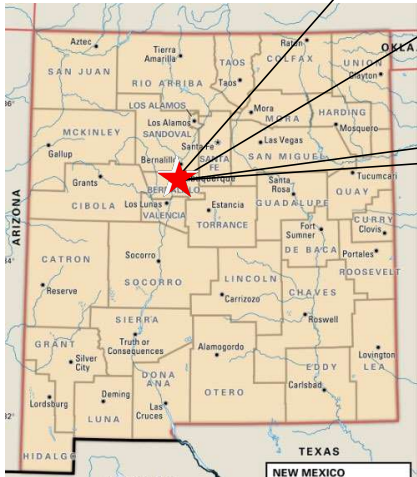


Motel 1

2001 Canelaria Road NE



TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

PAGE INDEX	
1	TITLE PAGE
2	SWPPP INFO & NOTES
3	DETAILS
4-5	TEMPORARY EROSION CONTROL PLAN
6	SCHEDULE & SWPPP TEAM



GPS COORDINATES:

Latitude: 35.114737
Longitude: -106.622686

 04/04/2023 CPESC Stamp	Motel 1	
	PROJECT TITLE	
	ALBUQUERQUE, NM, BERNALILLO COUNTY	
	CITY, COUNTY, STATE	
04/04/2023	DATE	
B. Henriksen / J. Tolman	DRAWN BY	

STORMWATER POLLUTION PREVENTION PLAN INFORMATION

PERMIT NUMBER:	NMR1005JQ, NMR1005JK
NMR100000 STATE OF NEW MEXICO, EXCEPT INDIAN COUNTRY NMR101000 INDIAN COUNTRY WITHIN THE STATE OF NEW MEXICO, EXCEPT NAVAJO RESERVATION LANDS THAT ARE COVERED UNDER ARIZONA PERMIT AZR101000 AND UTE MOUNTAIN RESERVATION LANDS THAT ARE COVERED UNDER COLORADO PERMIT COR101000.	
OPERATOR NAME:	Raul Modi
OPERATOR POINT OF CONTACT:	Raul Modi 505-803-6544 saiinc1@yahoo.com
NOI PREPARED BY:	Inspections Plus 2
PROJECT/SITE NAME:	Motel 1
PROJECT/SITE ADDRESS:	2001 Candelaria Road NE
LATITUDE	Latitude: 35.114737
LONGITUDE	Longitude: -106.622686
ESTIMATED PROJECT START DATE	05/15/2023
ESTIMATED PROJECT COMPLETION DATE	008/25/2023
ESTIMATED AREA TO BE DISTURBED	1.13 acres
TYPE OF CONSTRUCTION	Commercial
DEMOLITION OF ANY STRUCTURES, 10,000 SQ FT OF GREATER BUILT OR RENOVATED BEFORE JANUARY 1, 1980?	Yes
WAS THE PREDEVELOPMENT LAND USED FOR AGRICULTURE?	NO
COMMENCED EARTH DISTURBING ACTIVITIES?	NO
DISCHARGE TO MS4? MS4 NAME?	NO
SURFACE WATERS WITHIN 50FT?	NO
RECEIVING WATER?	Alameda Lateral
IS RECEIVING WATER IMPAIRED? TIER DESIGNATION	No
WHAT ARE THE IMPAIRMENTS, IF ANY?	NA
SWPPP CONTACT INFORMATION:	Bertha Bolivar - 505-877-2821 bertha@coronadowrecking.com
ENDANGERED SPECIES CRITERIA:	CRITERION "A"; NO CRITICAL HABITATS
HISTORIC PRESERVATION CRITERIA:	CRITERION "A" PREEXISTING DEVELOPMENT

EROSION CONTROL NOTES ESC Plan Standard Notes (2022-08-23)

1. All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:

- a. The City Ordinance § 14-5-2-11, the ESC Ordinance,
- b. The EPA's 2017 Construction General Permit (CGP), and
- c. The City Of Albuquerque Construction BMP Manual.


2. All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMPs and prior to beginning construction.

3. Self-inspections - At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.

4. Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.

5. Stabilization reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request. Reports should include records of weed removal per City Ordinance (§ 9-8-1), sterilization, soil test results and recommendation, materials and manufacturer's specifications for application rates, estimated functional longevity, methods of application, inspection and maintenance. The reduced self-inspection schedule in CGP 4.4.1 applies to stabilized area and any damaged or worn stabilization must be identified in the reports along with weed problems. Corrective actions for stabilization shall be documented in a stabilization report including actual rates and dates of stabilization, and the materials and manufacturer's specifications used.

