



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 16, 1993

Jeff Mortensen
Jeff Mortensen & Associates Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

RE: REVISED GRADING/PAVING PLAN FOR PENSKE TRUCK LEASING (H15-D52)
REVISION DATED 8/16/93.

Dear Mr. Mortensen:

Based on the information provided on your August 6, 1993 resubmittal, the above referenced site is approved for Grading/Paving and S.O. 19.

Please be advised that a separate permit is required for constructing within City Right-of-Way. A copy of this approval letter must be on hand when applying for the excavation permit.

Also, prior to final approval, Engineer Certification per the D.P.M. checklist will be required for review.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

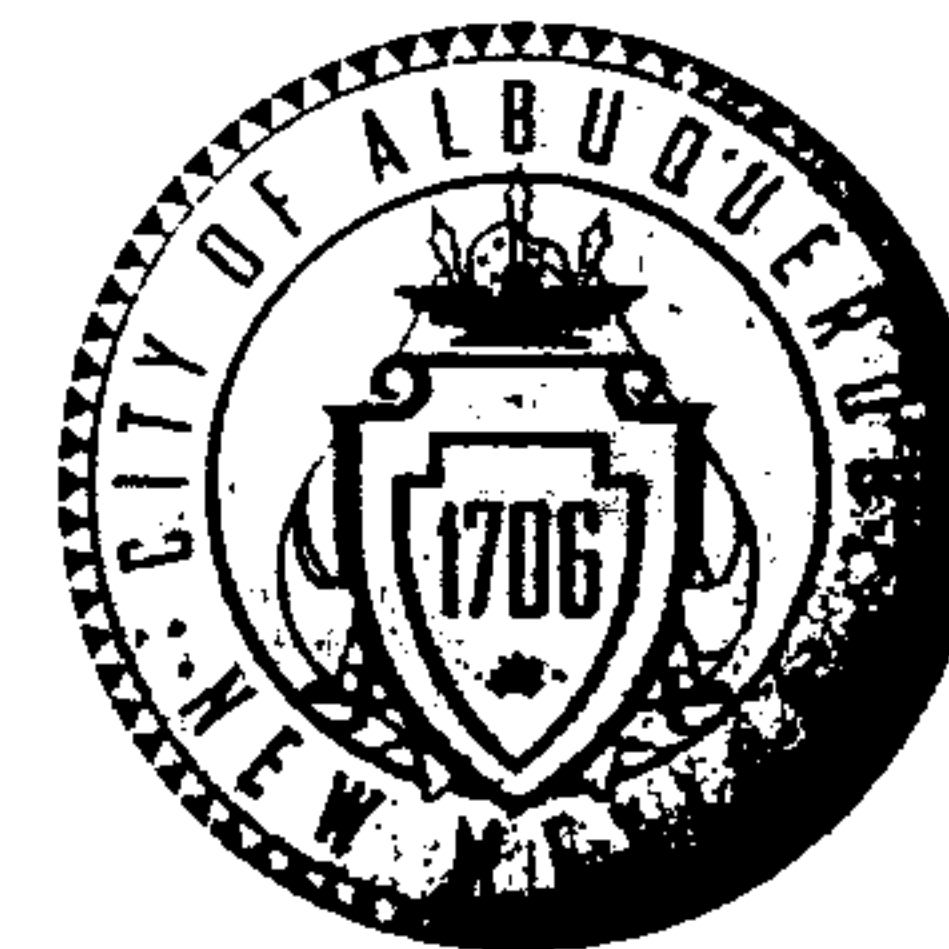
Bernie J. Montoya, CE
Engineer Associate

BJM/d1/WPHYD/7887

xc: Alan Martinez
File

PUBLIC WORKS DEPARTMENT

CITY OF ALBUQUERQUE



August 13, 2010

Shahab Biazar, P.E.
Advanced Engineering and Consulting, LLC
P.O. Box 10747
Albuquerque, NM 87184

Re: Mt. Calvary/Santa Barbara Cemetery, 1900 Edith Blvd NE, Grading and Drainage Plan

Engineer's Stamp date 8-5-10 (~~416/D022~~)
1415/D081

Dear Mr. Biazar,

Based upon the information provided in your submittal received 8-6-10, the above referenced plan is approved for Grading Permit, Paving Permit or SO-19 Permit.

PO Box 1293

The storm drain work in the City ROW must be inspected and accepted. Please contact Dave Silva, 857-8074, to schedule an inspection

Albuquerque

Upon completion of the project, provide an Engineer Certification for our files.

If you have any questions, you can contact me at 924-3695.

NM 87103

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: file
Antoinette Baldonado, Excavation and Barricading
Dave Silva, Street/Storm Drain Maintenance

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

H-15/D051

PROJECT TITLE: TRACT A1, MT CALVARY/SANTA BARBARA CEMETERY **ZONE ATLAS/DRG. FILE #:** J-15, H-15/D51
DRB #: _____ **EPC #:** _____ **WORK ORDER #:** _____

LEGAL DESCRIPTION: TRACT A1, MT CALVARY/SANTA BARBARA CEMETERY
CITY ADDRESS: 1900 EDITH BLVD. NE

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC
ADDRESS: P.O. Box 10747
CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar
PHONE: (505) 899-5570
ZIP CODE: 87184

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

_____ **DRAINAGE REPORT**
 _____ **DRAINAGE PLAN 1ST SUBMITTAL**
 _____ **DRAINAGE PLAN RESUBMITTAL**
 _____ **CONCEPTUAL GRADING & DRAINAGE PLAN**
☒ **GRADING PLAN**
 _____ **EROSION CONTROL PLAN**
 _____ **ENGINEER'S CERTIFICATION (HYDROLOGY)**
 _____ **CLOMR / LOMR**
 _____ **TRAFFIC CIRCULATION LAYOUT (TCL)**
 _____ **ENGINEER/ARCHITECT CERT (TCL)**
 _____ **ENGINEER/ARCHITECT CERT (DRB S.P.)**
 _____ **ENGINEER/ARCHITECT CERT (AA)**
 _____ **OTHER (SPECIFY)**

CHECK TYPE OF APPROVAL SOUGHT:

_____ **SIA / FINANCIAL GUARANTEE RELEASE**
 _____ **PRELIMINARY PLAT APPROVAL**
 _____ **S. DEV. PLAN FOR SUB'D. APPROVAL**
 _____ **S. DEV. PLAN FOR BLDG. PERMIT APPROVAL**
 _____ **SECTOR PLAN APPROVAL**
 _____ **FINAL PLAT APPROVAL**
 _____ **FOUNDATION PERMIT APPROVAL**
 _____ **BUILDING PERMIT APPROVAL**
 _____ **CERTIFICATE OF OCCUPANCY (PERM.)**
 _____ **CERTIFICATE OF OCCUPANCY (TEMP.)**
☒ **GRADING PERMIT APPROVAL**
☒ **PAVING PERMIT APPROVAL**
 _____ **WORK ORDER APPROVAL**
☒ **SO-19**

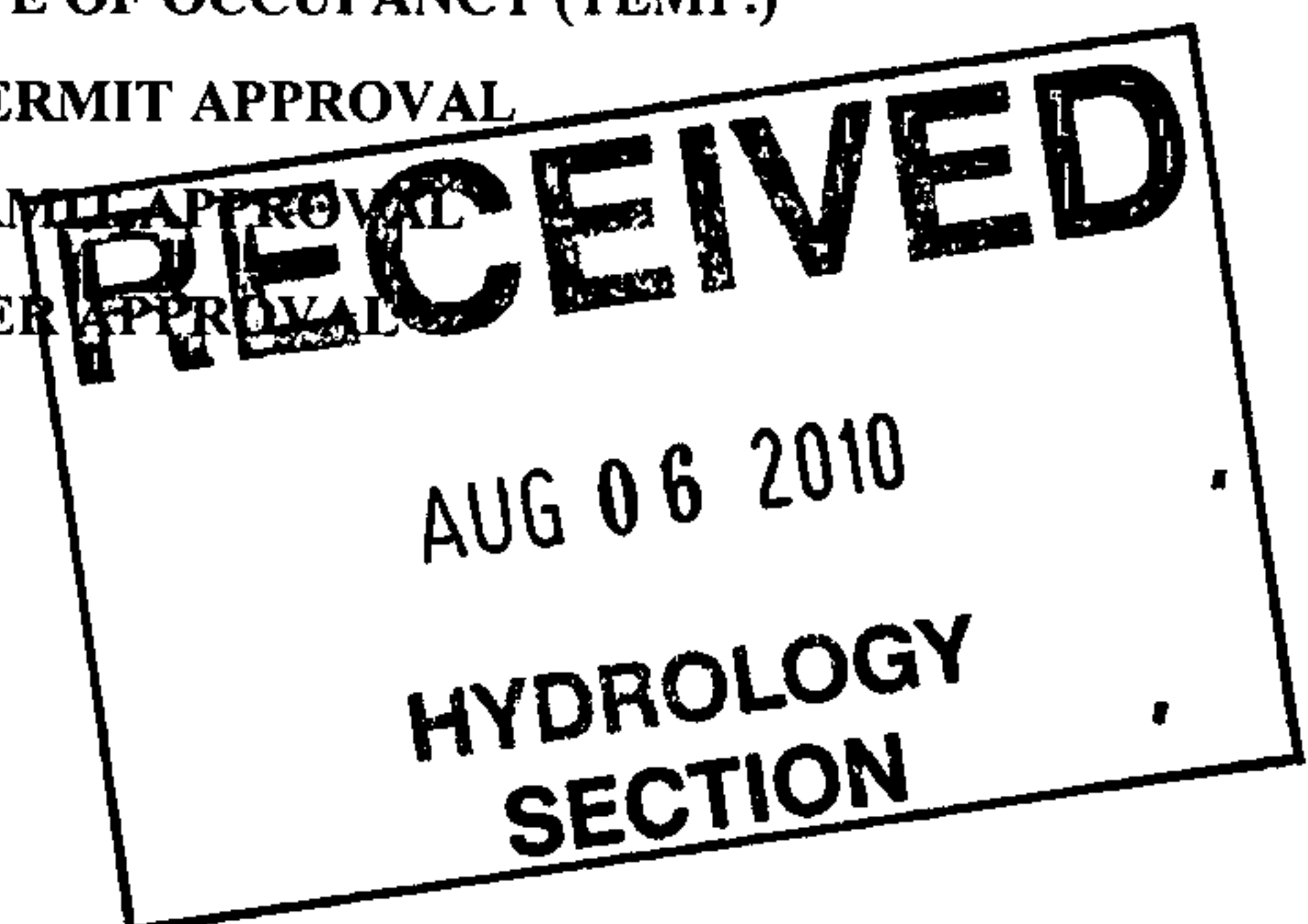
WAS A PRE-DESIGN CONFERENCE ATTENDED:

_____ **YES**
☒ **NO**
 _____ **COPY PROVIDED**

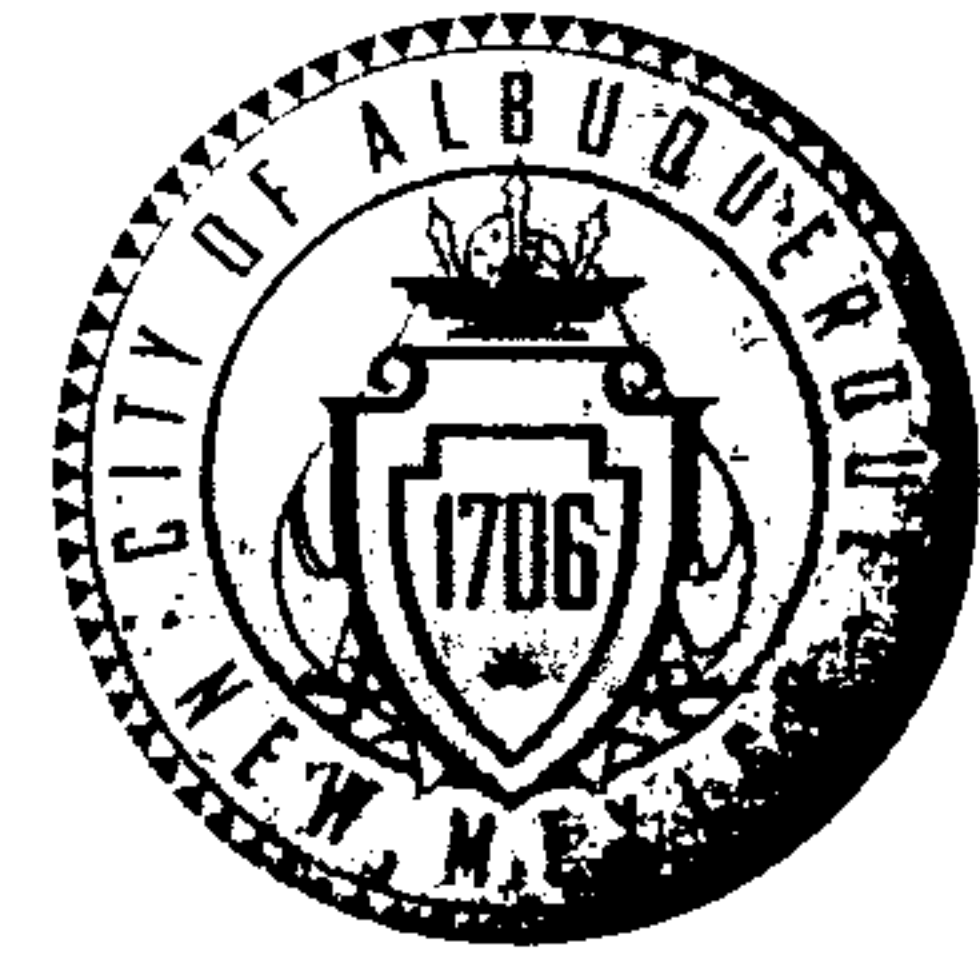
DATE SUBMITTED: 08 / 06 / 2010 **BY:** Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5).
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.



CITY OF ALBUQUERQUE



July 7, 2010

Shahab Biazar, P.E.
Advanced Engineering and Consulting, LLC
P.O. Box 10747
Albuquerque, NM 87184

Re: Mt. Calvary/Santa Barbara Cemetery Grading and Drainage Plan
Engineer's Stamp date 7-2-10 (J16/D022)

1415/0681

Dear Mr. Biazar,

Based upon the information provided in your submittal received 7-6-10, the above referenced plan cannot be approved for Grading Permit, Paving Permit or SO-19 Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- In the build note to tie into the back of the inlet add "... per COA STD DWG 2237".
- Specify the pipe diameter on the plan view.
- The Storm Drain Quality Inlet specifies to see base of MH Detail. It does not appear to be on the plan.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



March 3, 2010

John A. Blessen, P.E.
Soleil West Architects
11930 Menaul Blvd NE Suite 109
Albuquerque, NM 87112

**Re: Mount Calvary Cemetery
Grading and Drainage Plan
Engineer's Stamp dated 3-16-09 (H15-D051)**

Dear Mr. Blessen,

Based upon the information provided in your submittal received 3-1-2010, the above referenced plan is approved for Building Permit.

PO Box 1293

Please provide a copy of this plan in the permit set to obtain a signature by Hydrology.

Albuquerque

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Kathy Verhage).

NM 87103

If you have any questions, you can contact me at 924-3986.

www.cabq.gov

Sincerely,

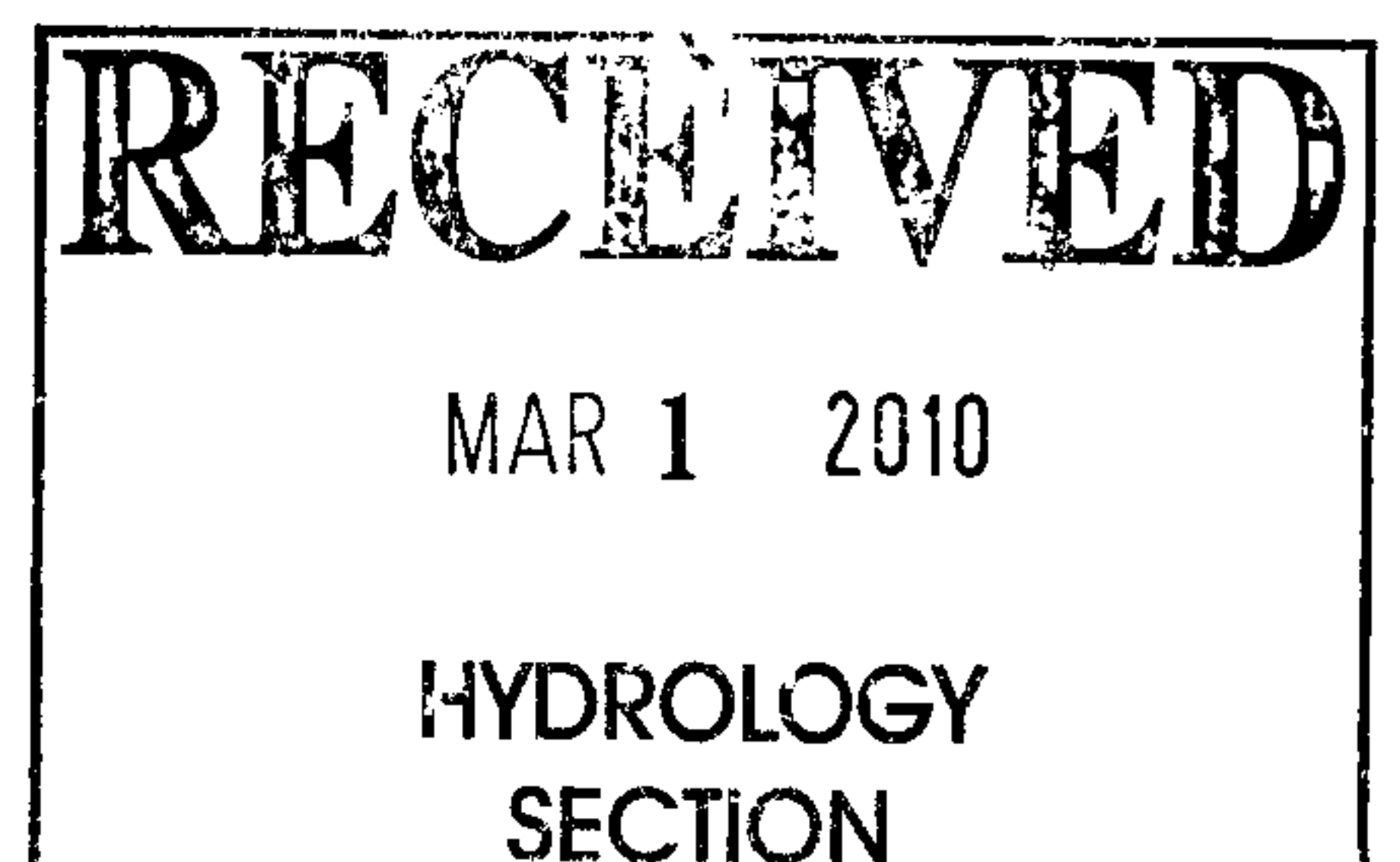
Bradley L. Bingham, PE, CFM
City Hydrologist, Planning Department
Development and Building Services

C: File

Drainage Report
for
Mount Calvary Cemetery

1900 Edith NE
Albuquerque, New Mexico

October 3, 2008



Location:

Tracts A and B Mt Calvary / Santa Barbra Cemetery
1900 Edith NE

Zone map M-15-Z file: H15-051

East side of Edith NE, north of Indian School NE.

Existing Conditions:

The existing site is comprised of two tracts totaling 45.6 acres. The majority of the site is developed as a cemetery with several support buildings. The site do not lie within a flood hazard zone (Panel 35001C0332D) and no offsite flows past through the site.

The master drainage plan for the site was prepared C A Coonce & Associates, dated May 1993. Several updates to the drainage plan have been approved, the latest being prepared by Smith Engineering in May 2000. The drainage by Smith Engineering was divided into two phase, with only a portion of the phase one work completed. The proposed development will be a continuation of the development in this area. The Smith Engineering report stated that the 100 year discharge rate, prior to the report, was stated as $Q=63.2$ cfs and established an existing discharge rate of 3.14 cfs/acre (9.5 cfs/ 3.028 ac) for the area being developed.

Developed Conditions:

The proposed development are located on a 2.385 ac portion of the undeveloped area located along the east property line and along the boundary line between tracts A and B. The proposed development consist of additional cemetery plots, three crypts, an access road along the east property line, pad site for future support facilities, and a parking area.

