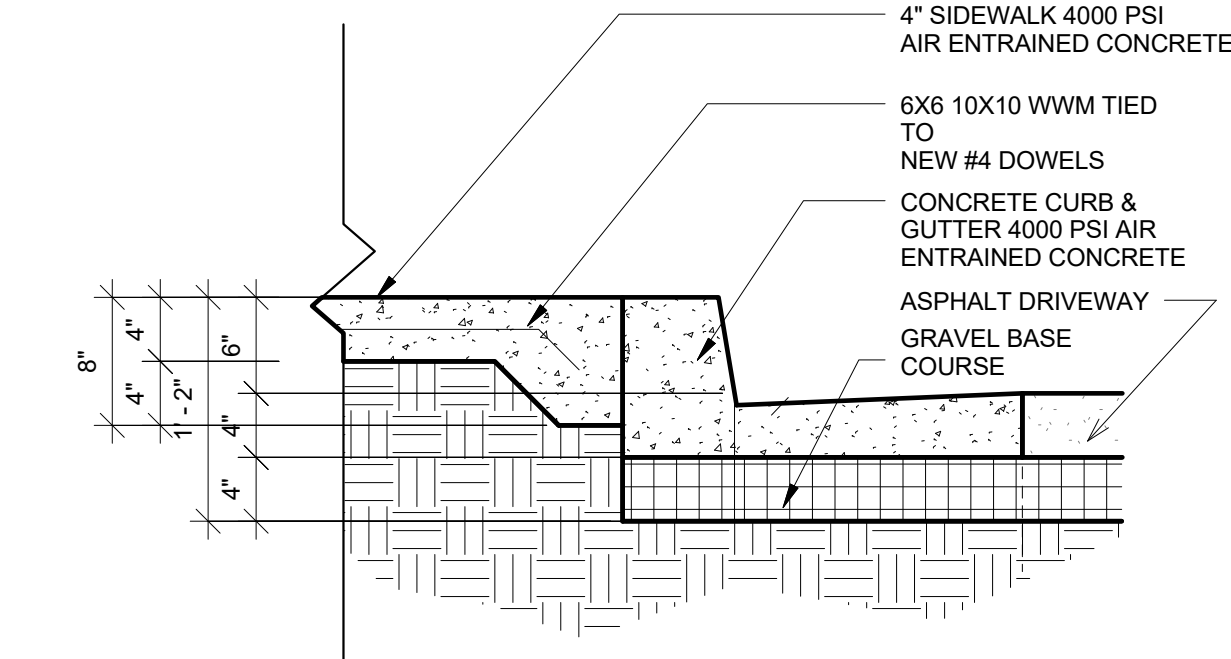
9 Stair / Handrail Detail
1/2" = 1'-0"



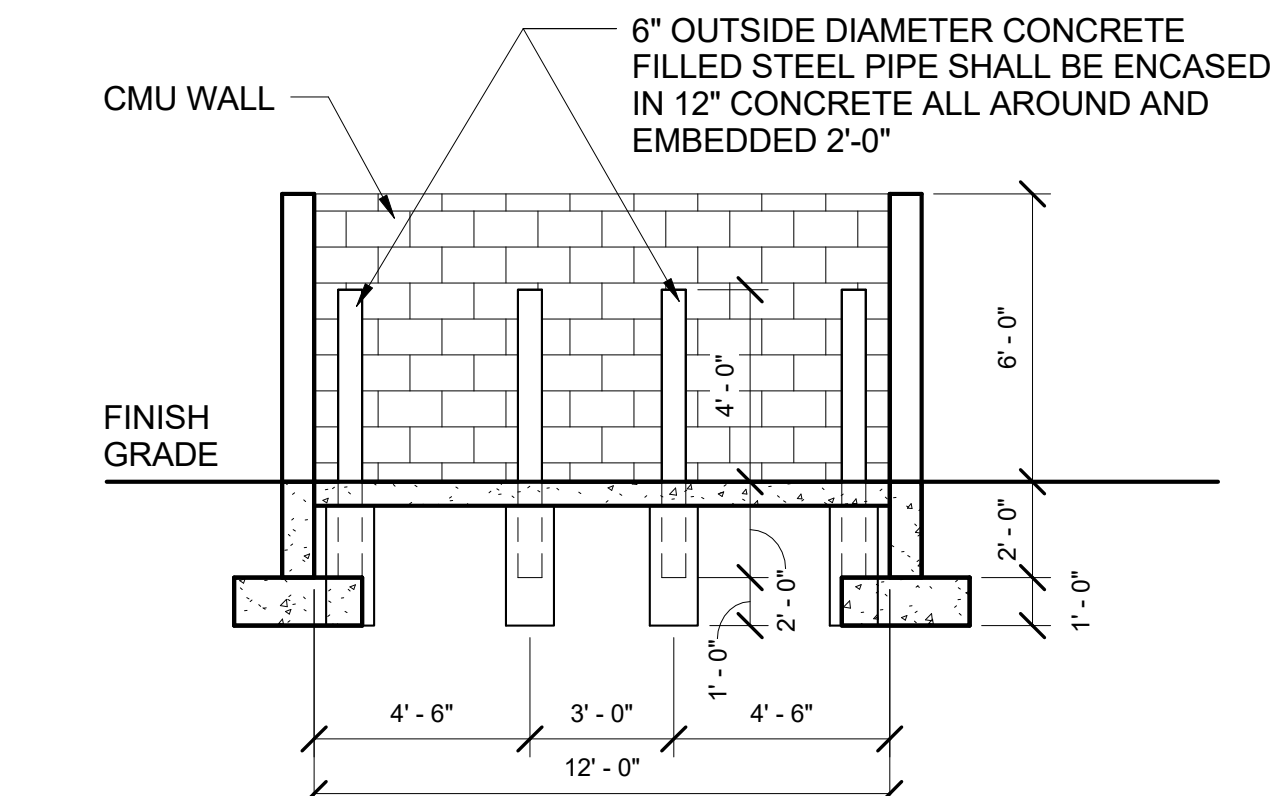
5 Curb Ramp Detail
1/4" = 1'-0"