6. BMPs shall be inspected and maintained until all disturbed areas are stabilized in accordance with the Final Stabilization Criteria (CGP 2.2.14.b). Generally, all disturbed areas, other than structures and impervious surfaces, must have uniform perennial vegetation that provides 70 percent or more of the cover provided by native vegetation or seed the disturbed area and provide non-vegetative mulch that provides cover for at least three years without active maintenance. Final stabilization must be approved by the City of Albuquerque prior to removal of BMPs and discontinuation of inspections.

 04/04/2023 CPESC Stamp	Motel 1	
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	04/04/2023 B. Henriksen / J. Tolman	<small>DATE</small> <small>DRAWN BY</small>

SEDIMENT TRACK OUT CONTROL



BMP Objectives

- Sediment Control

BERMS AND SWALES



BMP Objectives

- Runoff Control
- Run-on Diversion

SILT FENCE



BMP Objectives

- Sediment Control
- Sheet Flow Runoff Control
- Wind Erosion Control

MULCH SOCK/STRAW WATTLE



BMP Objectives


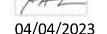

- Sediment Control
- Reduce Runoff Velocity
- Inlet Protection

INLET PROTECTION



BMP Objectives

- Sediment Control
- Sheet Flow Runoff Control
- Wind Erosion Control

  04/04/2023 CPESC Stamp	Motel 1		PROJECT TITLE
	ALBUQUERQUE, NM, BERNALILLO COUNTY		
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B. Henriksen / J. Tolman	DRAWN BY		

Boundary Survey and ALTA/NSPS Land Title Survey

for
Tract R-A-1, Menaul
Development Area and A
Remaining Portion of
Tract A, The Lands of
James W. Jackson
City of Albuquerque
Bernalillo County, New Mexico
September 2021

Surveyor's Observations

- (A) BUSINESS SIGN INTO THE RIGHT OF WAY BY AS MUCH AS 11.32 FEET. SEE ENCROACHMENT AGREEMENT (1/12/1989, BK. MISC. 102A, PG. 832-834, DOC. NO. 892635) AND ASSIGNMENT OF ENCROACHMENT AGREEMENT (9/18/2000, BK. A10, PG. 1611, DOC. NO. 2000091976)
- (B) BUSINESS SIGN INTO RIGHT OF WAY BY AS MUCH AS 7.83 FEET.
- (C) CHAINLINK FENCE INTO ADJOINER PROPERTY BY AS MUCH AS 0.74 FEET.
- (D) RETAINING WALL INTO SUBJECT PROPERTY BY AS MUCH AS 1.49 FEET, OWNERSHIP UNKNOWN.
- (E) CHAINLINK FENCE INTO ADJOINER PROPERTY BY AS MUCH AS 0.74 FEET, OWNERSHIP UNKNOWN.
- (F) COVERED AREA AND MOW CURB INTO RIGHT OF WAY BY AS MUCH AS 9.83 FEET.
- (G) ROOF DRAINS APPEAR TO DRAIN WATER ONTO SUBJECT PROPERTY.
- (H) RAILROAD TIE BARRIER INTO RIGHT OF WAY BY AS MUCH AS 3.44 FEET.
- (J) BUSINESS SIGN BASE INTO RIGHT OF WAY BY AS MUCH AS 34.10 FEET.
- (K) ONE FOOT WIDE RETAINING WALL INTO SUBJECT PROPERTY BY AS MUCH AS 2.00 FEET.
- (L) OVERHEAD BEAMS INTO EASEMENT (A) BY AS MUCH AS 2 FEET. SEE ENCROACHMENT AGREEMENT BK. 90-7, PG. 1055-1058, DOC. NO. LL INTO SUBJECT PROPERTY BY AS 2 FEET.