As shown by the calculations, the proposed development will reduce the runoff from the site by 0.4 csf therefore no ponding would be required for the proposed development. The discharge rate for the proposed development is 7.13 csf (3.0 csf/acre)

Drainage Calculation

City of Albuquerque DPM 1997 edition

Mnt Calvary

Precipitation Zone = 2
Basin Area = 2.385 acres

Existing Treatment

Area of A = 0 sf 0%
Area of B = 0 sf 0%
Area of C = 103905 sf 100%
Area of D = 0 sf 0%

Improved Conditions Treatment

Area of A = sf 0%
Area of B = 49225 sf 47%
Area of C = 37580 sf 36%
Area of D = 17100 sf 16%

Excess Precipitation, E (inches) 6 hr - 100 yr storm table A-8

Existing Conditions

Treatment	% of Area	En
A	0.00 x	0.53 = 0.00
B	0.00 x	0.78 = 0.00
C	1.00 x	1.13 = 1.13
D	0.00 x	2.12 = 0.00
		E = 1.13

Improved Conditions

Treatment	% of Area	En
A	0.00 x	0.53 = 0.00
B	0.47 x	0.78 = 0.37
C	0.36 x	1.13 = 0.41
D	0.16 x	2.12 = 0.35
		E = 1.13

Volume V = E A / 12

Ve =	1.130 x	2.3853 /	12 =	0.225 acre ft	9784 cf
Vi =	1.127 x	2.3853 /	12 =	0.224 acre ft	9759 cf

Discharge Rate, Q (cfs / acre) 100 yr storm table A-9

Treatment	% of Area	Q
A	0.00 x	1.56 = 0.00
B	0.00 x	2.28 = 0.00
C	1.00 x	3.14 = 3.14
D	0.00 x	4.7 = 0.00
		q = 3.14

Treatment	% of Area	Q
A	0.00 x	1.56 = 0.00
B	0.47 x	2.28 = 1.08
C	0.36 x	3.14 = 1.14
D	0.16 x	4.7 = 0.77
		q = 2.99

Peak Rate Qp = q A

Qp(e) =	3.14 x	2.3853 =	7.49 cfs
Qp(i) =	2.99 x	2.3853 =	7.13 cfs

Excess Volume = -0.001 acre ft
Excess Rate = -0.36 cfs

tc =	0.2 hr
tb =	(2.107 *E*At/Qp)-(0.25*Ad/At) = 0.753 hr
tp =	(0.7*tc)+((1.6-(Ad/At))/12) = 0.260 hr

Discharge Rate 7.49 cfs

Volume 10197 cf
Discharged - 10227 cf

Pond Voulme -30 cf

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: MOUNT CALVARY CEMETERY ZONE MAP: H-15 / D051
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS A&B MOUNT CALVARY / SANTA BARBARA CEMETERY
CITY ADDRESS: 1900 EDITH BLVD NE

ENGINEERING FIRM: SOLEIL WEST ARCHITECTS CONTACT: Arthur Blessen
ADDRESS: 11930 MENAUL NE SUITE 109 PHONE: 293-1477
CITY, STATE: ALBUQUERQUE NM 87112 ZIP CODE: 87112

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☒ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY) _____

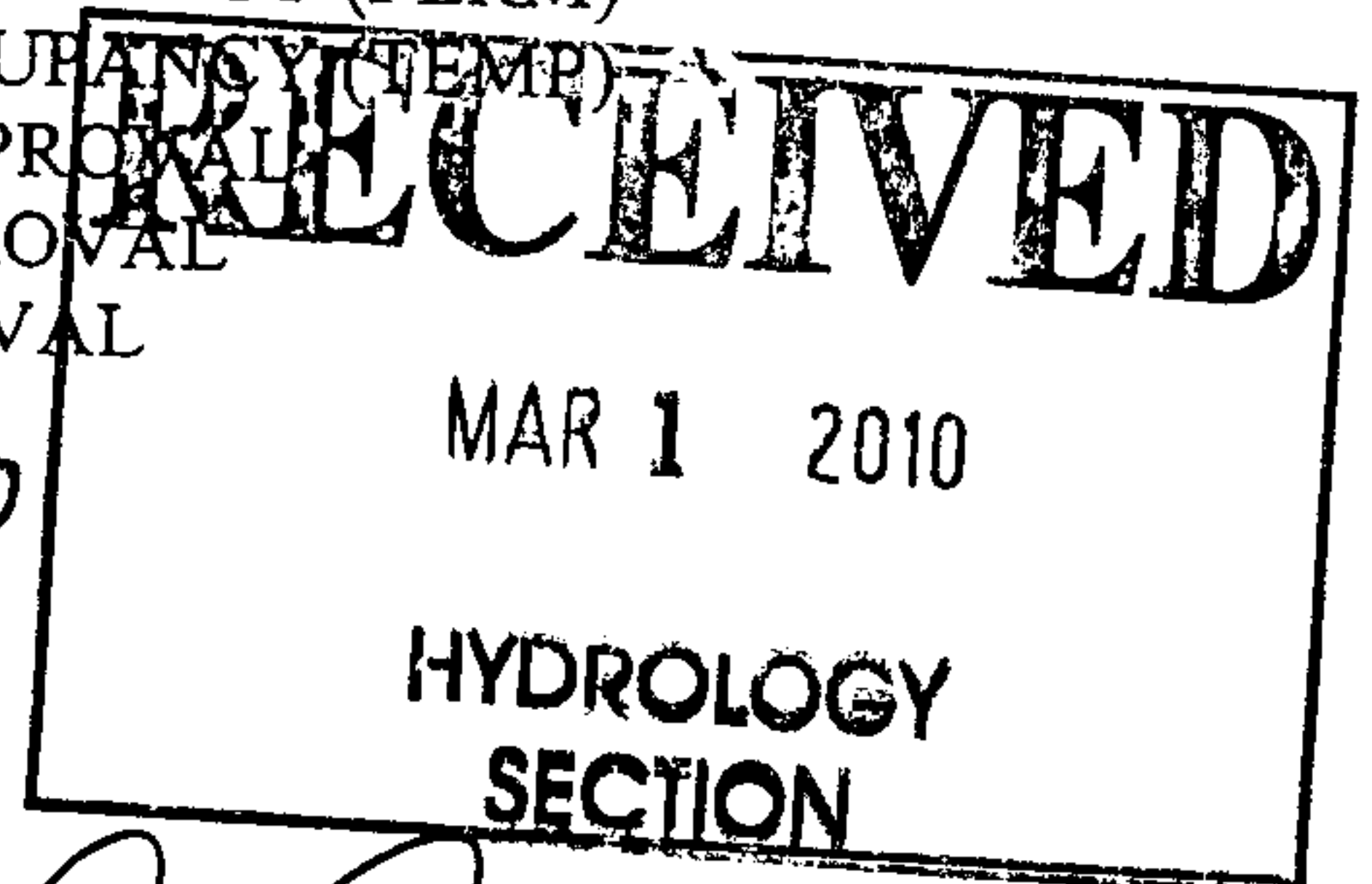
WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: 3-1-10 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

\$50.00





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 9, 1991

Dave Dekker
Design Collaborative Southwest
105 Fourth Street, SW
Albuquerque, New Mexico 87102

RE: MT. CALVARY OFFICE & CHAPEL ADDITION
(H-15/D51) ARCHITECT'S STAMP DATED APRIL 1, 1991

Dear Mr. Dekker:

Based on the information provided on your submittal of April 1, 1991, the above referenced plan is approved for Building Permit.

Please be advised that any further development at Mt. Calvary or Santa Barbara Cemetery will require a Master Drainage Plan prepared by a registered engineer competent in Hydrology.

No further building permits will be issued until the Master Plan is submitted and approved.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

xc: Alan Martinez
Charles Lucero

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 22, 1999

Richard Devine, P.E.
Smith Engineering Company
1316 Jackie Road
Rio Rancho, NM 87124

***RE: MT. CALVARY CEMETERY (H15-D51). GRADING AND DRAINAGE PLAN FOR
GRADING PERMIT AND BUILDING PERMIT APPROVALS. ENGINEER'S
STAMP DATED SEPTEMBER 3, 1999.***

Dear Mr. Devine:

Based on the information provided on your September 3, 1999 submittal, the above referenced project is approved for both Grading and Building Permits.

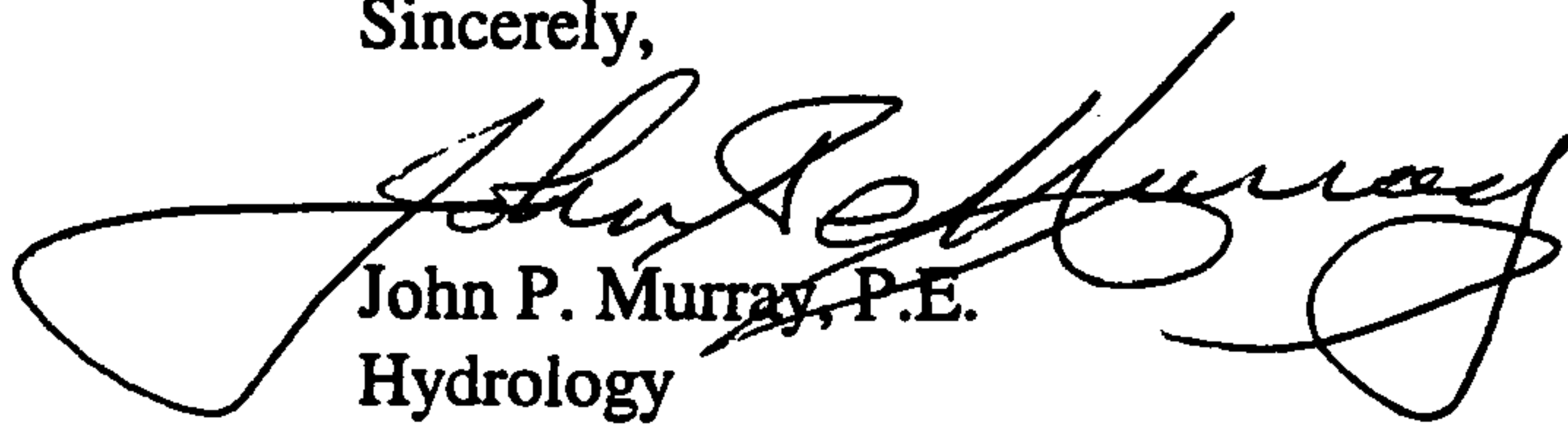
The four crypt buildings have the same footprint. One of the "C" Buildings should be "D".

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: ☒ WR
☒ File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 10, 1992

C.A. Coonce
C.A. Coonce & Associates, Inc.
12324 Pine Ridge, NE
Albuquerque, New Mexico

RE: MASTER DRAINAGE & GRADING PLAN FOR MOUNT CALVARY CEMETARY
ENGINEER'S STAMP DATED NOVEMBER 27, 1991 (H-15/D51)

Dear Mr. Coonce:

Based on the information provided on your submittal of March 3, 1992, the above referenced plan is approved for Foundation and Building Permit.

Please be advised that any further development will require a separate submittal outlining proposed development following the approved master plan.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

xc: Alan Martinez

BJM/bsj
(WP+2580)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: Catholic Cemetery Association/Archdiocese of Santa Fe ZONE ATLAS/DRNG. FILE # H-15-11051

DRB # _____ EPC # _____ WORK ORDER # _____

LEGAL DESCRIPTION Portion S 1/2 SW 1/4 SEC. 9, T 10 W, R. 3 E & Portion N 1/2 NW 1/4 Sec. 16, T 10 W, R. 3 E

CITY ADDRESS: 1900 Edith Blvd. Albuquerque, NM 87102

ENGINEERING FIRM: Smith Engineering Company CONTACT: Rick Devine

ADDRESS: 1316 Jackie Road, Rio Rancho, NM 87124 PHONE: (505) 994-1902

ARCHITECT: RSB Architects CONTACT: Robert Backawski

ADDRESS: 1570 Pacheco Street, Suite E-16, Santa Fe, NM 87505 PHONE: (505) 983-4333

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

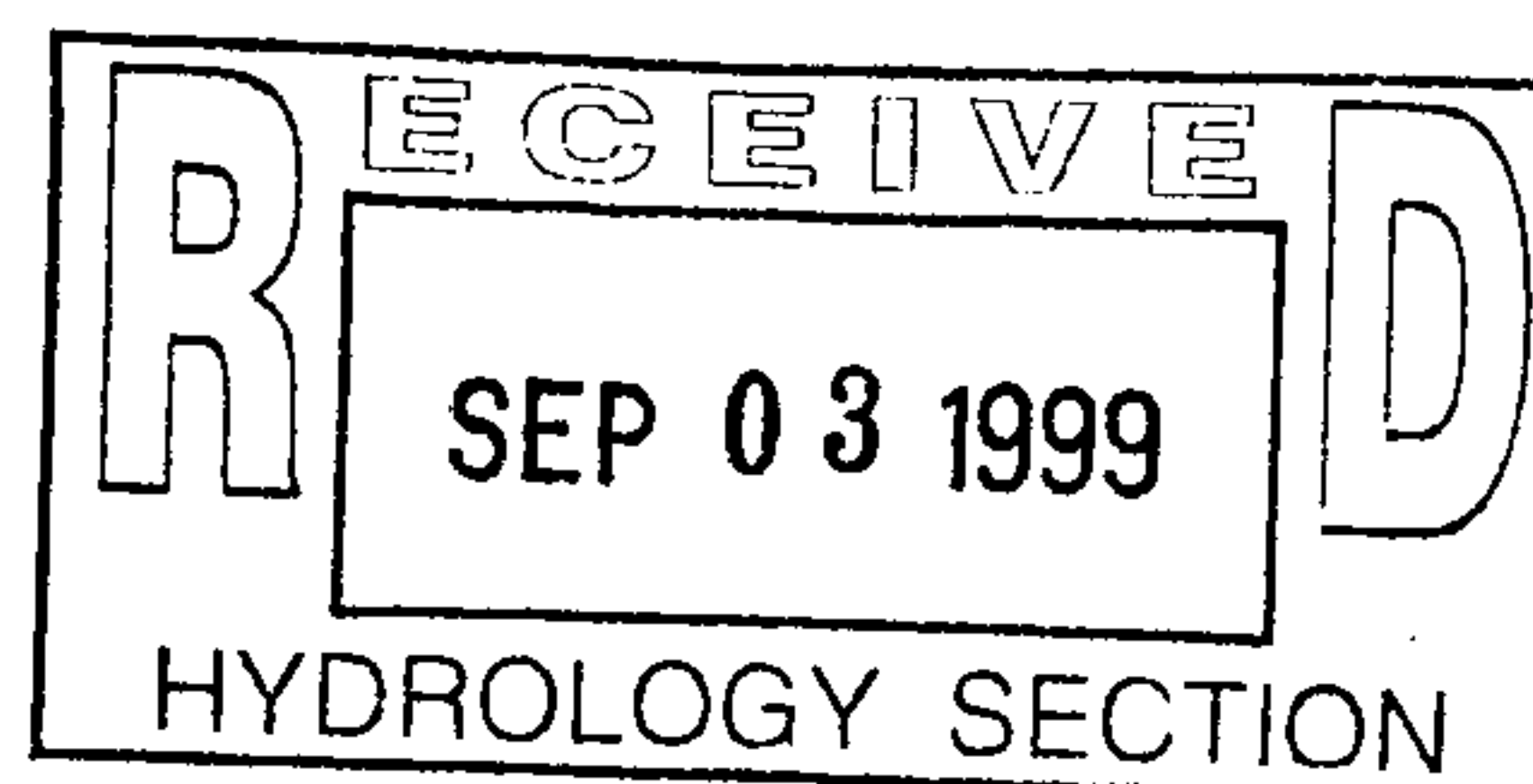
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 9/2/99

BY: Rick Devine, PE





Smith Engineering Company

A Full Service Engineering Company

September 1 , 1999

City of Albuquerque, Hydrology Division
Building Services Center, Public Works Department
2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102
Attention: Hydrology Division

Re: Grading and Drainage Submittals for: Calvary Cemetery Improvements Project

To whom it may concern:

Attached , please find the grading and drainage plans, the hydrology calculations sheet along with the horizontal geometry sheet for the above referenced Project.

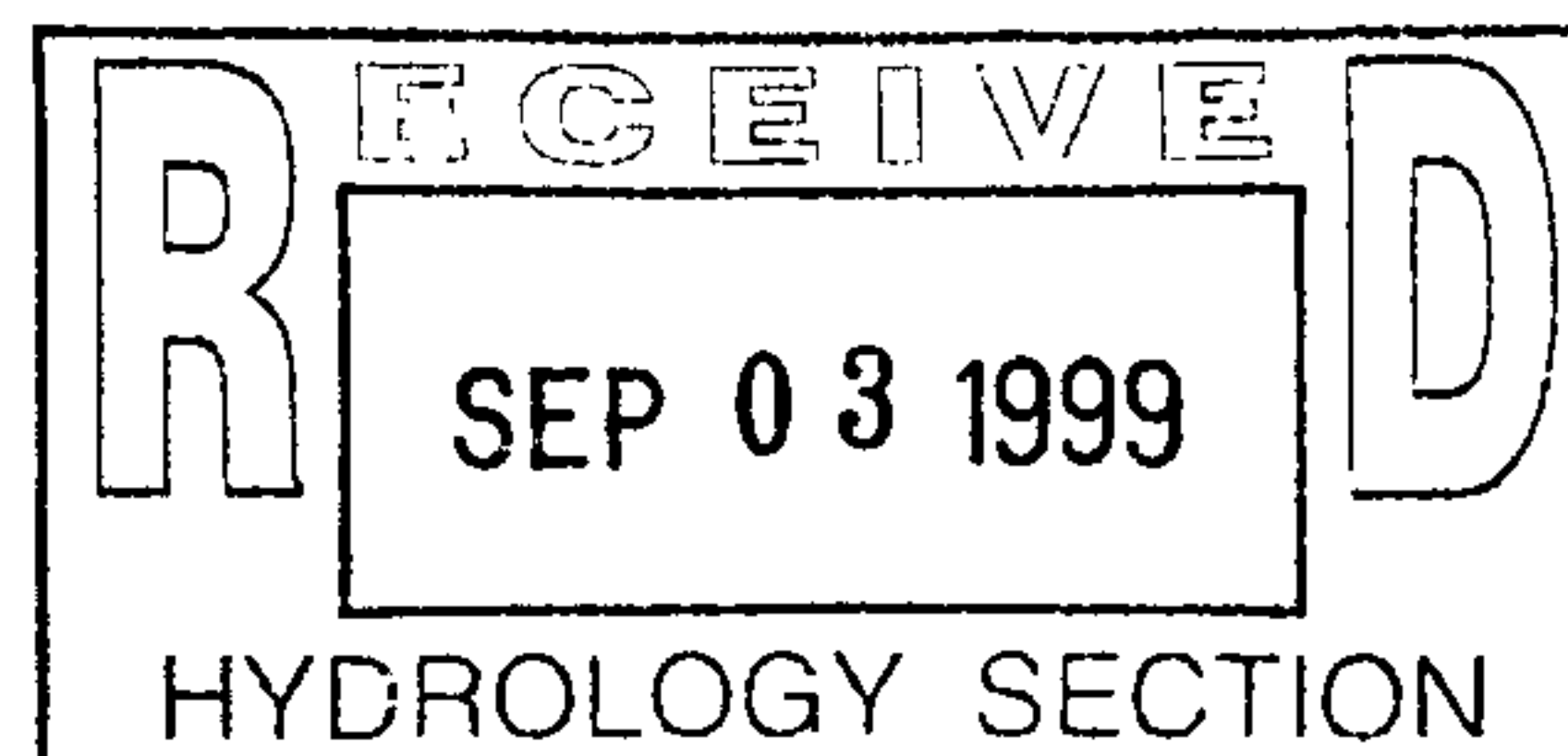
Smith Engineering Company is working as a sub-consultant to RSB Architects. Smith is responsible for the Grading and Drainage portion of the project.

If you require additional information at this time please let met know. You can contact me at 994-1902.

Sincerely,

Smith Engineering Company

Rick Devine, PE



AHYMO OUTPUT FOR PARKING LOT POND

AHYMO PROGRAM (AHYMO_97) -

- Version: 1997.02c

RUN DATE (MON/DAY/YR) = 09/01/1999

START TIME (HR:MIN:SEC) = 10:06:51

USER NO.= AHYMO-S-9702c01SEC01A-AH

INPUT FILE = mtcalv2.dat

*S THIS IS AN AHYMO HYDROLOGIC MODEL FOR:

*S Project Name Mount Calvary Cemetery Improvements to 3.028 acrs

*S MODEL DESCRIPTION -

*S 100-yr. 24-hr. storm

*S Development Condition - The 3.028 site will be fully developed

*S

*S FILE NAME: MTCALVRY2.DAT

*S USE PROCEDURES FROM COA DPM 22.2

*S PREPARED BY SMITH ENGINEERING (Rick Devine)

*S Rainfall Zone 2

*S

START TIME=0.0 PUNCH CODE=0 PRINT CODE=0

LOCATION BERNALILLO COUNTY

Bernalillo County soil infiltration values (LAND FACTORS) used for computations.

Land Treatment	Initial Abstr.(in)	Unif. Infilt.(in/hour)
A	0.65	1.67
B	0.50	1.25
C	0.35	0.83
D	0.10	0.04

*

* RAINFALL FROM DPM Section 22, Table A-2

*

RAINFALL

TYPE=2

QUARTER=0.0 ONE= 2.01 IN

SIX= 2.35 IN DAY= 2.75 IN DT = 0.05 HR

COMPUTED 24-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT

1.40 HR.

DT =	.050000 HOURS	END TIME =	24.000000 HOURS
.0000	.0024	.0049	.0075
.0102	.0130	.0158	.0188
.0219	.0252	.0286	.0321
.0358	.0397	.0439	.0482
.0529	.0578	.0631	.0689
.0751	.0836	.0930	.1201
.1842	.2944	.4649	.7103
1.0460	1.3107	1.4303	1.5302
1.6176	1.6959	1.7667	1.8313
1.8906	1.9452	1.9955	2.0421
2.0851	2.0946	2.1034	2.1115
2.1191	2.1262	2.1330	2.1394
2.1455	2.1513	2.1569	2.1622
2.1673	2.1723	2.1771	2.1817
2.1862	2.1905	2.1948	2.1989
2.2028	2.2067	2.2105	2.2142
2.2178	2.2213	2.2248	2.2282
2.2315	2.2347	2.2379	2.2410
2.2440	2.2470	2.2500	2.2529
2.2557	2.2585	2.2613	2.2640
2.2666	2.2693	2.2719	2.2744
2.2769	2.2794	2.2818	2.2842
2.2866	2.2889	2.2913	2.2935
2.2958	2.2980	2.3002	2.3024
2.3046	2.3067	2.3088	2.3109
2.3129	2.3150	2.3170	2.3190
2.3209	2.3229	2.3248	2.3267
2.3286	2.3305	2.3323	2.3342
2.3360	2.3378	2.3396	2.3414
2.3431	2.3449	2.3466	2.3483
2.3500	2.3517	2.3534	2.3551
2.3569	2.3586	2.3602	2.3619
2.3636	2.3653	2.3669	2.3686
2.3703	2.3719	2.3736	2.3752
2.3768	2.3785	2.3801	2.3817
2.3833	2.3849	2.3865	2.3881
2.3897	2.3913	2.3929	

2.3944	2.3960	2.3976	2.3991	2.4007	2.4022	2.4038
2.4053	2.4068	2.4084	2.4099	2.4114	2.4129	2.4144
2.4159	2.4174	2.4189	2.4204	2.4219	2.4234	2.4248
2.4263	2.4278	2.4292	2.4307	2.4322	2.4336	2.4350
2.4365	2.4379	2.4394	2.4408	2.4422	2.4436	2.4450
2.4464	2.4478	2.4493	2.4506	2.4520	2.4534	2.4548
2.4562	2.4576	2.4589	2.4603	2.4617	2.4630	2.4644
2.4658	2.4671	2.4685	2.4698	2.4711	2.4725	2.4738
2.4751	2.4765	2.4778	2.4791	2.4804	2.4817	2.4830
2.4843	2.4856	2.4869	2.4882	2.4895	2.4908	2.4921
2.4934	2.4946	2.4959	2.4972	2.4984	2.4997	2.5010
2.5022	2.5035	2.5047	2.5060	2.5072	2.5085	2.5097
2.5109	2.5122	2.5134	2.5146	2.5158	2.5170	2.5183
2.5195	2.5207	2.5219	2.5231	2.5243	2.5255	2.5267
2.5279	2.5291	2.5303	2.5314	2.5326	2.5338	2.5350
2.5361	2.5373	2.5385	2.5396	2.5408	2.5420	2.5431
2.5443	2.5454	2.5466	2.5477	2.5488	2.5500	2.5511
2.5523	2.5534	2.5545	2.5556	2.5568	2.5579	2.5590
2.5601	2.5612	2.5623	2.5635	2.5646	2.5657	2.5668
2.5679	2.5690	2.5701	2.5711	2.5722	2.5733	2.5744
2.5755	2.5766	2.5776	2.5787	2.5798	2.5809	2.5819
2.5830	2.5841	2.5851	2.5862	2.5872	2.5883	2.5893
2.5904	2.5914	2.5925	2.5935	2.5946	2.5956	2.5966
2.5977	2.5987	2.5997	2.6008	2.6018	2.6028	2.6038
2.6049	2.6059	2.6069	2.6079	2.6089	2.6099	2.6109
2.6119	2.6129	2.6139	2.6149	2.6159	2.6169	2.6179
2.6189	2.6199	2.6209	2.6219	2.6229	2.6238	2.6248
2.6258	2.6268	2.6278	2.6287	2.6297	2.6307	2.6316
2.6326	2.6336	2.6345	2.6355	2.6364	2.6374	2.6384
2.6393	2.6403	2.6412	2.6421	2.6431	2.6440	2.6450
2.6459	2.6469	2.6478	2.6487	2.6497	2.6506	2.6515
2.6524	2.6534	2.6543	2.6552	2.6561	2.6571	2.6580
2.6589	2.6598	2.6607	2.6616	2.6625	2.6634	2.6644
2.6653	2.6662	2.6671	2.6680	2.6689	2.6698	2.6707
2.6715	2.6724	2.6733	2.6742	2.6751	2.6760	2.6769
2.6778	2.6786	2.6795	2.6804	2.6813	2.6821	2.6830
2.6839	2.6848	2.6856	2.6865	2.6874	2.6882	2.6891
2.6900	2.6908	2.6917	2.6925	2.6934	2.6942	2.6951
2.6959	2.6968	2.6976	2.6985	2.6993	2.7002	2.7010
2.7019	2.7027	2.7035	2.7044	2.7052	2.7061	2.7069
2.7077	2.7085	2.7094	2.7102	2.7110	2.7119	2.7127
2.7135	2.7143	2.7151	2.7160	2.7168	2.7176	2.7184
2.7192	2.7200	2.7209	2.7217	2.7225	2.7233	2.7241
2.7249	2.7257	2.7265	2.7273	2.7281	2.7289	2.7297
2.7305	2.7313	2.7321	2.7329	2.7337	2.7344	2.7352
2.7360	2.7368	2.7376	2.7384	2.7392	2.7399	2.7407
2.7415	2.7423	2.7431	2.7438	2.7446	2.7454	2.7462
2.7469	2.7477	2.7485	2.7492	2.7500		

*S

**** SUB-BASIN 2 ****

*S

The following splits parcel into two basins

*S

one of which is routed through a pond

COMPUTE LT TP

LCODE=1 UPLAND/LAG TIME METHOD

NK=1 ISLOPE=-1

LENGTH=510 FT SLOPE=.0300 K=0.7

Tc AND Tp COMPUTED BY UPLAND/LAG TIME PROCEDURE

SCS UPLAND METHOD FACTORS

NOTE: Upland factor input values have been adjusted to meet Upland/Lag Time requirements.