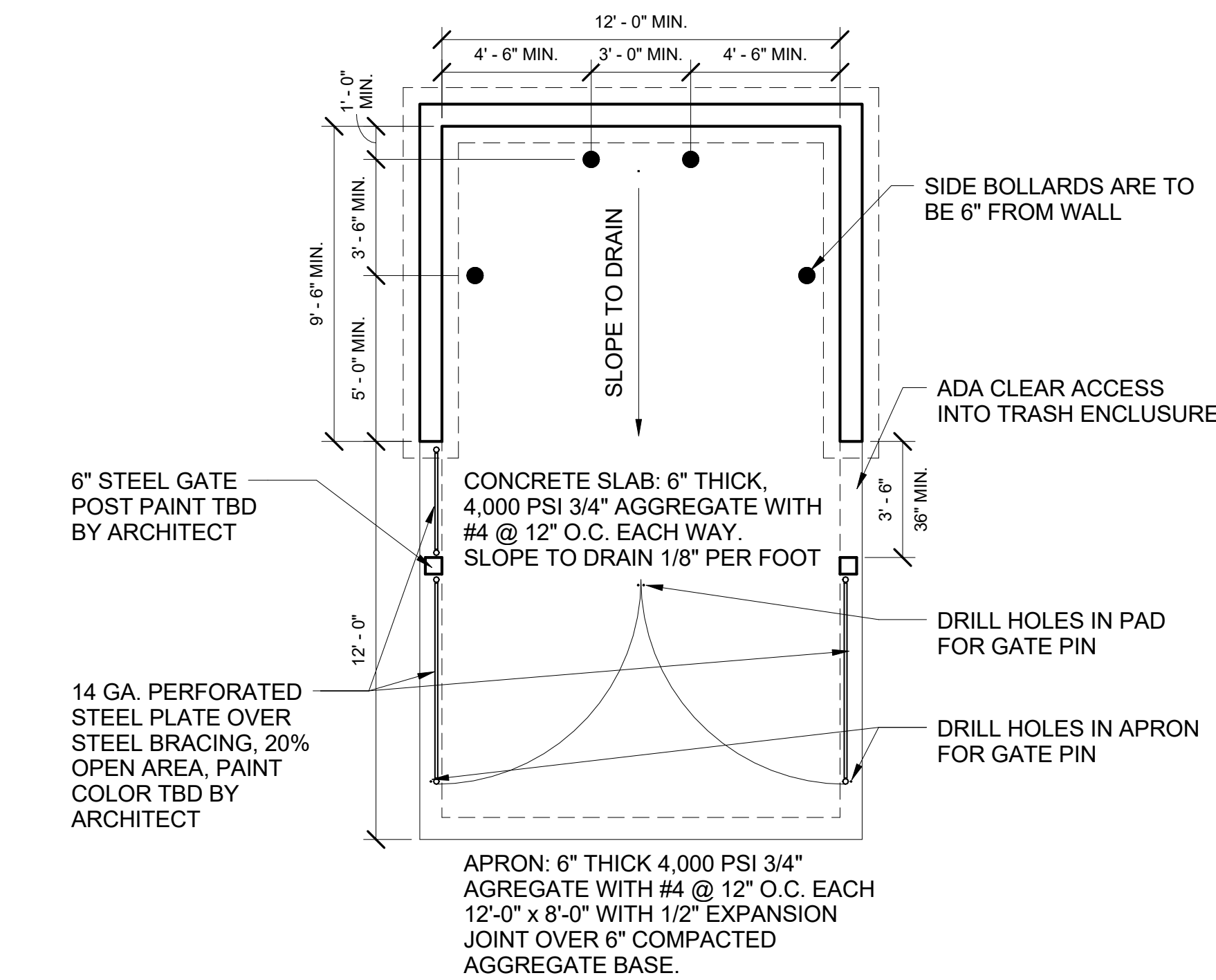
6 Bike Rack Detail
1/2" = 1'-0"