ALBUQUERQUE, NM, BERNALILLO COUNTY

04/04/2023

B. Henriksen / J. Tolman

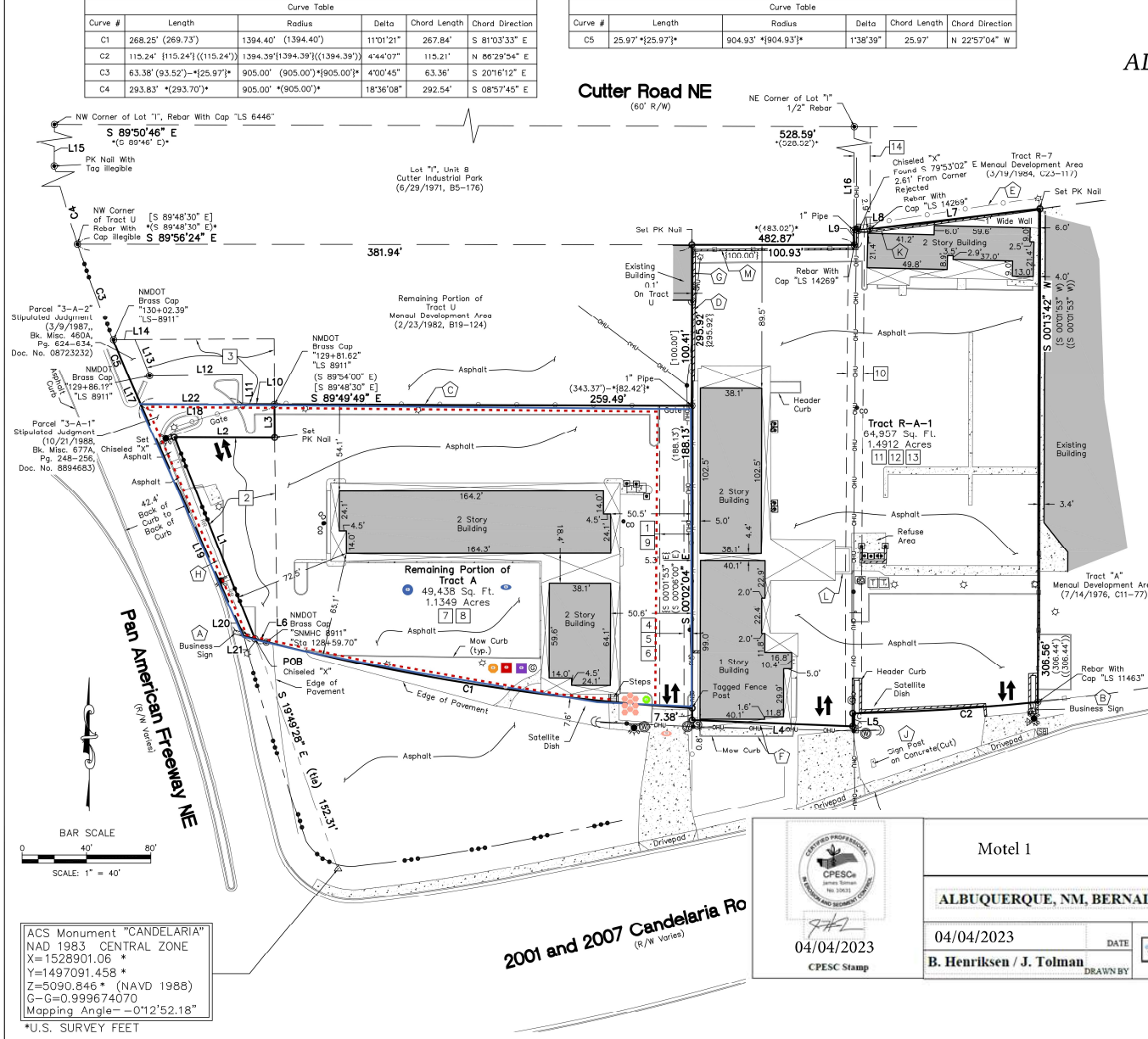


P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
wplotnerjr@gmail.com

Sheet 3 of 3
211578

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C5	25.97' * [25.97'] *	904.93' * [904.93'] *	1'38'39"	25.97'	N 22°57'04" W

Cutter Road NE
(60' R/W)



ACS Monument "CANDELARIA"
NAD 1983 CENTRAL ZONE
X=1528901.06 *
Y=1497091.458 *
Z=5090.846 * (NAVD 1988)
G-G=0.999674070
Mapping Angle=-0°12'52.18"

*U.S. SURVEY FEET

Untitled Map

Write a description for your map.

Legend

- 2001 Candelaria Rd NE
- Pho 79 Vietnamese

Entrance(s)
and
Exit(s)

Buildings
to be
demolished

Asphalt
to be
Removed

Fenced but will
not be disturbed.

2001 Candelaria Rd NE

Pho 79 Vietnamese

Google Earth

100 ft

N

Operator

Coronado Wrecking & Salvage

Jeff White

Project Manager

4200 Broadway Boulevard SE

Albuquerque, NM 87105

505-975-5410

oziewinter@yahoo.com

Owner

Raul Modi

Property Owner Contact

505-803-6544

saiinc1@yahoo.com

Responsibility: Oversees project development.

Schedule/ Sequencing of Construction – Motel 1

1. POST PERMITS
2. INSTALL REQUIRED BMPs
- 2.a. PERIMETER CONTROLS (Silt Fence)
3. DEMO (20-45 days)
4. CLEAR MATERIAL (5-10 DAYS)
5. SITE GRADING (4-8 DAYS)
6. STABILIZE and PUNCHLIST

NOTE: Coronado Wrecking is responsible for only the demolition and stabilization of the site.

Coronado will not be responsible for any future building plans.