	LENGTH (FT)	SLOPE (FT/FT)	COMPOSITE K
SHEET FLOW PORTION	400.0	.030000	.7000
SHALLOW FLOW PORTION	110.0	.030000	2.0000
CHANNEL FLOW PORTION	.0	.000000	.0000
TOTAL BASIN	510.0	.030000	.8141

TIME OF CONCENTRATION (HRS)= .1005 TIME TO PEAK (HRS)= .0670 LAG TIME (HRS)= .0753

TIME TO PEAK COMPUTED TO BE LESS THAN 0.133333 HOUR MINIMUM VALUE.
 REVISED VALUES: TIME OF CONCENTRATION (HRS)= .2000 TIME TO PEAK (HRS)= .1333
 LAG TIME (HRS)= .1500

COMPUTE NM HYD ID=1 HYD NO=1 DA= 0.00315 SQ MI
 PER A=0 PER B=.41 PER C=0 PER D=0.59
 TP=0.0 MASSRAIN=-1
 TIME TO PEAK (hrs)= .1333

K = .072666HR TP = .133333HR K/TP RATIO = .545000 SHAPE CONSTANT,
 N = 7.106420
 UNIT PEAK = 7.3356 CFS UNIT VOLUME = .9975 B = 526.28 P60 =
 2.0100
 AREA = .001859 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER
 HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .050000

K = .132120HR TP = .133333HR K/TP RATIO = .990905 SHAPE CONSTANT,
 N = 3.563129
 UNIT PEAK = 3.1471 CFS UNIT VOLUME = .9969 B = 324.91 P60 =
 2.0100
 AREA = .001292 SQ MI IA = .50000 INCHES INF = 1.25000 INCHES PER
 HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .050000

PRINT HYD ID=1 CODE=1

OUTFLOW HYDROGRAPH REACH 1.00

RUNOFF VOLUME = 1.80399 INCHES = .3031 ACRE-FEET
 PEAK DISCHARGE RATE = 7.39 CFS AT 1.500 HOURS BASIN AREA = .0032 SQ.
 MI.

*S Pond for basin ,IS THE PARKING LOT

ROUTE RESERVOIR ID=2 HYD=1 INFLOW ID=1 CODE=10
 OUTFLOW (CFS) STORAGE (AC FT) ELEVATION (FT)
 0.00 0.0000 0.01
 0.09 0.0001 0.08

0.26	0.0008	0.17
0.47	0.0037	0.25
0.72	0.0103	0.33
1.01	0.0234	0.42
1.33	0.0459	0.50
1.67	0.0821	0.58
2.04	0.1363	0.67

* * * * *

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
.00	.00	.01	.000	.00
.50	.00	.01	.000	.00
1.00	.00	.01	.000	.00
1.50	7.39	.53	.060	1.46
2.00	1.55	.65	.126	1.97
2.50	.22	.57	.077	1.62
3.00	.08	.43	.027	1.05
3.50	.04	.17	.001	.26
4.00	.03	.04	.000	.03
4.50	.03	.04	.000	.03
5.00	.03	.04	.000	.03
5.50	.04	.04	.000	.04
6.00	.04	.04	.000	.04
6.50	.04	.04	.000	.04
7.00	.04	.04	.000	.04
7.50	.04	.04	.000	.04
8.00	.04	.04	.000	.04
8.50	.04	.04	.000	.04
9.00	.03	.04	.000	.03
9.50	.03	.04	.000	.03
10.00	.03	.04	.000	.03
10.50	.03	.03	.000	.03
11.00	.03	.03	.000	.03
11.50	.03	.03	.000	.03
12.00	.03	.03	.000	.03
12.50	.03	.03	.000	.03
13.00	.03	.03	.000	.03
13.50	.03	.03	.000	.03
14.00	.03	.03	.000	.03
14.50	.03	.03	.000	.03
15.00	.03	.03	.000	.03
15.50	.02	.03	.000	.02
16.00	.02	.03	.000	.02
16.50	.02	.03	.000	.02
17.00	.02	.03	.000	.02
17.50	.02	.03	.000	.02
18.00	.02	.03	.000	.02
18.50	.02	.03	.000	.02
19.00	.02	.03	.000	.02
19.50	.02	.03	.000	.02
20.00	.02	.03	.000	.02
20.50	.02	.03	.000	.02
21.00	.02	.03	.000	.02

21.50	.02	.03	.000	.02
22.00	.02	.03	.000	.02
22.50	.02	.02	.000	.02
23.00	.02	.02	.000	.02
23.50	.02	.02	.000	.02
24.00	.02	.02	.000	.02

PEAK DISCHARGE = 1.981 CFS - PEAK OCCURS AT HOUR 1.90

MAXIMUM WATER SURFACE ELEVATION = .656

MAXIMUM STORAGE = .1277 AC-FT INCREMENTAL TIME= .050000HRS

*S

PRINT HYD

ID=2 CODE=1

OUTFLOW HYDROGRAPH REACH 1.00

RUNOFF VOLUME = 1.80390 INCHES = .3031 ACRE-FEET

PEAK DISCHARGE RATE = 1.98 CFS AT 1.900 HOURS BASIN AREA = .0032 SQ.

MI.

FINISH

NORMAL PROGRAM FINISH

END TIME (HR:MIN:SEC) = 10:06:51

DRAINAGE INFORMATION SHEET

PROJECT TITLE: MT. CALVARY OFFICE & CHAPEL ZONE ATLAS/DRNG. FILE #: 15 HZ/DS

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Mt Calvary Cem. ATTN: CHARLES LUCERO / MNGR.

CITY ADDRESS: 1900 Edith NE 87102 243-0812

^{Surveying}
ENGINEERING FIRM: Albuq. Surveying Co. Inc CONTACT: FRED SANCHEZ

ADDRESS: 2119 Menaul Blvd NE PHONE: _____

OWNER: FRED SANCHEZ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: DCSW inc. CONTACT: DAVE DECKER

ADDRESS: 105 4th ST SW PHONE: 843-9639

SURVEYOR: (SEE ABOVE) CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: Santos G. ABEYTA CONTACT: Santos

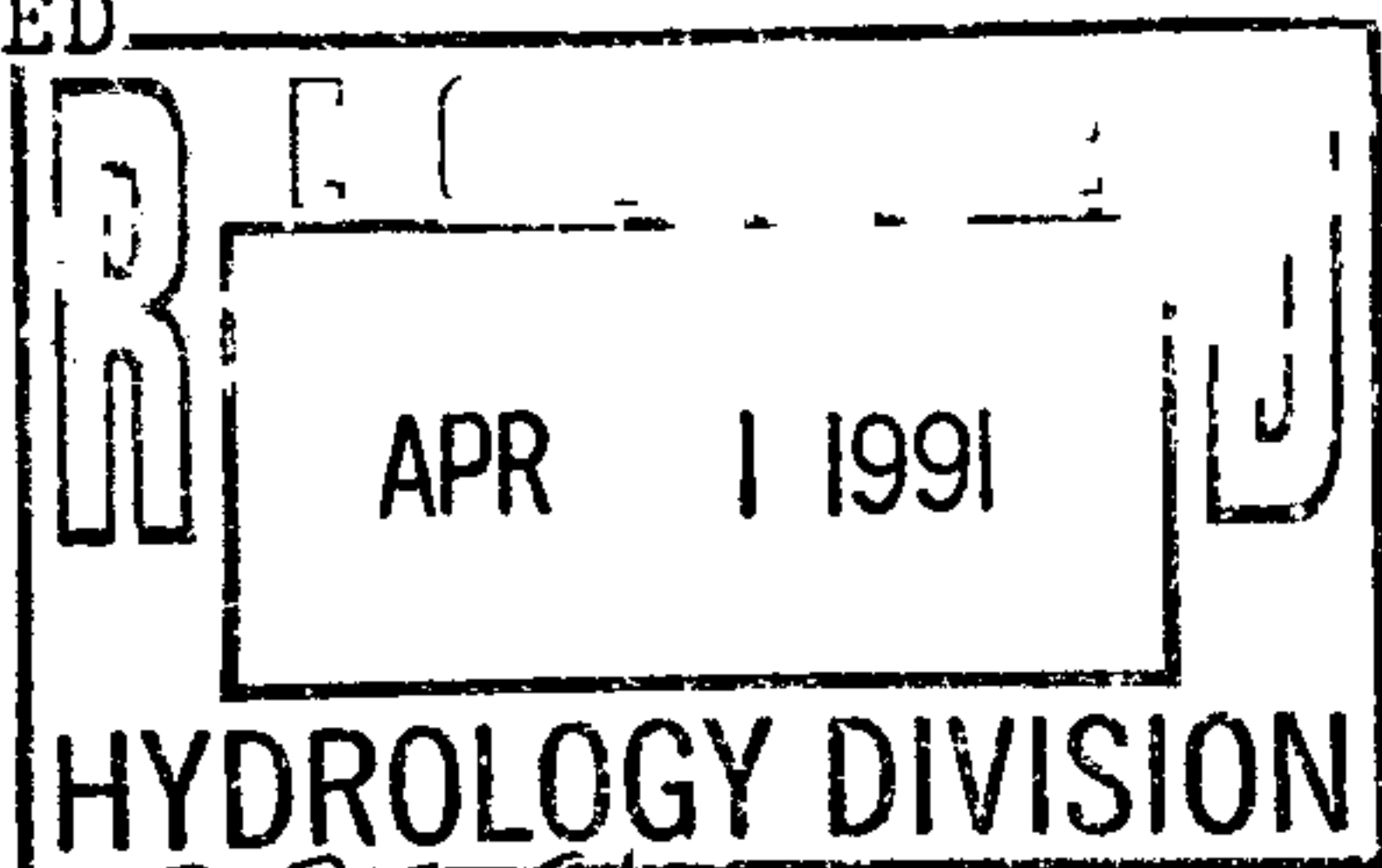
^{PROJECT MANAGER}
ADDRESS: 2800 Bridge Blvd SW PHONE: 242-2141
ALBUQ. 87105

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 3-21-91

BY: Santos G. Abeyta, Gen. Contractor

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☒ OTHER _____ (SPECIFY)

BM@ SE CORNER Exist Crypt S.W.
EL. 5004.53

Batter Board @ EL 5007.53

Counce
mean sea level

$$\begin{array}{r} 31 \\ 72 \\ \hline 62 \\ 217 \\ \hline 2232 \\ 100 \\ 81 \\ \hline 2413 \end{array}$$

$$\begin{array}{r} 2 \\ 27 \\ 3 \\ \hline 81 \end{array}$$

$$\begin{array}{r} 20 \\ 5 \\ \hline 100 \end{array}$$

Chapel 2413 sy Fe.

1000 1 10

DRAINAGE INFORMATION SHEET

PROJECT TITLE: MT. CALVARY CEMETARY ZONE ATLAS/DRNG. FILE #: H15/1051
 DRB #: _____ EPC #: _____ WORK ORDER #: BP 91-09271
 LEGAL DESCRIPTION: For S 1/2 SW 1/4 SEC 9, T10N, R3E, E Port. N 1/2 NW 1/4 SEC. 16, T10N, R3E
 CITY ADDRESS: 1900 EDITH N.E.
 ENGINEERING FIRM: C.A. Coonce & Assoc. Inc. CONTACT: C.A. Coonce
12324 PINE RIDGE N.E.
 ADDRESS: 1900 EDITH N.E. PHONE: 296-1089
 OWNER: MT. CALVARY CEMETARY CONTACT: CHARLES LUCERO
 ADDRESS: 1900 EDITH N.E. PHONE: 243-0218
 ARCHITECT: Design Collaborative SW CONTACT: Bob Heiser
 ADDRESS: 1054th S.W. PHONE: 843-9639
 SURVEYOR: Albuquerque Surveying Co. CONTACT: FRED SANCHEZ
 ADDRESS: 2119 Menard N.E. PHONE: 884-2036
 CONTRACTOR: OWNER CONTACT: CHARLES
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☒ OTHER MASTER PLAN

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

MAR 3 1992

DATE SUBMITTED:

BY:

Feb 27 1992
C. Coonce

DRAINAGE INFORMATION SHEET

PROJECT TITLE: MT. CALVARY CEMETERY OFFICE ADDN. ZONE ATLAS/ DRNG. FILE #: H-15-D51

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: MT. CALVARY CEMETERY, TRACT A

CITY ADDRESS: 1900 EDITH, NE., ALBUQUERQUE, NM 87102

ENGINEERING FIRM: C.A. COONCE & ASSOC. CONTACT: C.A. COONCE

ADDRESS: 12324 PINERIDGE, N.E. PHONE: 296-1089

OWNER: ARCHDIOCESE OF SANTA FE CONTACT: ORLANDO MARTINEZ

ADDRESS: 1900 EDITH, N.E., 87102 PHONE: 243-0218

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: ALBUQUERQUE SURVEYING, INC. CONTACT: FRED SANCHEZ

ADDRESS: 2719 MENAUL, N.E., ABQ, NM 87107 PHONE: (505) 884-2036

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☒ ENGINEER'S CERTIFICATION

☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY APPROVAL

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

☐ SUBDIVISION CERTIFICATION

☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

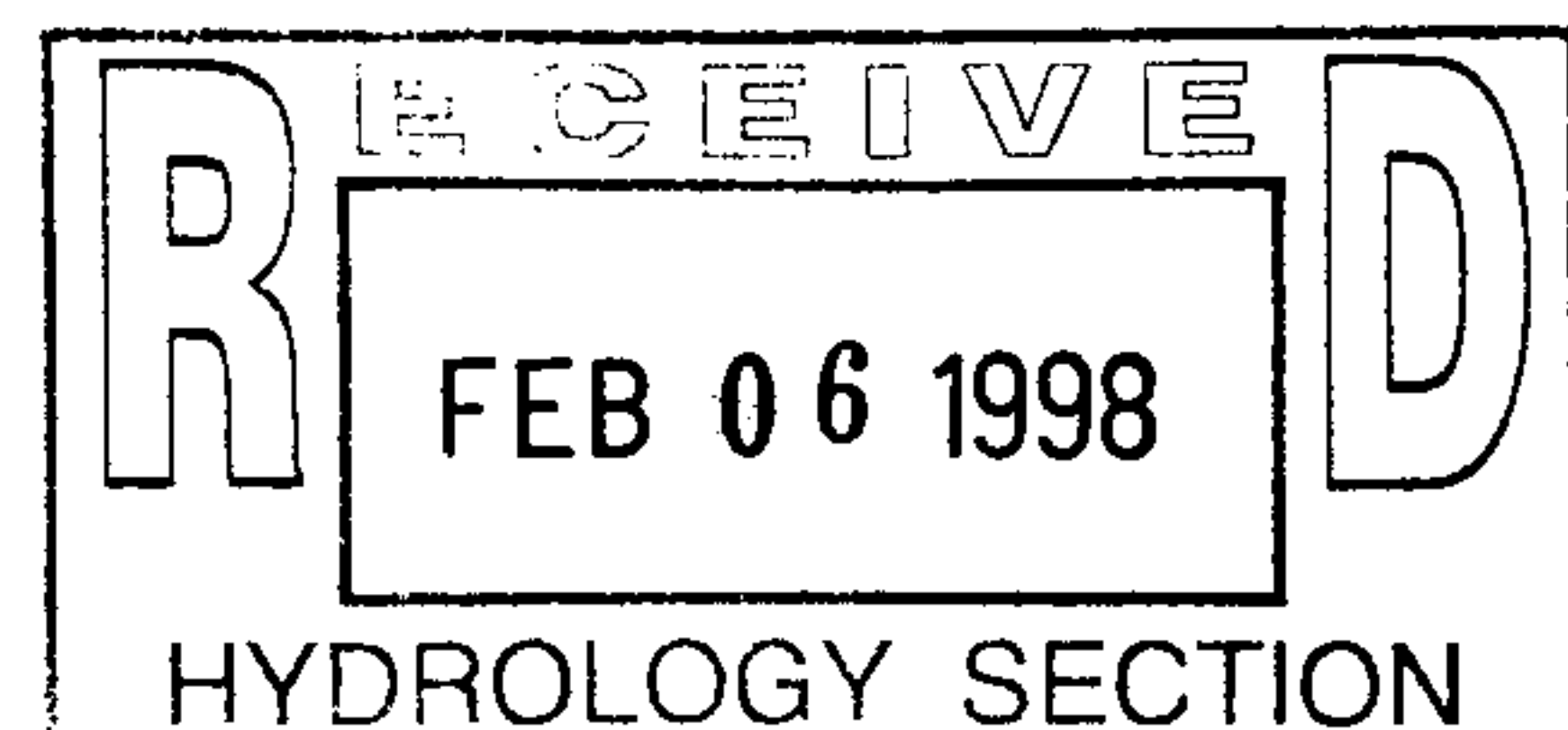
☐ YES

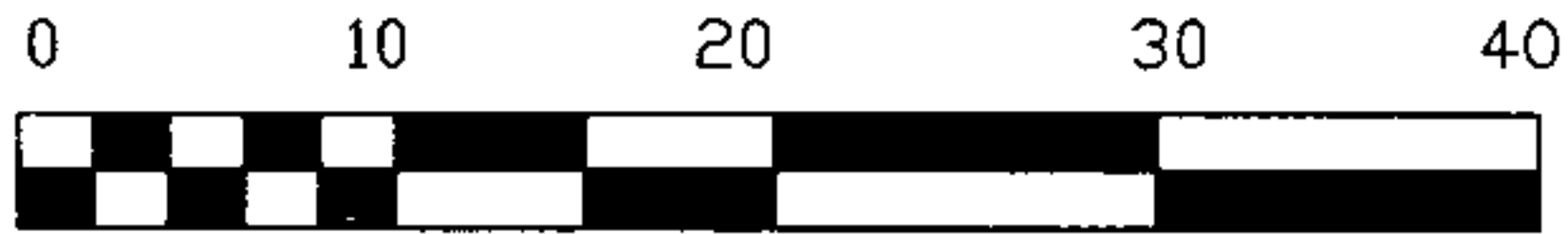
☐ NO

☐ COPY PROVIDED

DATE SUBMITTED: 02/06/98

BY: C.A. COONCE *C.A. Coonce 2/6/98*

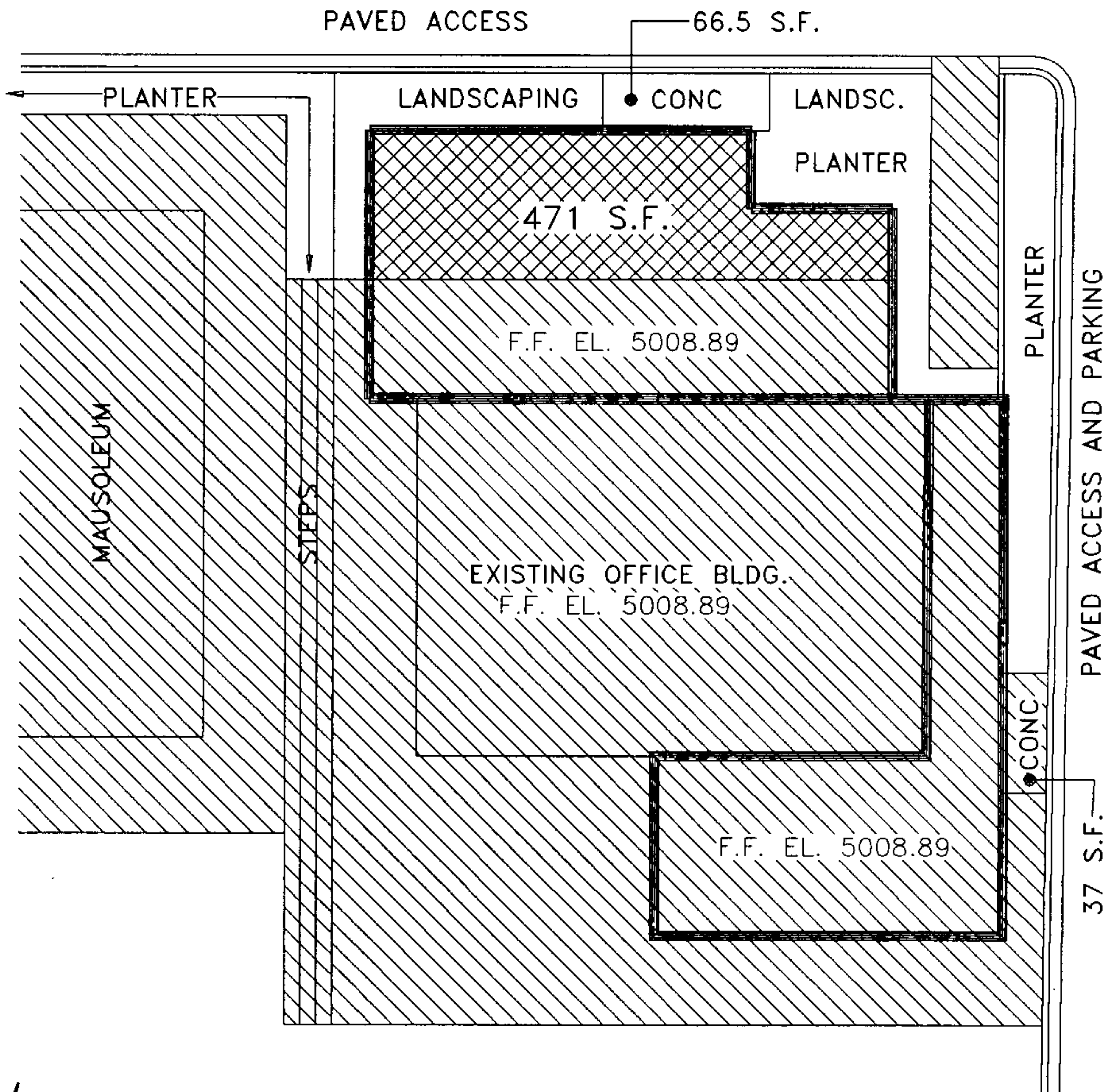




SCALE: 1" = 20'



- EXISTING IMPERVIOUS AREA (OFFICE, MAUSOLEUM, WALKWAYS)
- NEW IMPERVIOUS AREA FROM THIS PLANNED OFFICE ADDITION
- NEW ROOFLINE
- ADDED IMPERVIOUS AREA FROM THIS ADDITION - 574.5 S.F.