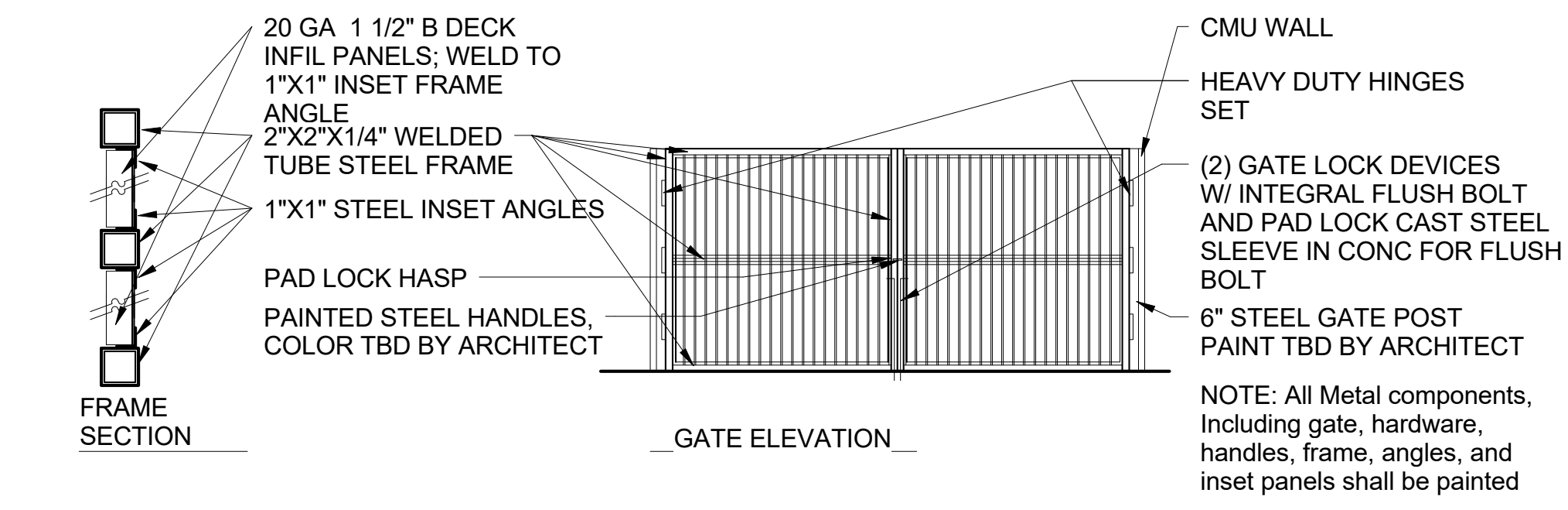
4 Curb Section Detail1
1" = 1'-0"



3 Trash Enclosure Section Detail
1/4" = 1'-0"

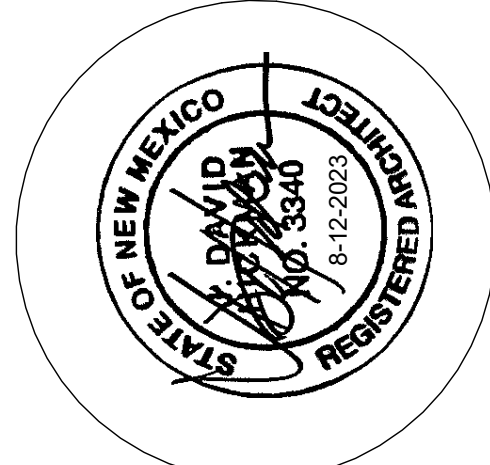


2 Trash Enclosure (Metal) Plan Detail
1/4" = 1'-0"



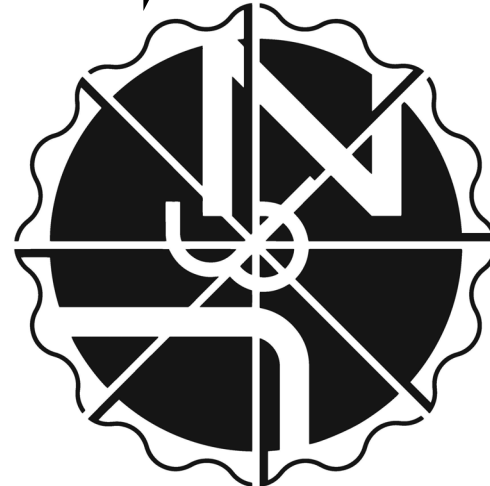
1 Trash Enclosure (Metal) Elevation Detail
1/4" = 1'-0"

easy as pie



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TRAFFIC CIRCULATION LAYOUT DETAIL

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TCL1.1

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