ON Feb. 6, 1998 THIS SITE WAS INSPECTED AND FOUND TO BE IN SUBSTANTIAL COMPLIANCE WITH THIS APPROVED DRAINAGE AND GRADING PLAN.

C. A. Coonce
C. A. COONCE

N.M.P.E. # 2934

2/6/98
DATE

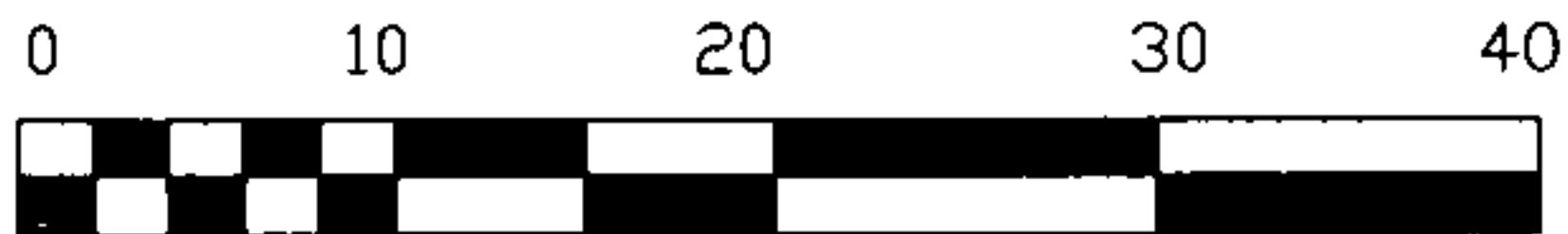
DRAINAGE EFFECTS

PLAN CHECK (APPLICATION) NO. 9100992
PROPOSED OFFICE EXPANSION SKETCH PLAN
MT. CALVARY CEMETERY

1900 EDITH BLVD., N.E. MAP J-15-Z

THIS SKETCH WAS MADE FROM FIELD MEASUREMENTS OF THE EXISTING MT. CALVARY/ SANTA BARBARA CEMETERY OFFICE COMPLEX WITH THE ARCHITECT'S PROPOSED OFFICE EXPANSION ADDED. THE PROPOSED DEVELOPMENT WILL ADD 575.5 S.F. OF IMPERVIOUS AREA. THIS IMPERVIOUS AREA REPLACES LANDSCAPED AREA AND IS IN PRECIPITATION ZONE 2. THE INCREASE IN THE 100 YEAR Q WILL BE:
 $(4.70 - 2.28) 575.5 / 43560 = 0.032$ CFS. THIS INCREASES THE 63.17 CFS FROM A PREVIOUS DRAINAGE AND GRADING PLAN. THE CEMETERY IS COMPRISED OF 45.6132 ACRES. THE PERCENTAGE INCREASE IN Q_{100} IS $0.032 / 63.17$ OR $\approx 0.05\%$. IT IS BELIEVED THAT THIS DEVELOPMENT DOES NOT CREATE AN OVERLOAD TO THE WATERSHED.

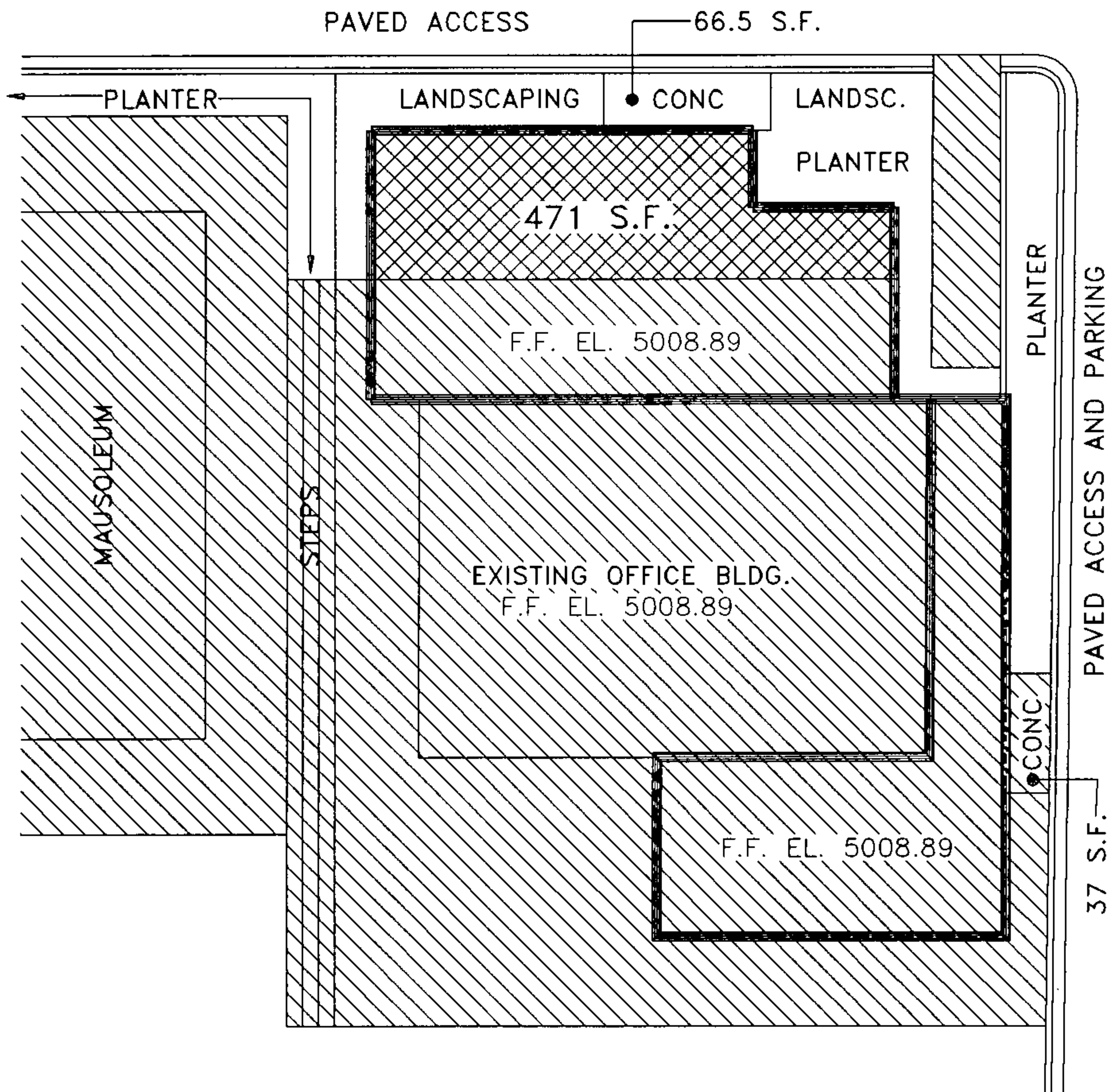




SCALE: 1" = 20'



- EXISTING IMPERVIOUS AREA (OFFICE, MAUSOLEUM, WALKWAYS)
- NEW IMPERVIOUS AREA FROM THIS PLANNED OFFICE ADDITION
- NEW ROOFLINE
- ADDED IMPERVIOUS AREA FROM THIS ADDITION - 574.5 S.F.



ON FEB. 6, 1998 THIS SITE WAS INSPECTED AND FOUND TO BE IN SUBSTANTIAL COMPLIANCE WITH THIS APPROVED DRAINAGE AND GRADING PLAN.

C. A. Coonce

C. A. COONCE

N.M.P.E. # 2934

2/6/98

DATE

DRAINAGE EFFECTS

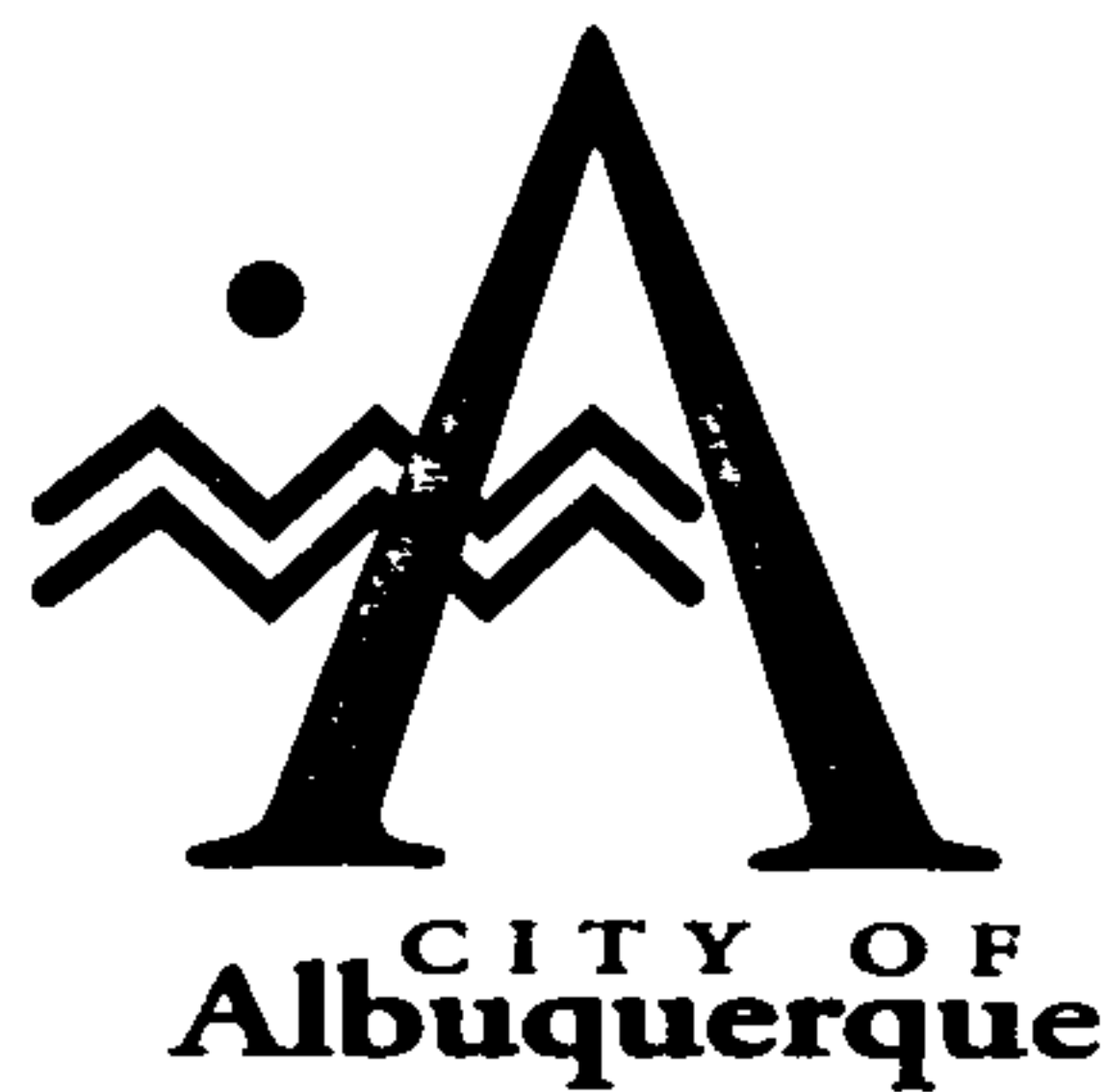
PLAN CHECK (APPLICATION) NO. 9100992
PROPOSED OFFICE EXPANSION SKETCH PLAN
MT. CALVARY CEMETERY

1900 EDITH BLVD., N.E. MAP J-15-Z

THIS SKETCH WAS MADE FROM FIELD MEASUREMENTS OF THE EXISTING MT. CALVARY/ SANTA BARBARA CEMETERY OFFICE COMPLEX WITH THE ARCHITECT'S PROPOSED OFFICE EXPANSION ADDED. THE PROPOSED DEVELOPMENT WILL ADD 575.5 S.F. OF IMPERVIOUS AREA. THIS IMPERVIOUS AREA REPLACES LANDSCAPED AREA AND IS IN PRECIPITATION ZONE 2. THE INCREASE IN THE 100 YEAR Q WILL BE: $(4.70 - 2.28) 575.5 / 43560 = 0.032$ CFS. THIS INCREASES THE 63.17 CFS FROM A PREVIOUS DRAINAGE AND GRADING PLAN. THE CEMETERY IS COMPRISED OF 45.6132 ACRES. THE PERCENTAGE INCREASE IN Q_{100} IS $0.032 / 63.17$ OR $\approx 0.05\%$. IT IS BELIEVED THAT THIS DEVELOPMENT DOES NOT CREATE AN OVERLOAD TO THE WATERSHED.



C. A. Coonce 2/6/98



August 29, 1996

Martin J. Chávez, Mayor

C.A. Coonce
C.A. Coonce & Associates Inc.
12324 Pineridge NE
Albuquerque, NM 87112

RE: DRAINAGE PLAN FOR AN OFFICE EXPANSION @ MOUNT CALVARY
CEMETERY (H15-D51) ENGINEER'S STAMP DATED 8/17/96.

Dear Mr. Coonce:

Based on the information provided on your August 23, 1996 submittal, the above referenced site is approved for Building Permit.

Please be advised that prior to Certificate of Occupancy release, the following must be submitted:

1. Update the Master Plan to reflect the new addition. Include the as-built finish floor elevation.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
Orlando Delgado
File





February 18, 1998

C.A. Coonce
C.A. Coonce & Associates
12324 Pineridge NE
Albuquerque, New Mexico 87112

RE: ENGINEER CERTIFICATION FOR OFFICE EXPANSION @ MOUNT CALVARY
(H15-D51) CERTIFICATION STATEMENT DATED 2/6/98

Dear Mr. Coonce:

Based on the information provided on your February 6, 1998 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me 924-3986.

C: Andrew Garcia
☐ File

Sincerely


Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

PROJECT TITLE: MOUNT CALVARY CEMETERY H15 / 1451
OFFICE ADDITION ZONE ATLAS/DRNG. FILE #: ~~III~~
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: _____

CITY ADDRESS: 1900 EDITH BLVD NE

ENGINEERING FIRM: CARROLL A. COONCE CONTACT: _____

ADDRESS: _____ PHONE: _____

OWNER: ARCH. & STA. FE / CATH. CEM. ASSOCIATION CONTACT: ORLANDO

ADDRESS: _____ PHONE: 243-0218

ARCHITECT: _____ CONTACT: ORLANDO

ADDRESS: _____ PHONE: 243-0218

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

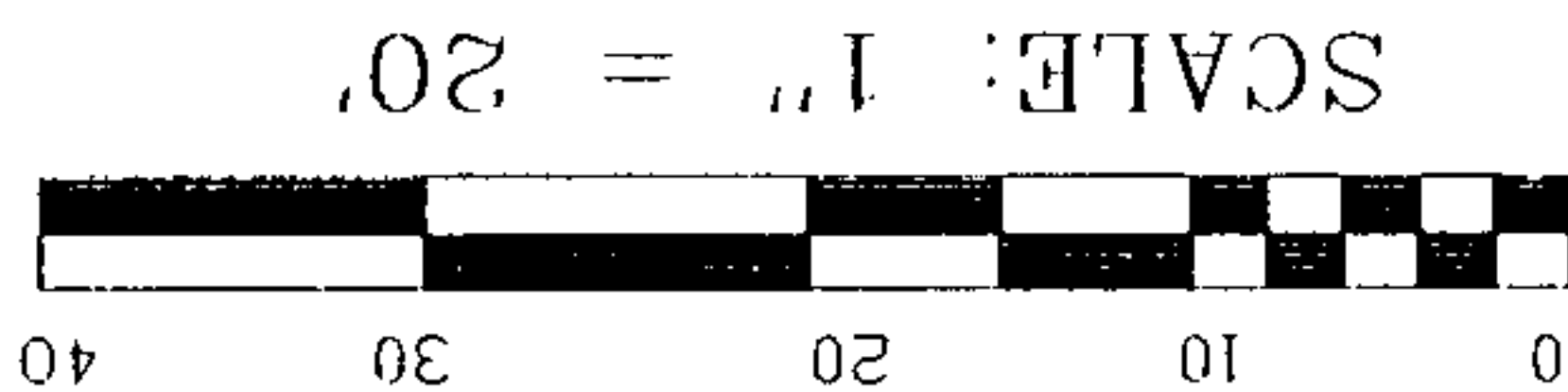
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

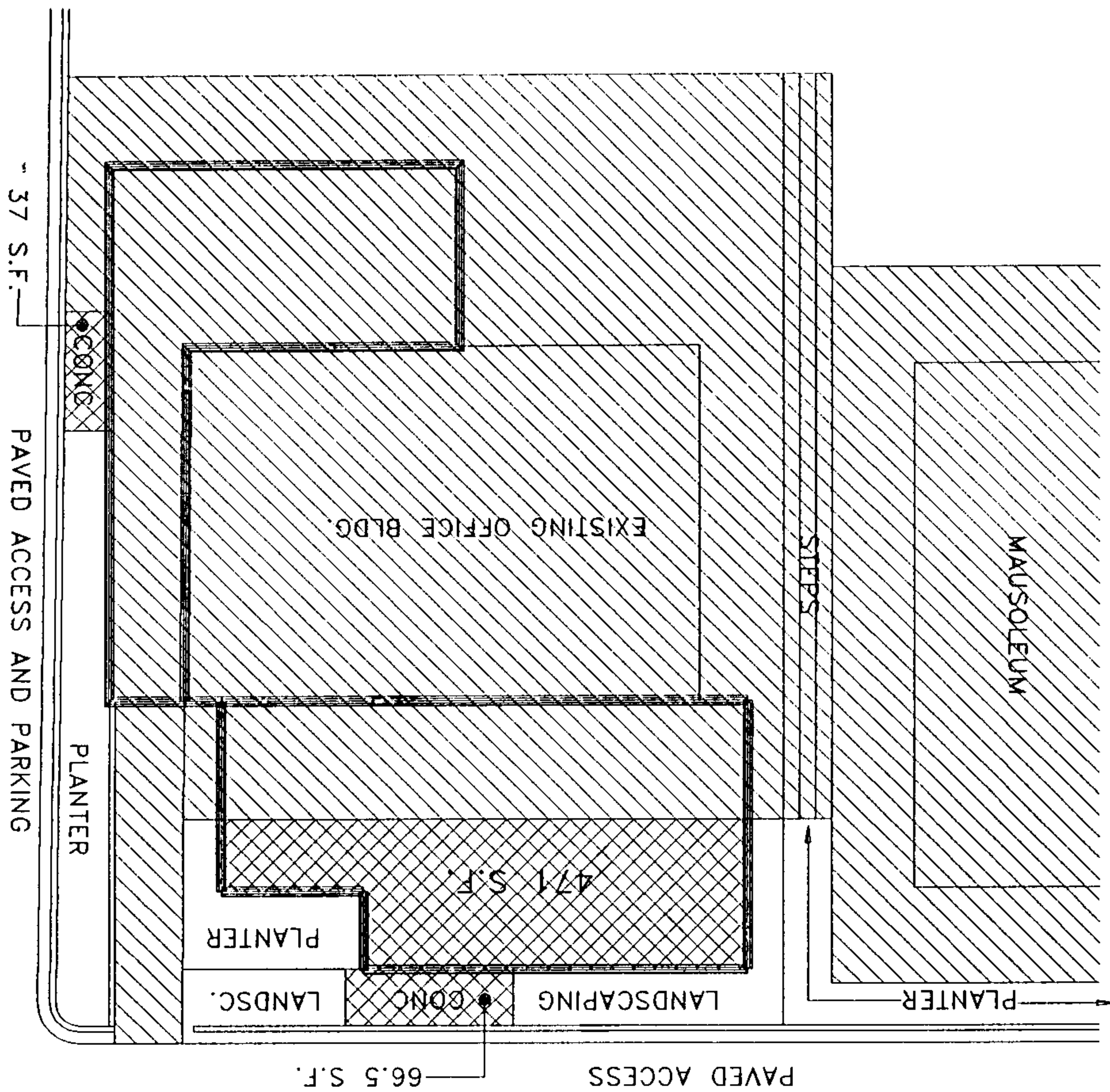
DATE SUBMITTED: _____

BY: 8/23/96 ORLANDO

AUG 23 1996



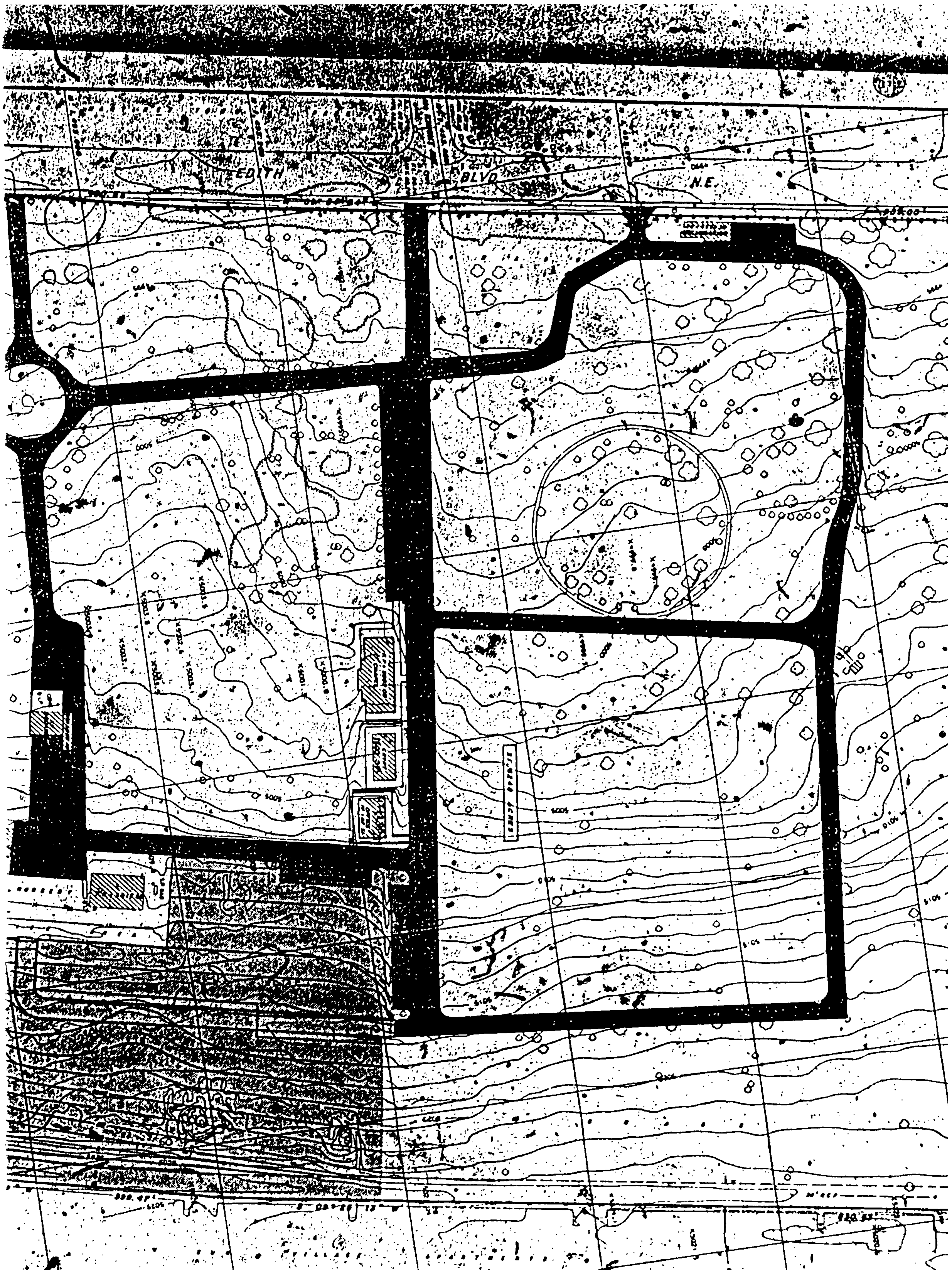
- EXISTING IMPERVIOUS AREA (OFFICE, MAUSOLEUM, WALKWAYS)
- NEW IMPERVIOUS AREA FROM THIS PLANNED OFFICE ADDITION
- NEW ROOFLINE
- ADDED IMPERVIOUS AREA FROM THIS ADDITION - 574.5 S.F.

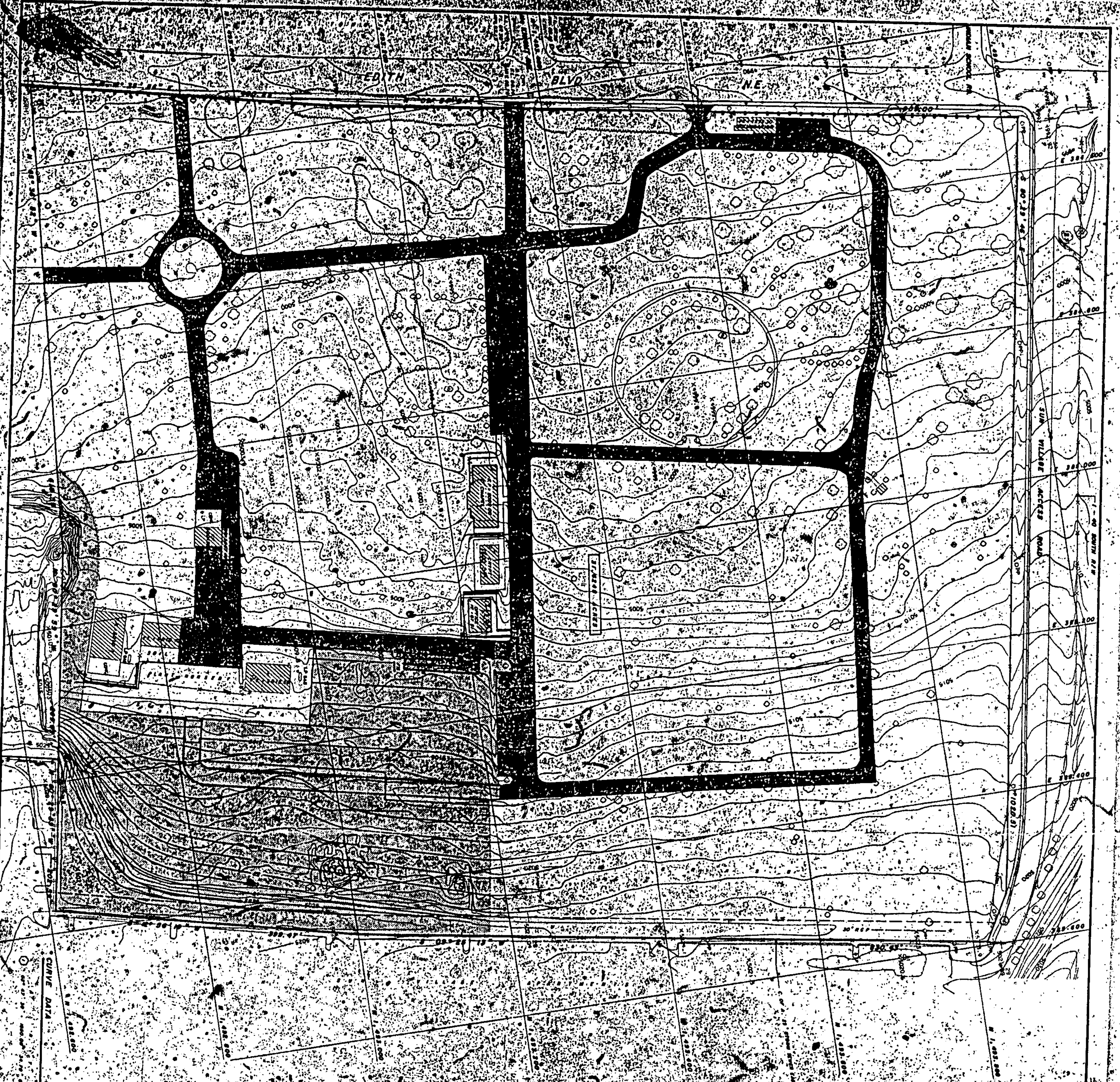


DRAINAGE EFFECTS
 PLAN CHECK (APPLICATION) NO. 9100992
 PROPOSED OFFICE EXPANSION SKETCH PLAN
 MT. CALVARY CEMETERY
 1900 EDITH BLVD., N.E.
 MAP J-15-Z

THIS SKETCH WAS MADE FROM FIELD MEASUREMENTS OF THE EXISTING MT. CALVARY/ SANTA BARBARA CEMETERY OFFICE COMPLEX WITH THE ARCHITECT'S PROPOSED OFFICE EXPANSION ADDED. THE PROPOSED DEVELOPMENT WILL ADD 575.5 S.F. OF IMPERVIOUS AREA. THIS IMPERVIOUS AREA REPLACES LANDSCAPED AREA AND IS IN PRECIPITATION ZONE 2. THE INCREASE IN THE 100 YEAR Q WILL BE:
 $(4.70 - 2.28) 575.5/43560 = 0.032$ CFS. THIS INCREASES THE 63.17 CFS FROM A PREVIOUS DRAINAGE AND GRADING PLAN. THE CEMETERY IS COMPRISED OF 45.6132 ACRES. THE PERCENTAGE INCREASE IN Q_{100} IS $0.032/63.17$ OR $\approx 0.05\%$. IT IS BELIEVED THAT THIS DEVELOPMENT DOES NOT CREATE AN OVERLOAD TO THE WATERSHED.

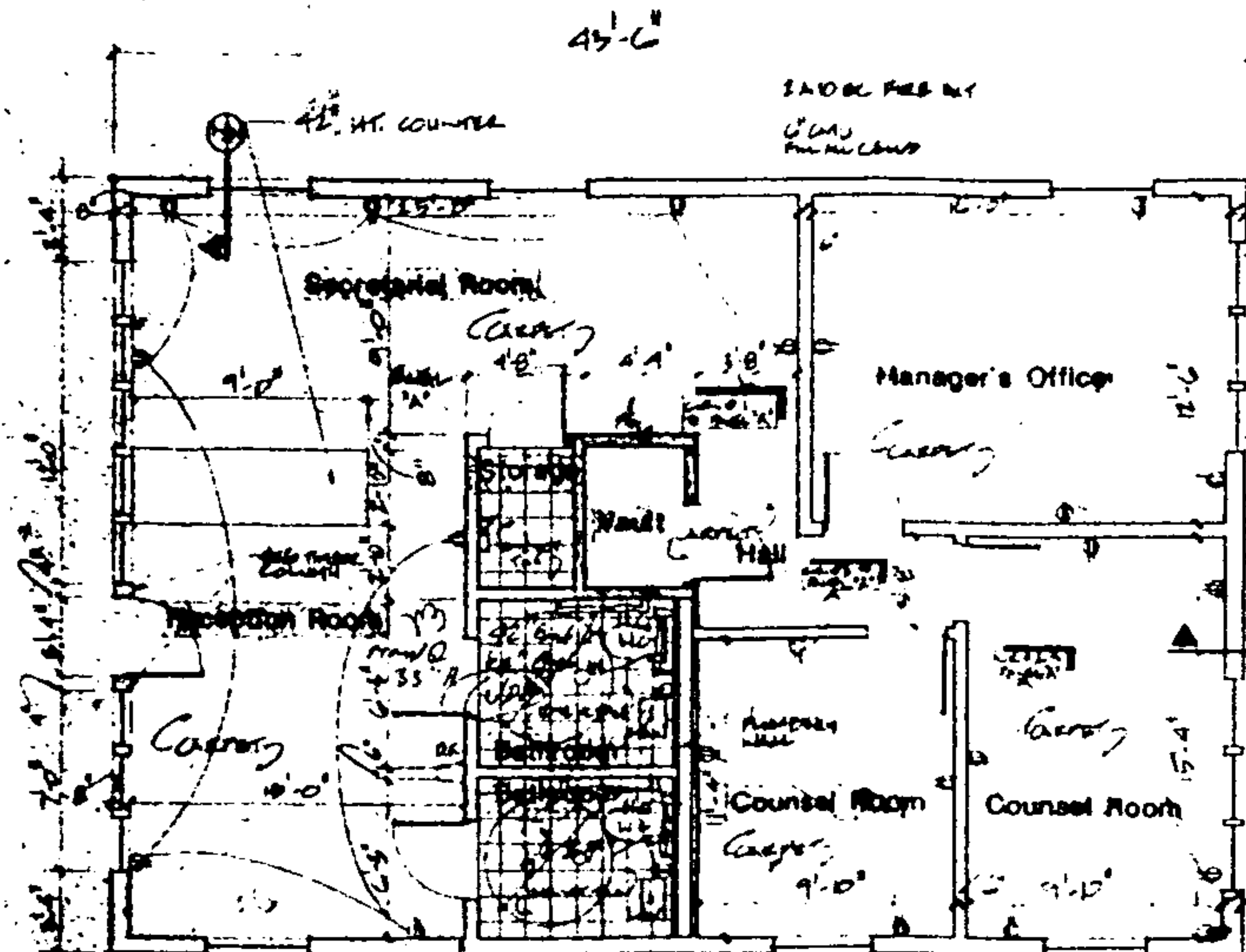




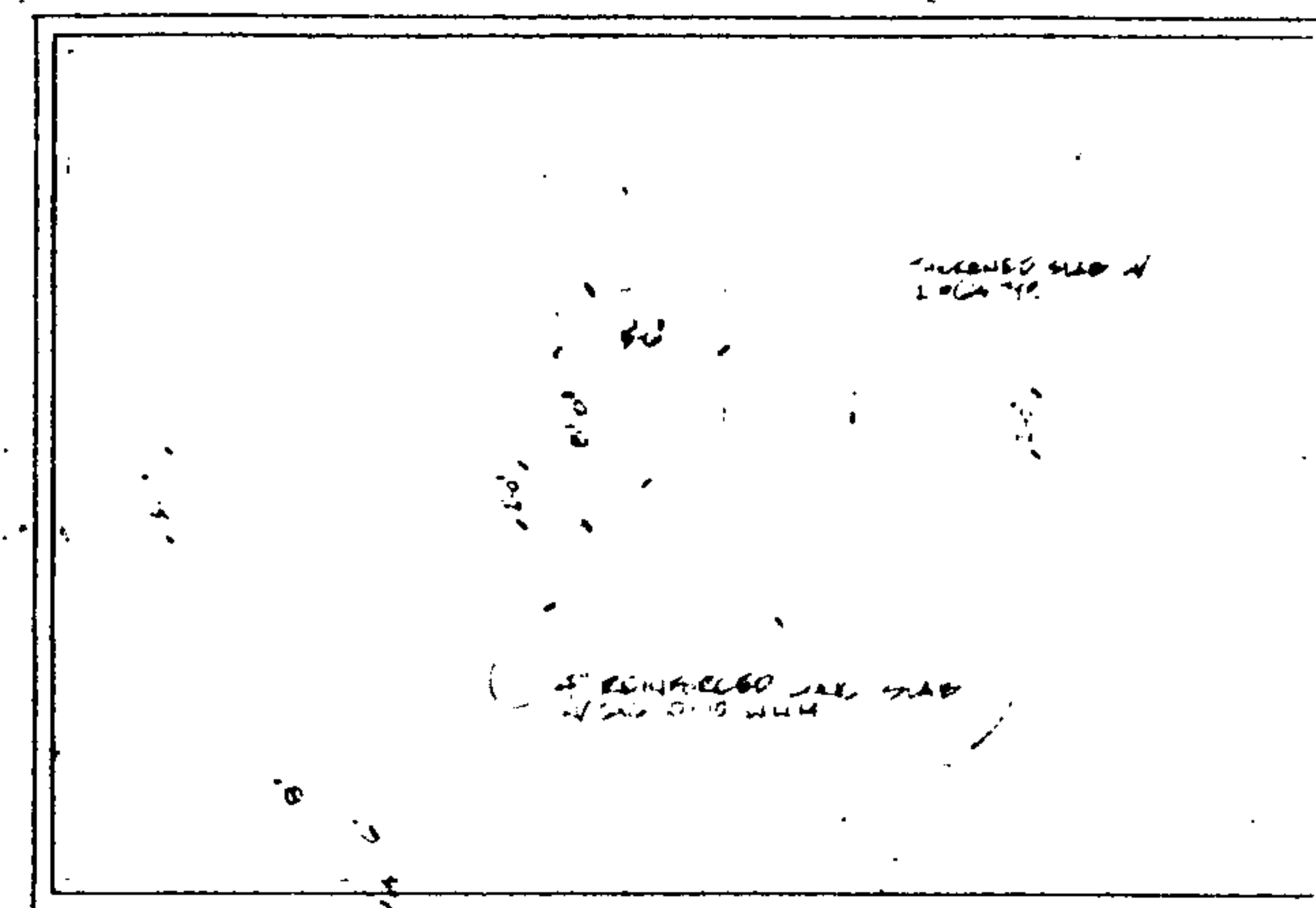


CACCONCE & ASSOC.
CITY ENGINEER
MOUNTAIN VIEW CENTER
MASTER DRAINAGE & GRADING PLAN

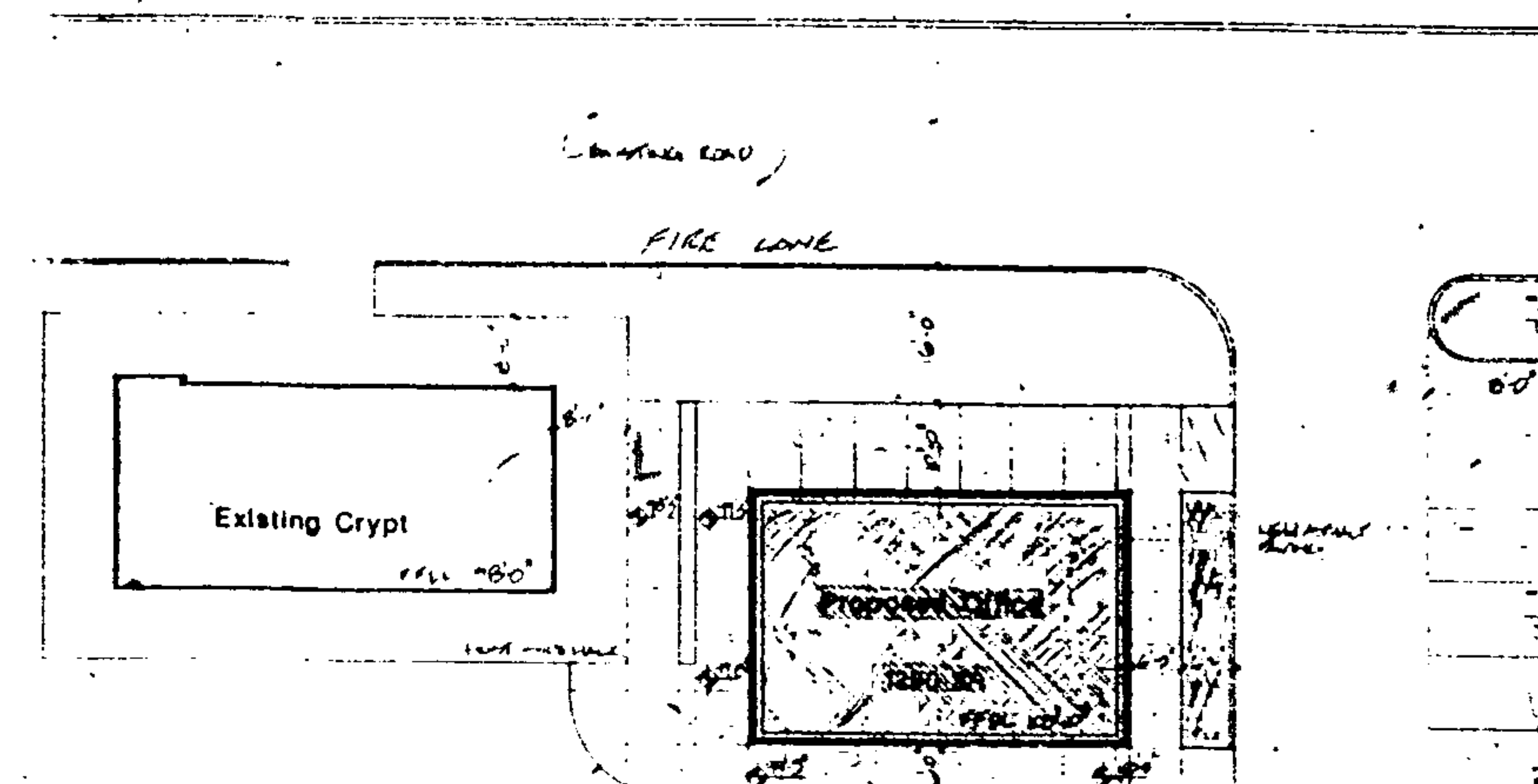
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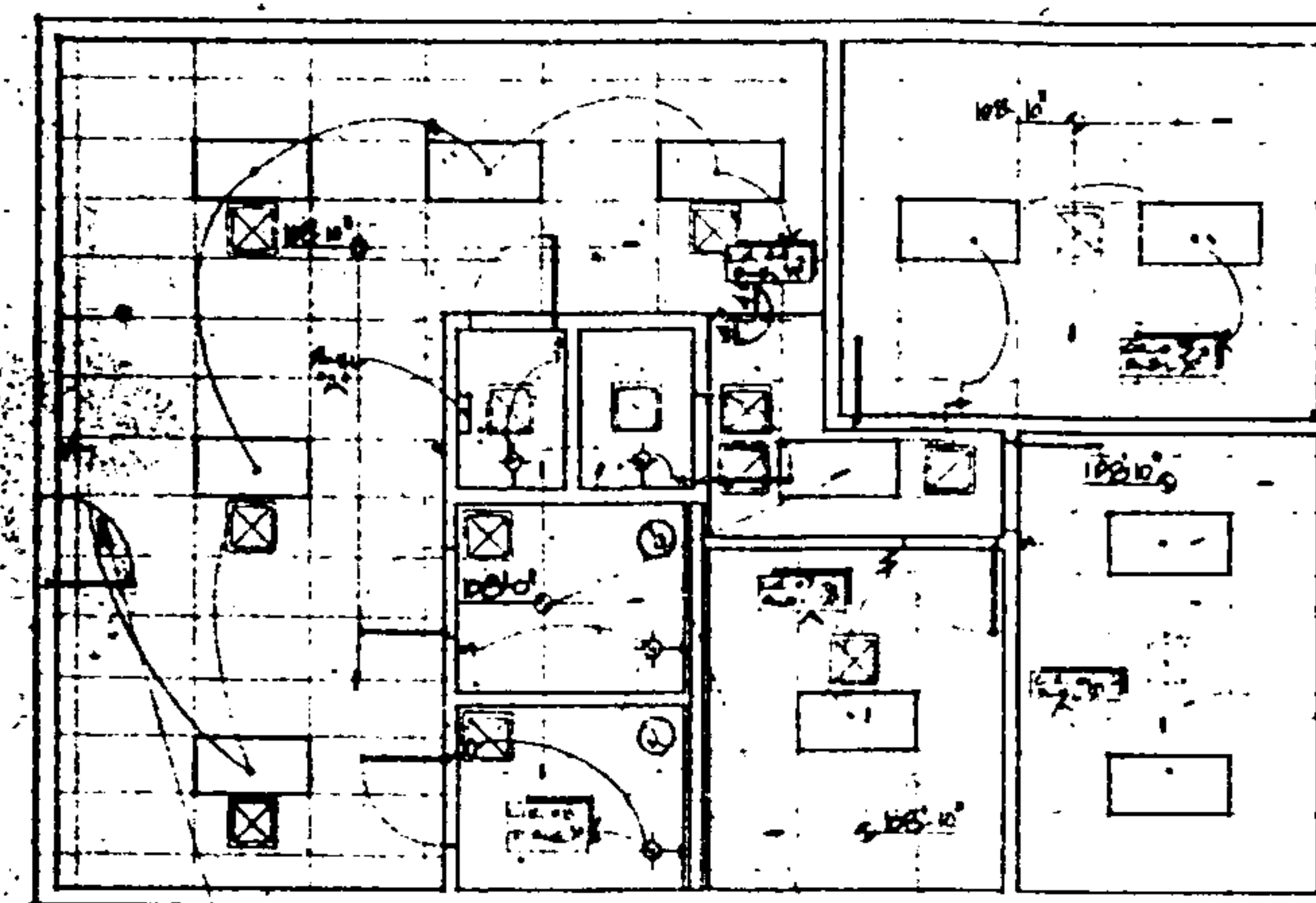
Floor Plan
Scale: 3/16" = 1'-0"



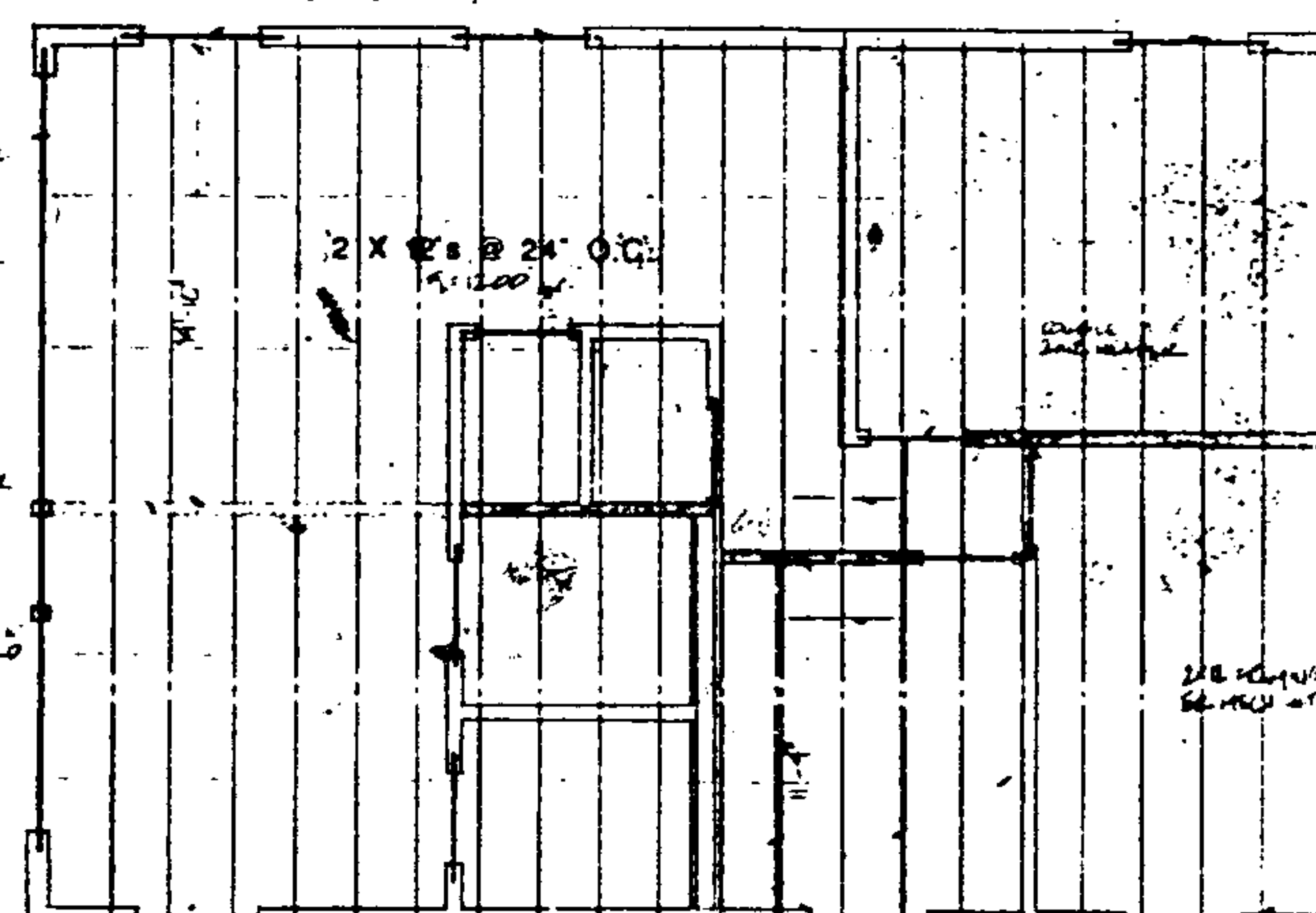
Foundation Plan
Scale: 3/16" = 1'-0"



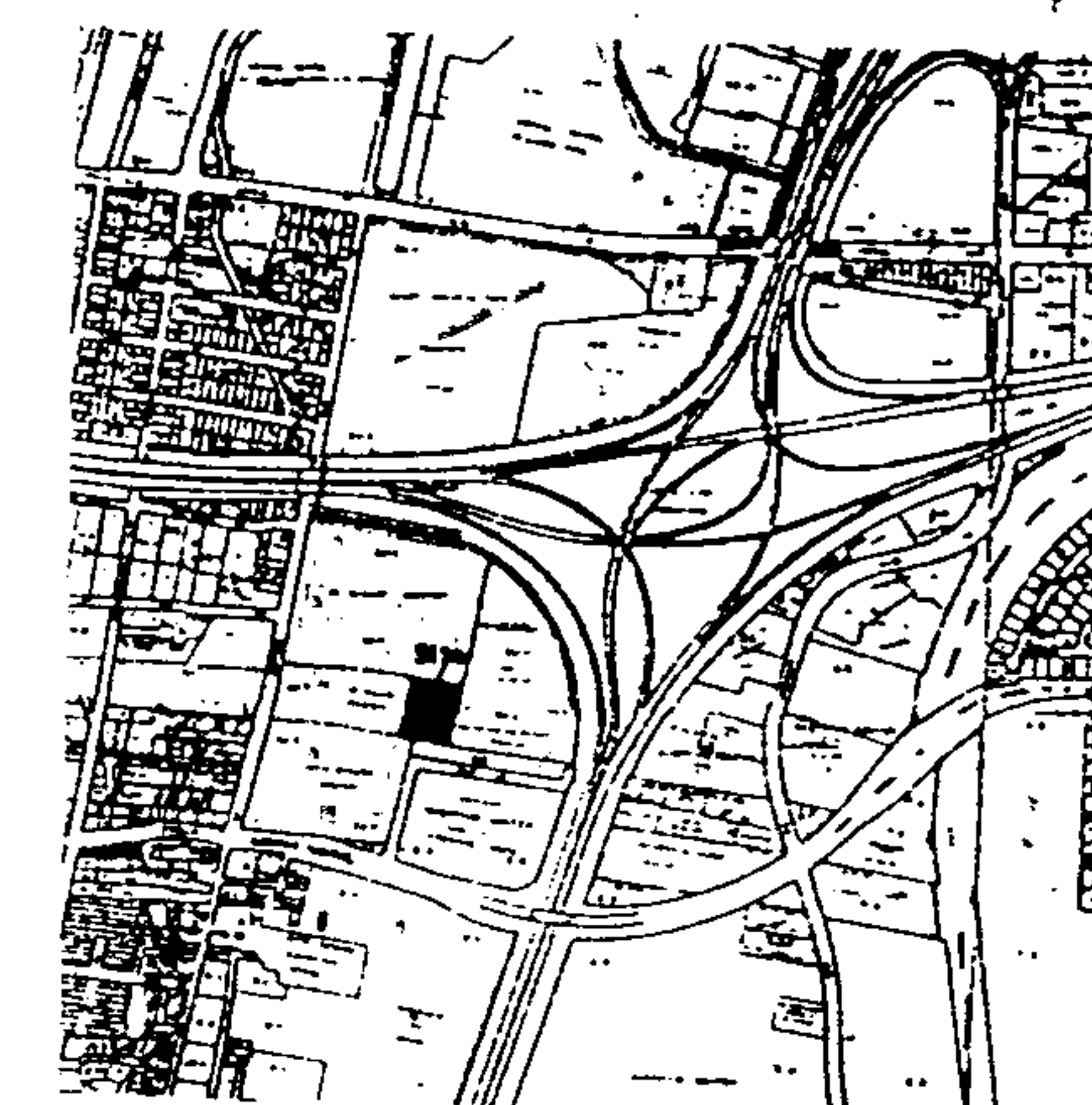
Site Plan
Scale: 1/16" = 1'-0"



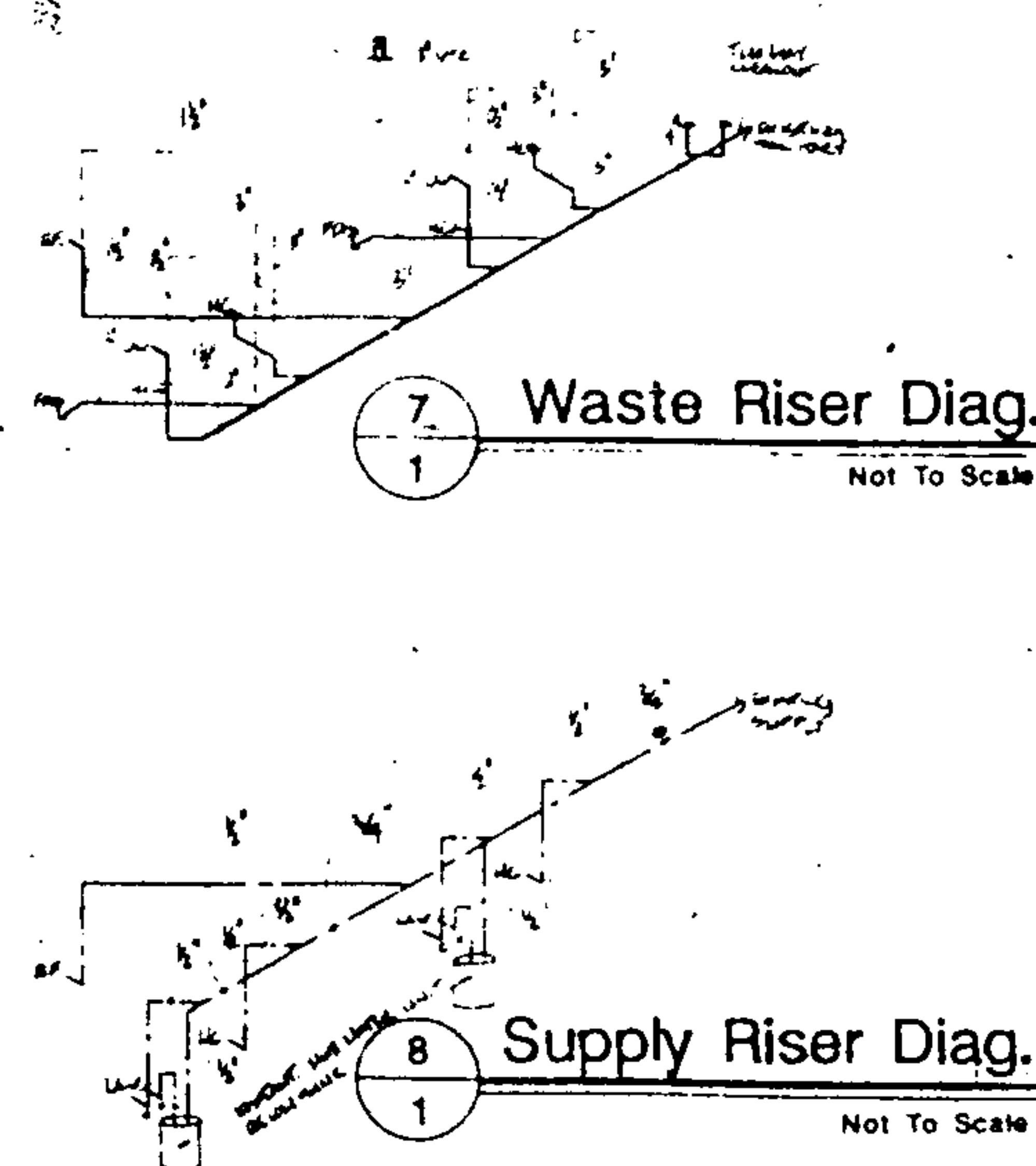
Ref. Clg. Plan
Scale: 3/16" = 1'-0"



Framing Plan
Scale: 3/16" = 1'-0"

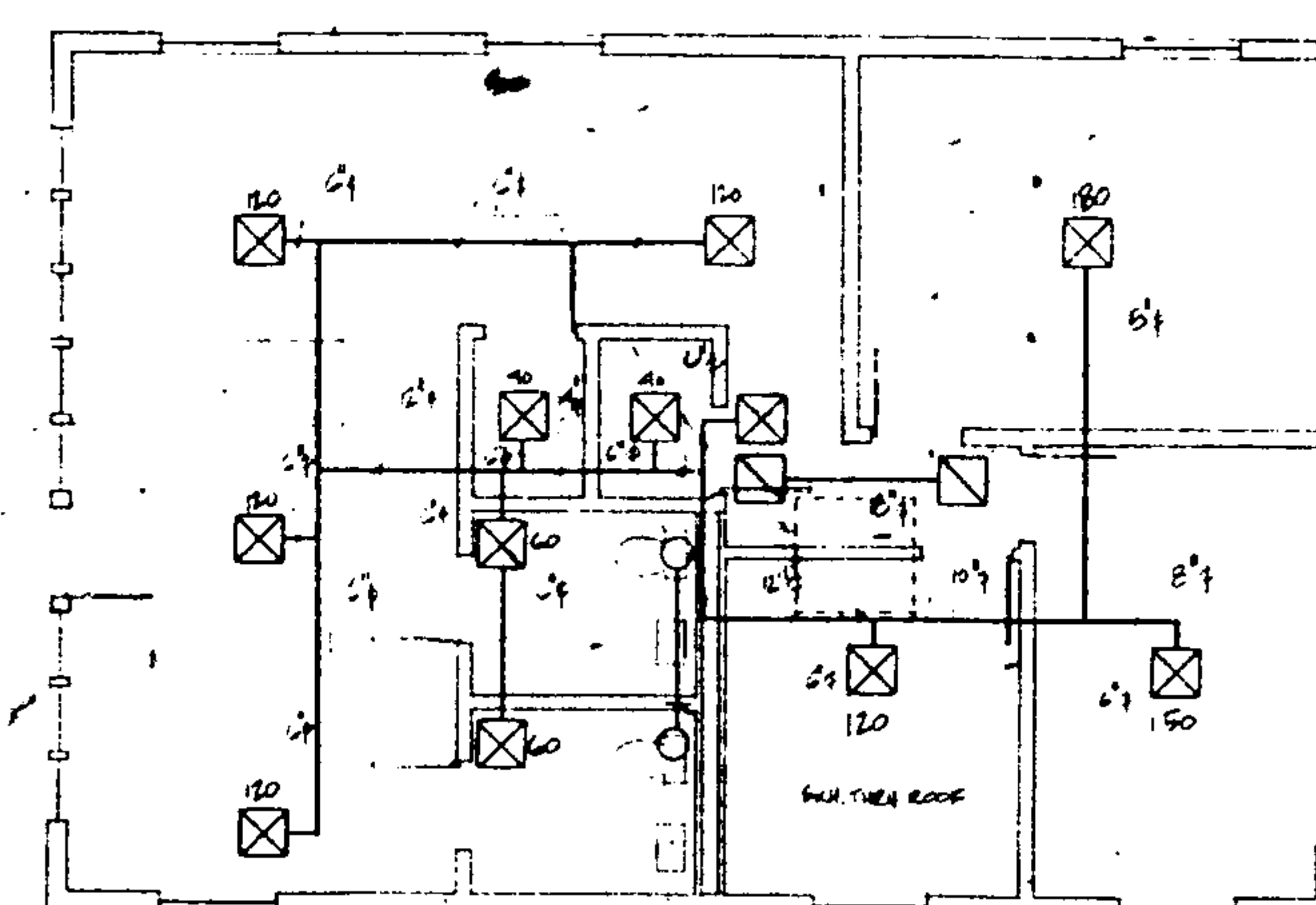


Vicinity Map
Scale: 1" = 120'-0"



Waste Riser Diag.
Not To Scale

Supply Riser Diag.
Not To Scale



Mechanical Plan
Scale: 3/16" = 1'-0"

Energy Code Conformance Calculations

Wall#1		U = (WU#1 * 16x1075) + (WU#2 * 05x512) + (Roor * 03x1196) + (Glas * 61x236)
Outside Air Film	.17	(1075) + (512) + (1196) + (236)
Stucco	.08	
8" CMU	1.04	
1" EPS Board	3.87	U = (172) + (25.8) + (35.88) + (143.96) 3019
5/8" Gypsum Board	.08	
Inside Air Film	.68	3019
	R=6.25	U = 13 (31) Allowed By Code
	U=.16	
Wall#2		
Outside Air Film	.17	
Stucco	.08	
1/2" Water Board	.62	
R-19 Batt Insulation	18.4	
5/8" Gypsum Board	.08	
Inside Air Film	.68	
	R=20	
	U=.05	
Roof		
Outside Air Film	.17	
3-Ply Built-up Roofing	.09	
5/8" Plywood Decking	.77	
R-27 Batt Insulation	27.0	
Susp. Clg.	.44	
Inside Air Film	.68	
	R=33.33	
	U=.03	
Glass		
1" Insulating	1.64	
	R=1.84	
	U=.67	

UNDERGROUND
LOOP OF WATER

ALBUQUERQUE
CITY ENGINEER
JAN 23 1978
U.S.C.
PLAN 0202
MCDON

THIS PLAN, SPECIFICATION, AND OTHER DOCUMENTS, WHEN TAKEN TOGETHER, SHALL BE CONSIDERED AS ONE ENTIRE AGREEMENT.

CITY OF ALBUQUERQUE
THIS MICROIMAGE IS THE POSSIBLE REPRODUCTION OF THE ORIGINAL DOCUMENT.

U.S. - DATE 1/23/78
CITY OF ALBUQUERQUE

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The photographic process meets the Basic Microfilm Standards of the National Microfilm Association (ANSI Z39.18-1977).

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Official Seal of the City of Albuquerque, New Mexico.

D
24

C
20

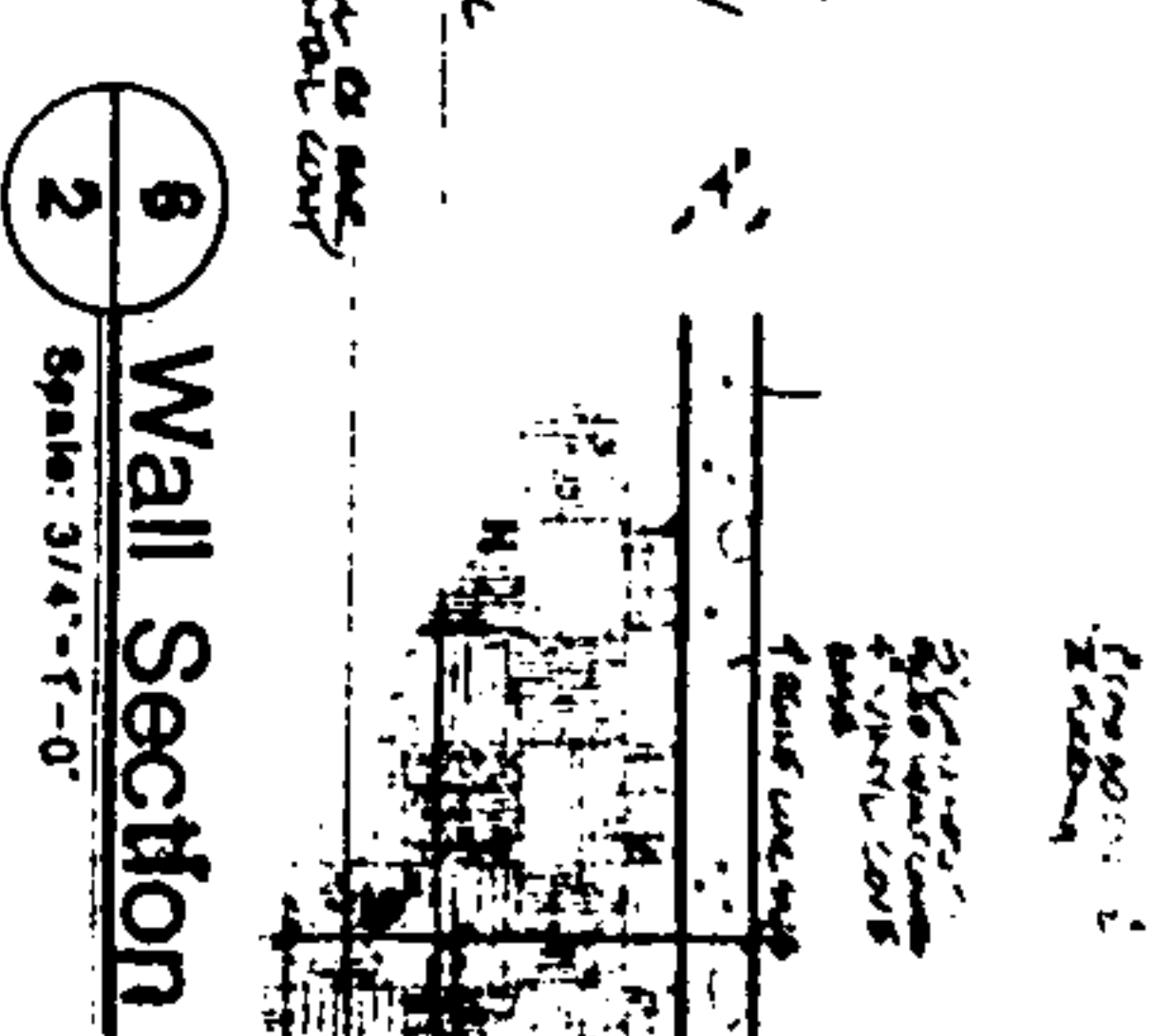
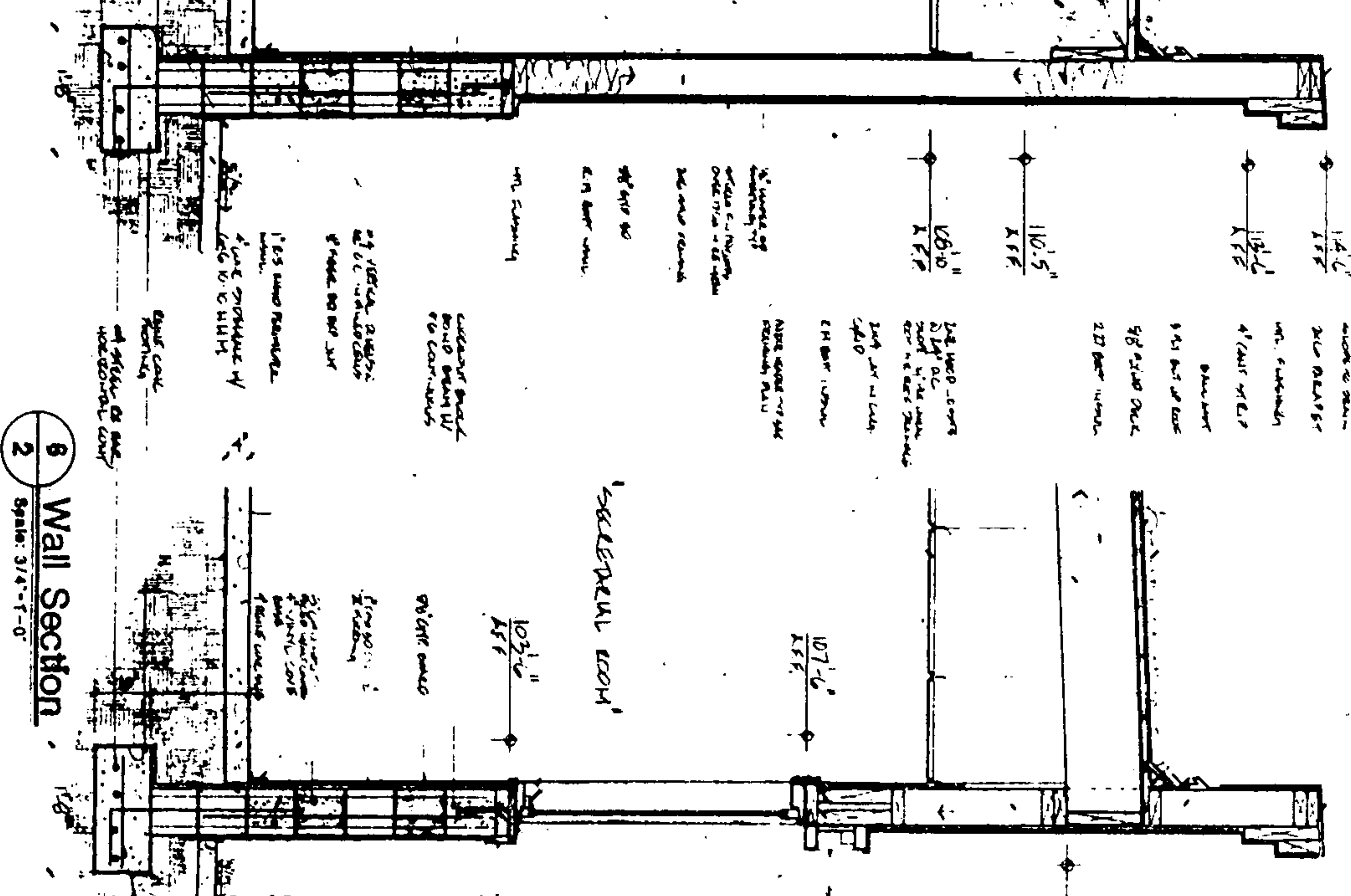
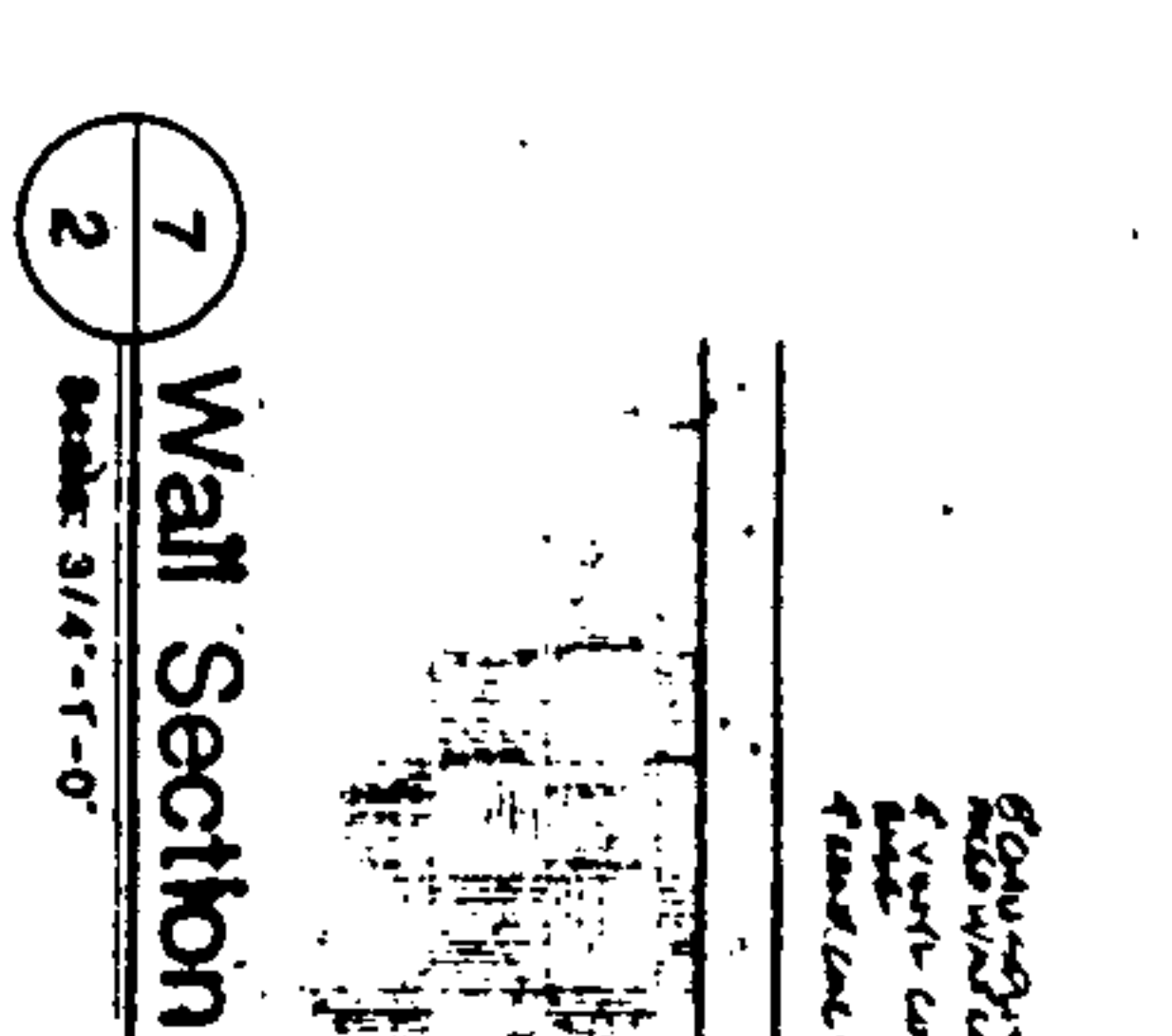
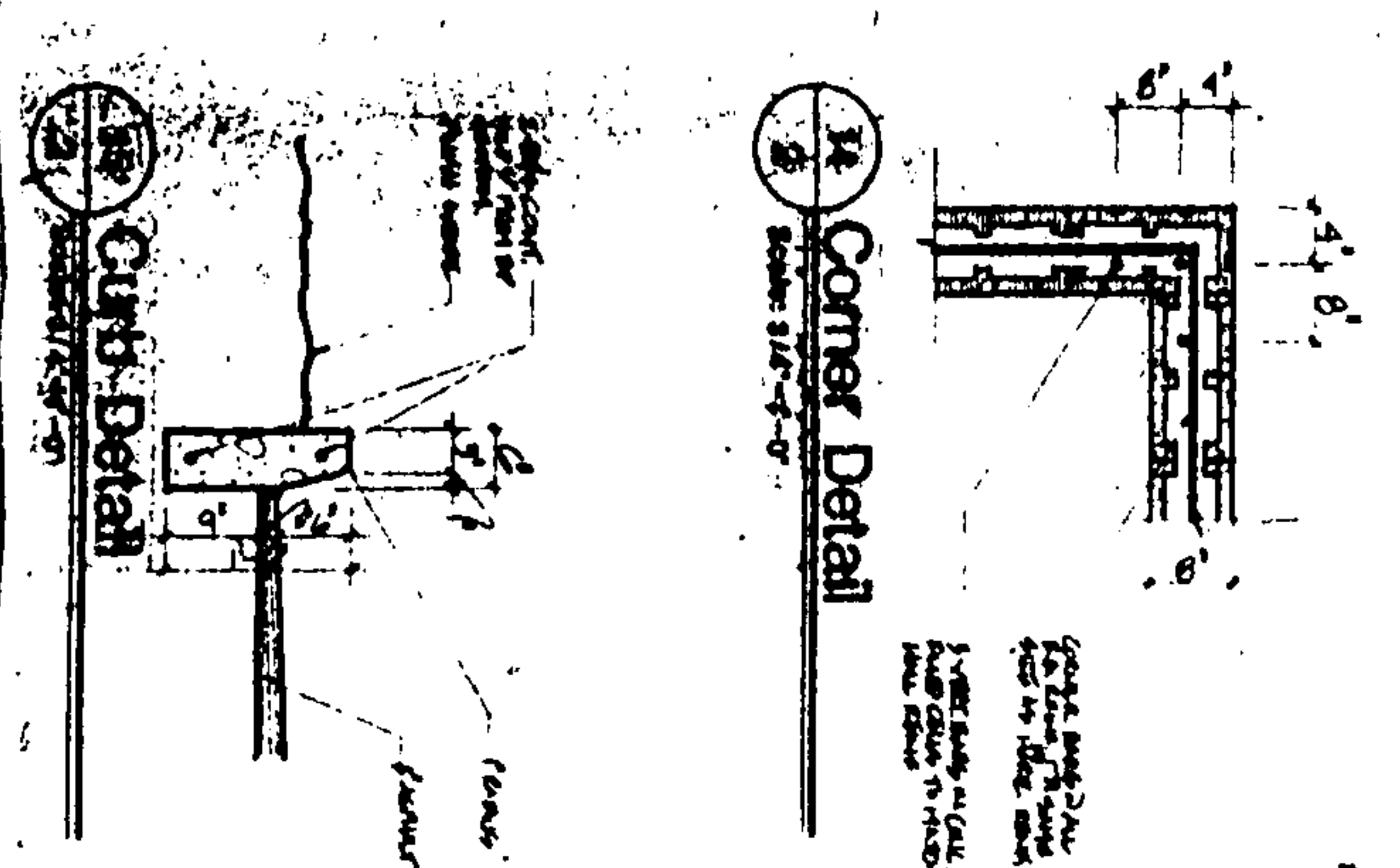
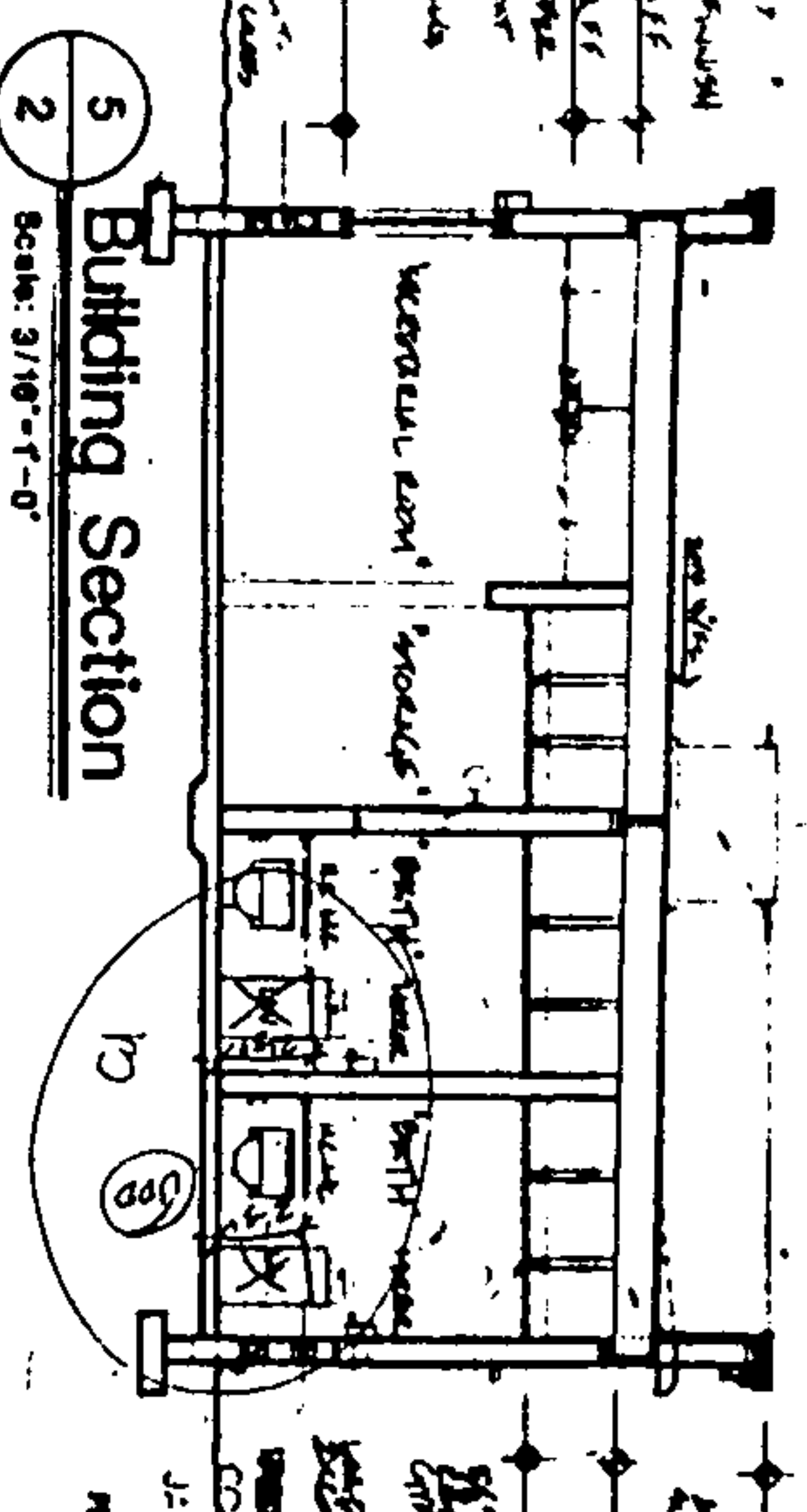
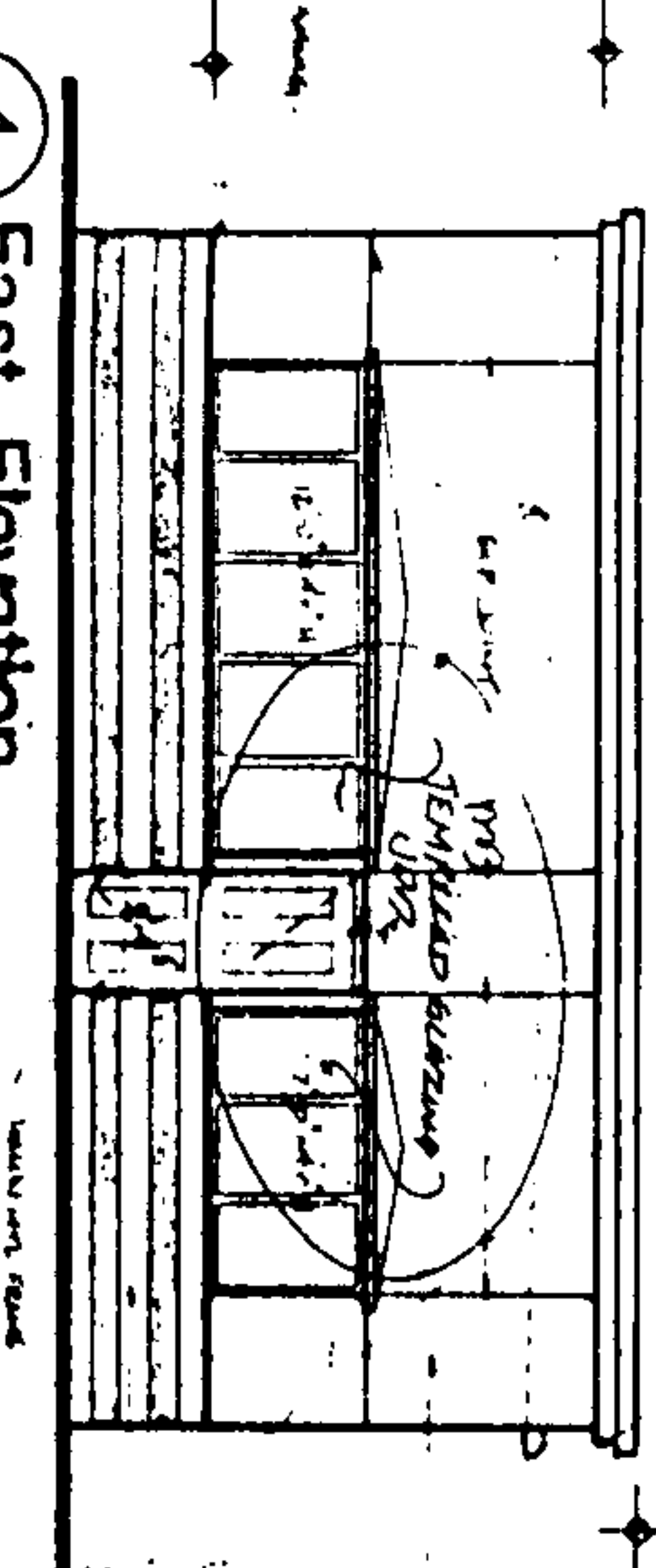
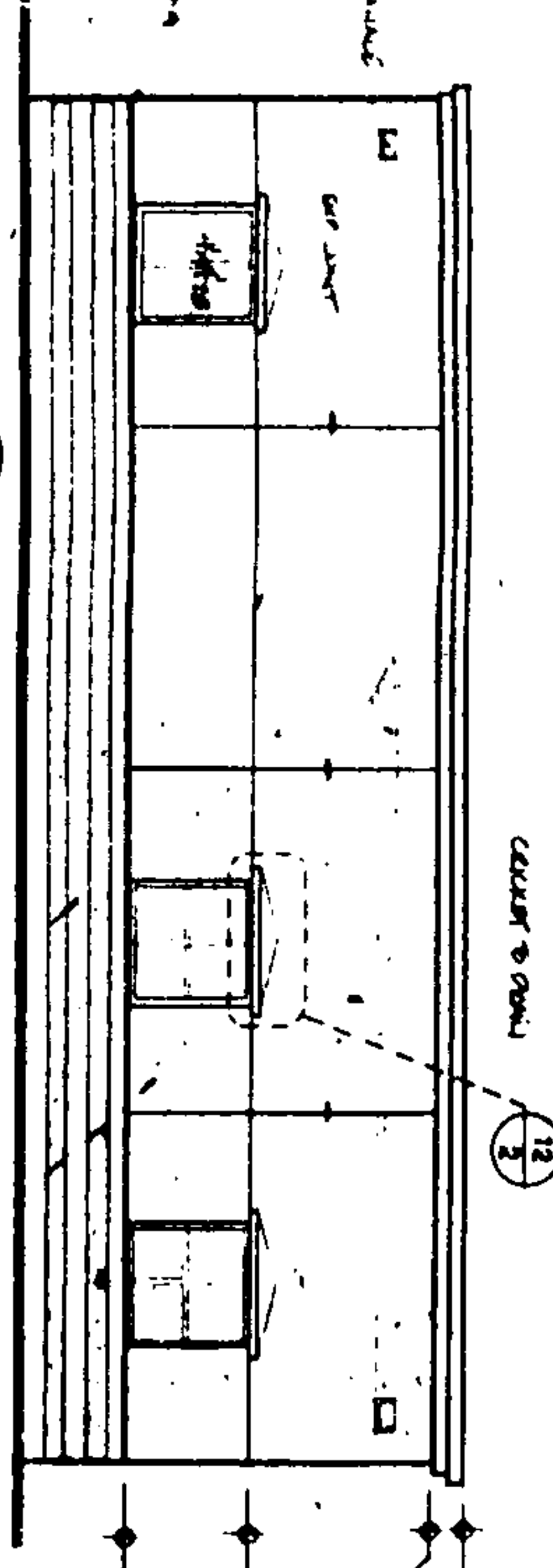
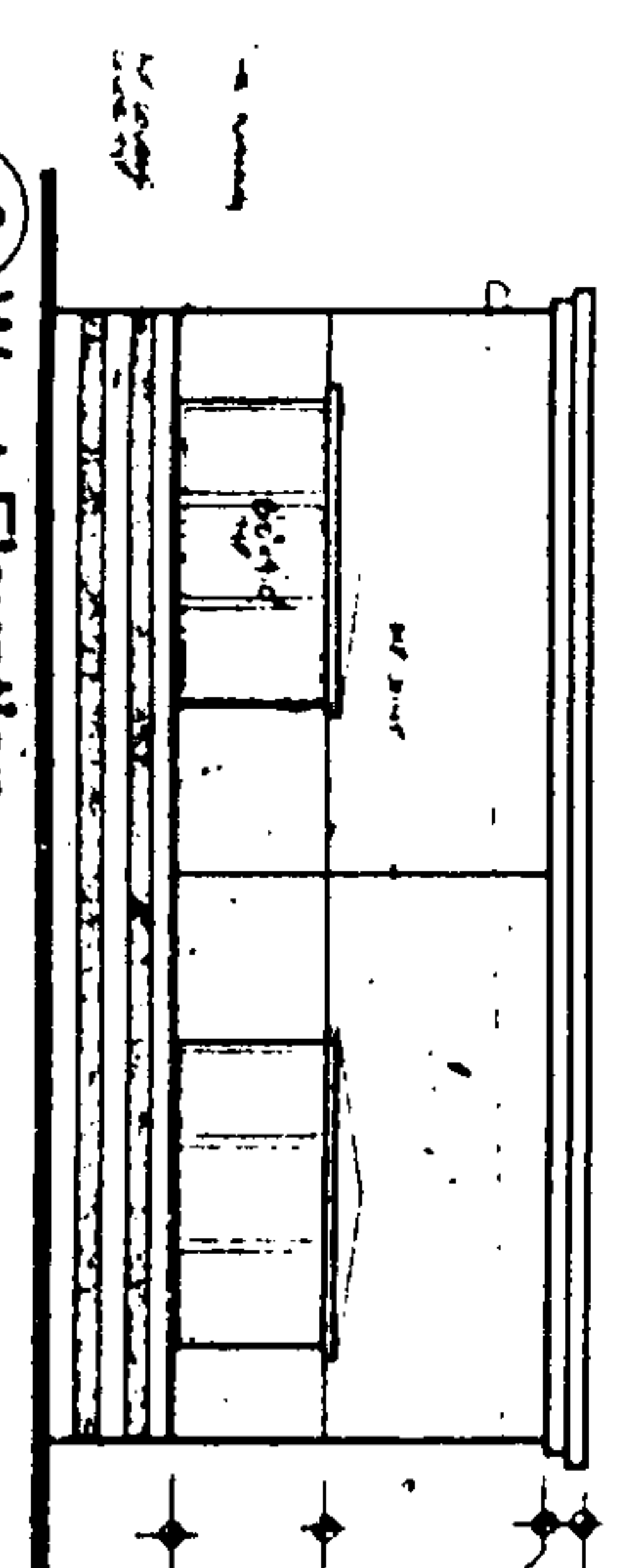
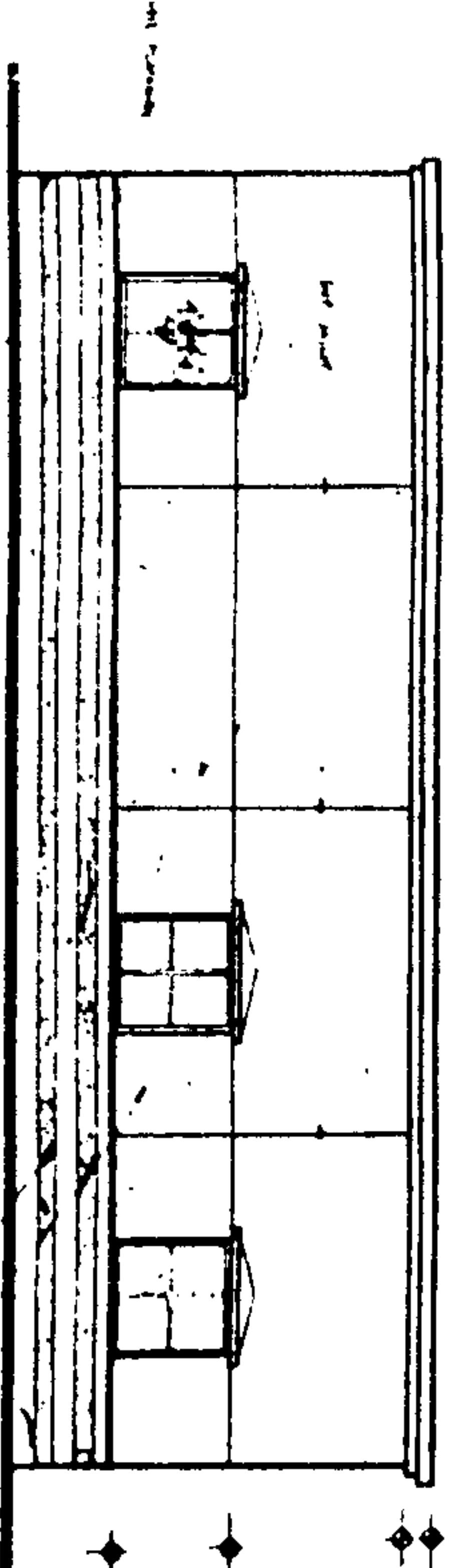
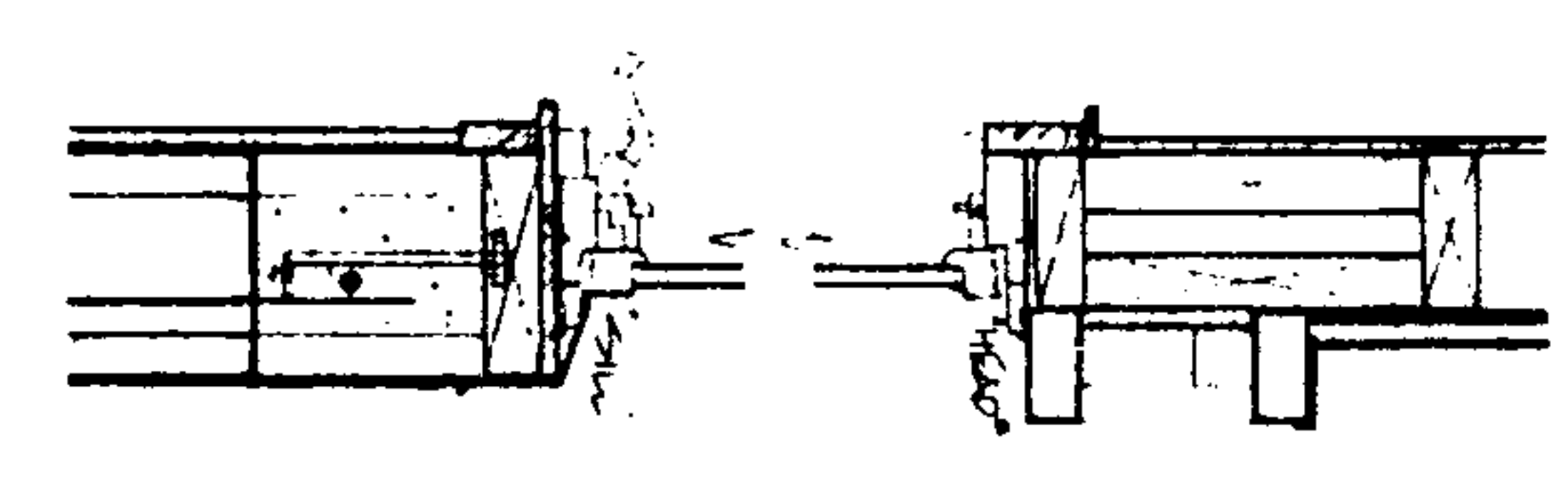
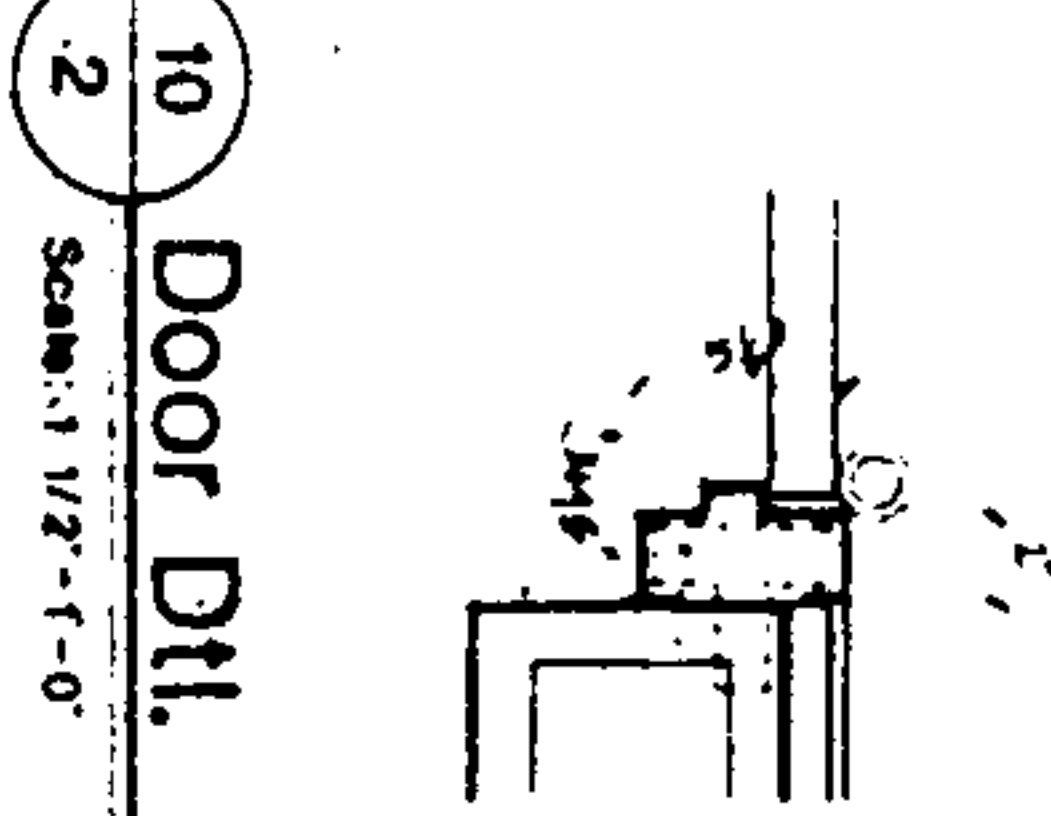
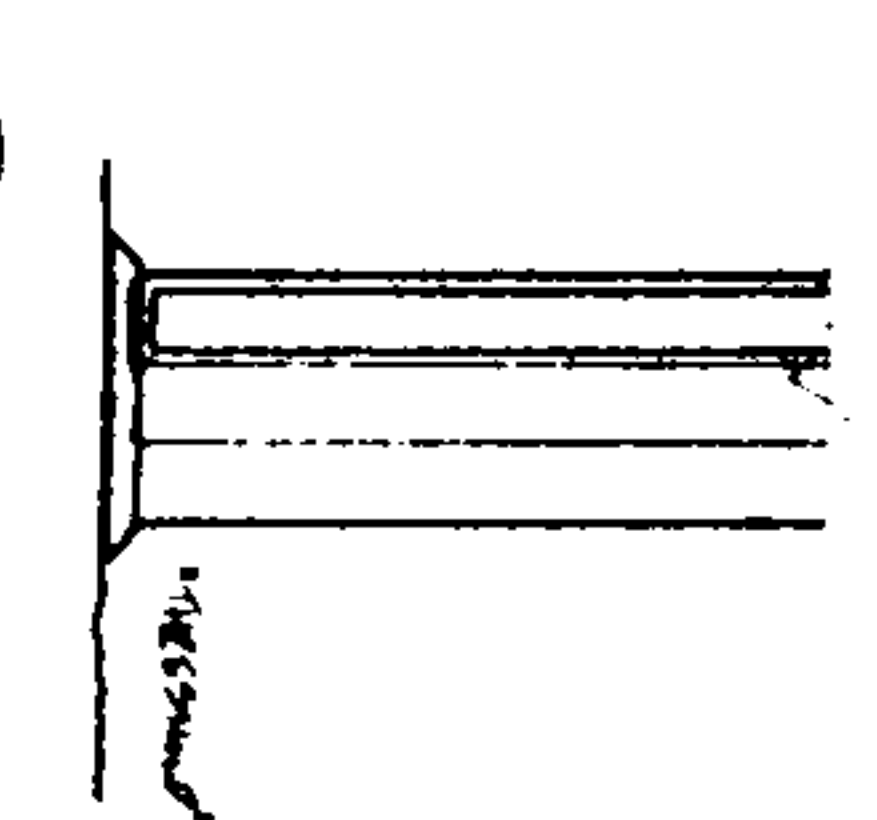
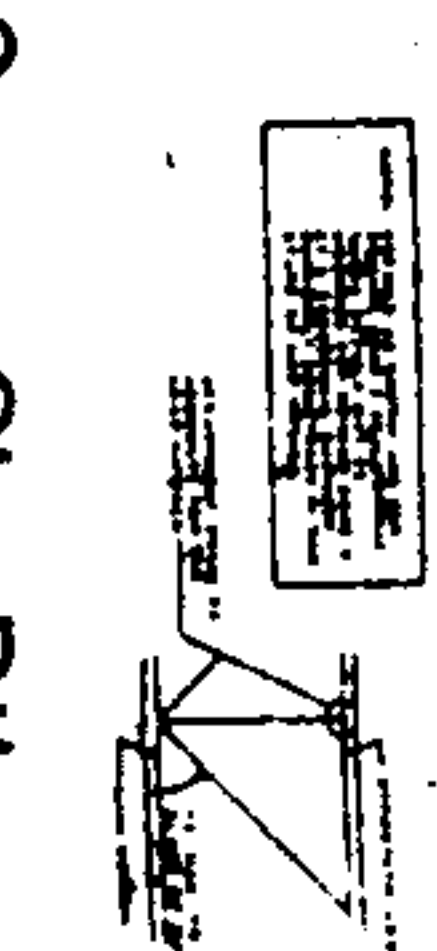
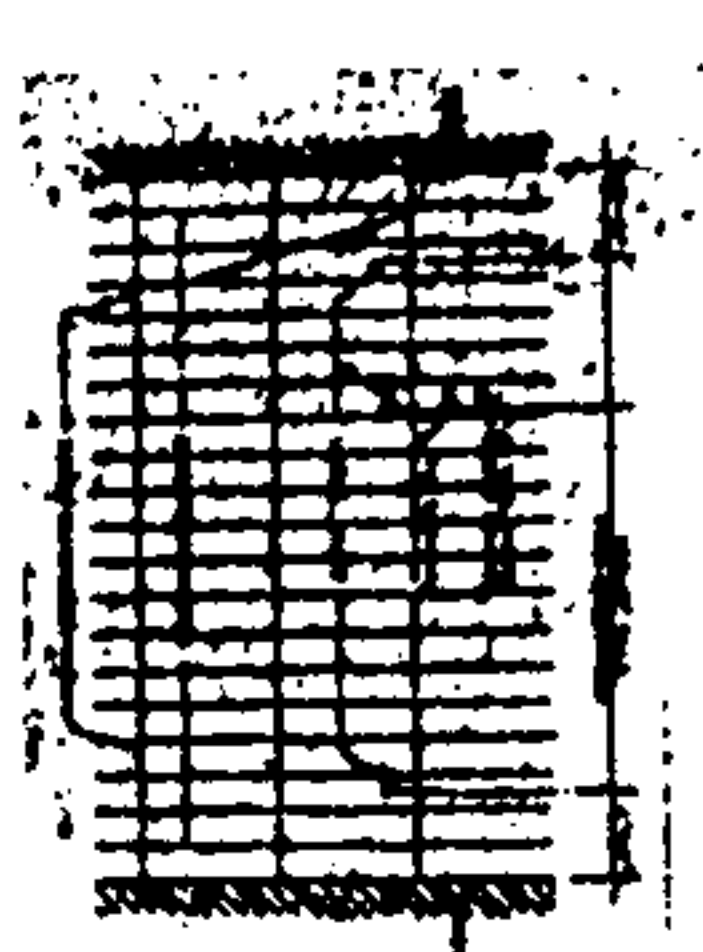
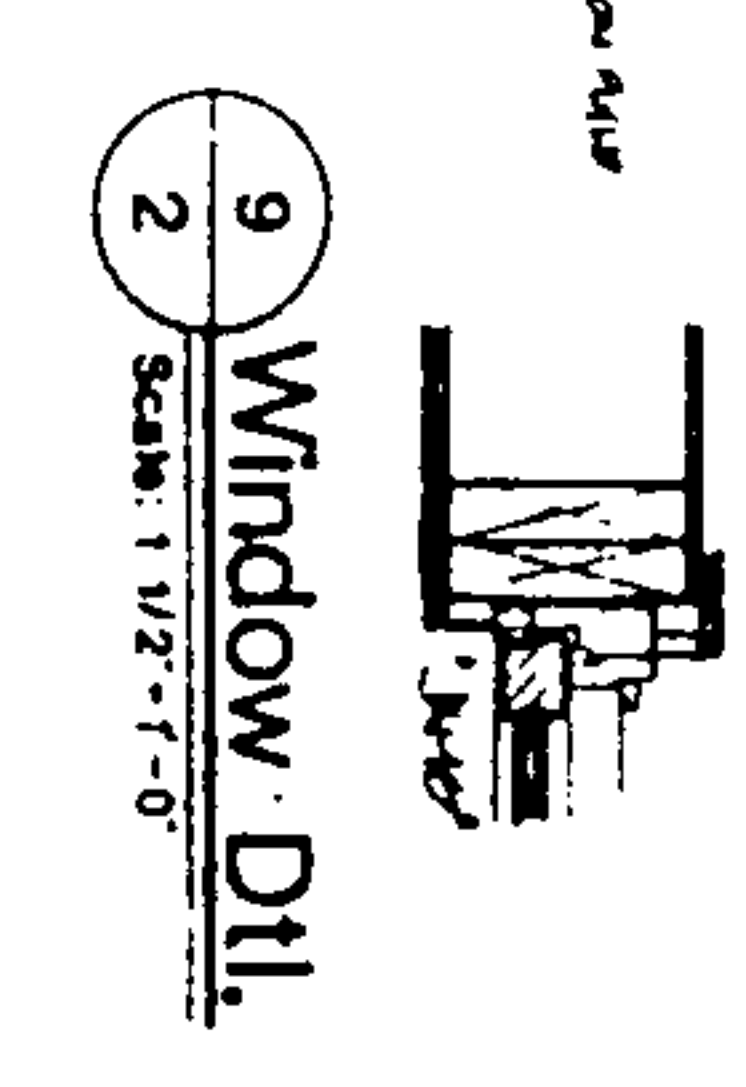
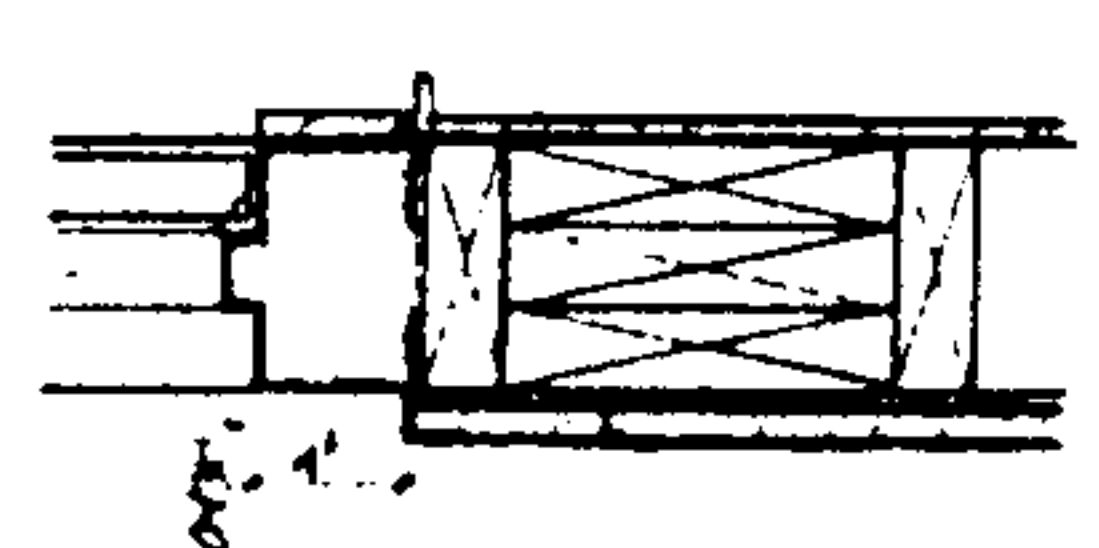
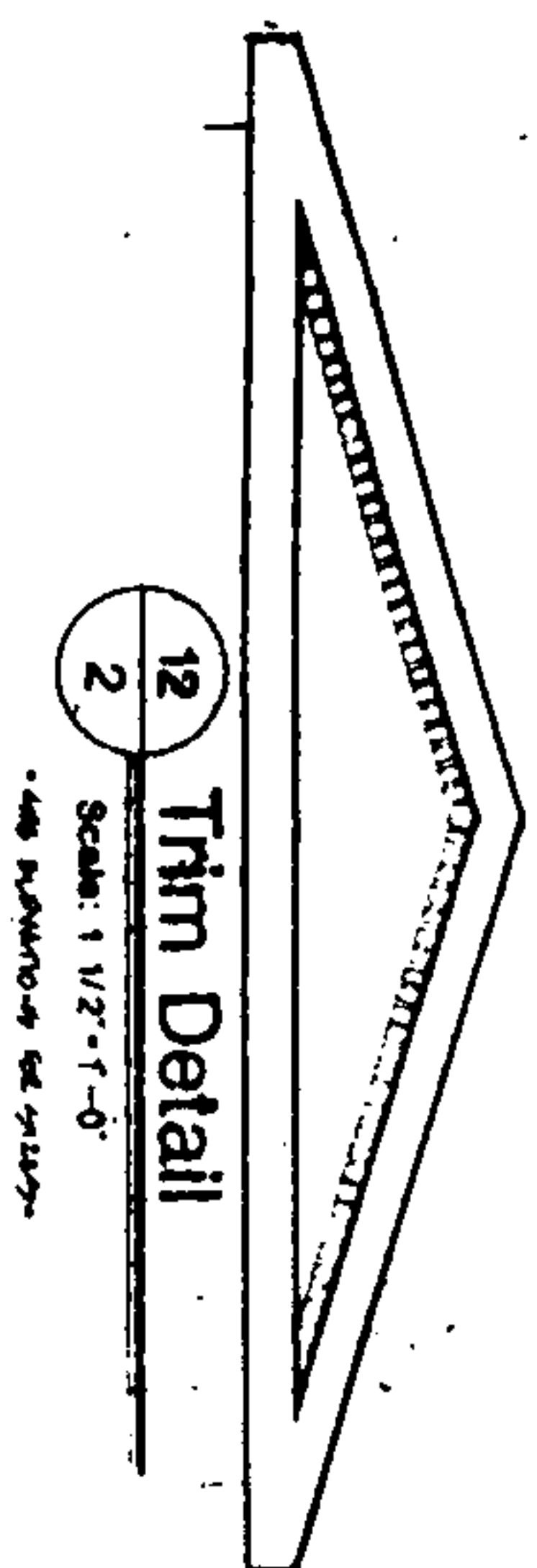
B
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A
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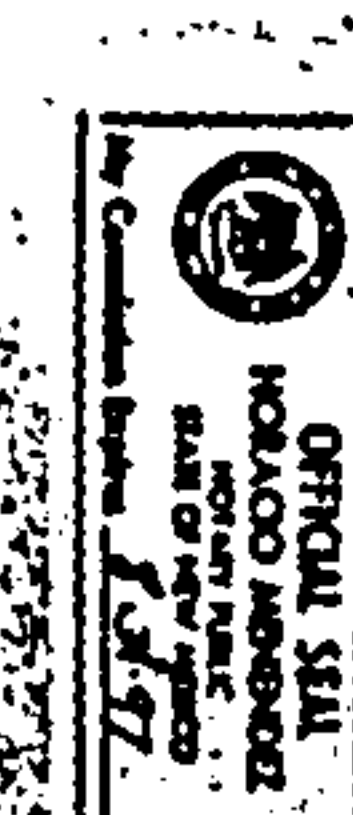
CITY OF ALBUQUERQUE

C

D



CITY OF ALBUQUERQUE



Official Seal
CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
1977

This drawing is certified to be a complete and accurate copy of the original as shown to the City of Albuquerque Planning Department on 10/11/77. It was created in the normal course of business.

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
10/11/77

THIS PLAN SET WAS
ONCE ON FILE
ONCE ON FILE

CONSTRUCTION ADDRESS: 1900 EDITH AVE. BLVD.

CITY OF ALBUQUERQUE CODE ADMINISTRATION DIVISION

Note: Final inspections are required on all permitted work whether a certificate of occupancy is required or not.

TYPE OF APPLICATION:

- ☒ NEW BUILDING
☐ ADDITION
☐ ALTERATION
☐ REPAIR
☐ DEMOLITION
☐ OTHER

LEGAL DESCRIPTION:

LOT NO. UNPLATTED LAND
SUBDIVISION 4TH CALVARIA REENTRY
TRACT 1900 EDITH AVE. PARCEL UNIT
OWNER: THE ASSOCIATES OF SANTA FE PHONE: 243-0214
ADDRESS: 1900 EDITH AVE. ZIP: 87102

ARCHITECT, ENGINEER OR DESIGNER: DEBRA L. LAMMERT
ADDRESS: 105 4TH ST. S.W. PHONE: 843-8899
ALBUQUERQUE, N.M. ZIP: 87102

CONTRACTOR: SANTI G. RAMA
ADDRESS: 2800 RIDGE BLVD. S.W. PHONE: 242-2141
ALBUQUERQUE, N.M. ZIP: 87105

STATE LICENSE NO. 025881
STATE TAX NO. 02058147005
CITY TAX NO. 60895

CONSTRUCTION DATA:

NUMBER OF STORIES: 1
SQUARE FOOTAGE: 1280
VALUATION OF WORK: \$44,135

NO. OF APT/MOTEL UNITS: 1
NO. OF BUILDINGS: 1

OWNERSHIP: ☒ PRIVATE ☐ PUBLIC

DESCRIPTION OF WORK: OFFICE BLDG. COMPLETE; FINALLY INSPECTED - 1st FLOOR

BUILDING USE:

- ☐ PUBLIC (BUILT WITH PUBLIC FUNDS)
☒ COMMERCIAL
☐ TRUPEX
☐ FOURPLEX
☐ APARTMENT COMPLEX GREATER THAN FOUR UNITS
☐ FOUNDATION ONLY

DATE: January 23, 1991

Plan Check (Application) No. 7100992

Plan Check (Application) Fee \$148.98 Adjusted \$169.40

Valuation of Work \$44,135

Building Permit No. 7100992

Building Permit Fee \$254

Certificate of Occupancy Required? ☒ Yes ☐ No

Approval Required Prior to Issuance of Certificate of Occupancy:

CITY AGENCY	Yes or No	Initial	Date
ADMINISTRATIVE SERVICES	No	SS	1-23-91
FIRE DEPARTMENT	Yes	AK	1-23-91
INSPECTION	Yes	AM	1-24-91
PLANNING	Yes	AM	1-24-91
RECREATION	Yes	AM	1-24-91
REVENUE	Yes	AM	1-24-91
SALES	Yes	AM	1-24-91
TRANSPORTATION DEVELOPMENT	Yes	AM	1-24-91
UNIFORM BUILDING CODE	Yes	AM	1-24-91
WORKING	Yes	AM	1-24-91

CITY ENGINEER

Address based on information furnished by Requester

Date: 1/23/91

Provide ☐ sidewalk set to ☒ curb ☐ property

In accordance with Sidewalk Ordinance

existing by L. Chang

Uniform Property Code:

1-015-058-100-510-2-12-15

GENERAL NOTES

- Plans and specifications must be kept at building or work site at all times during which the work authorized thereby is in progress.
- City approved street and alley top of curb elevations shall be used when establishing lot grades at front and rear property lines. Should these approved elevations not be used, the City assumes no responsibility for loss of access to property or damage to property line walls upon construction of street and alley curb-pavement paving.
- Separate permits are required for plumbing, gas and electrical work.
- The issuance of this building permit does not constitute a guarantee of water and sanitary sewer service. Such availability is determined by the Engineering Division, Public Works Department, Utility Development Division. 505-768-2775. Construction hydrant shall be placed at least 10 feet away from a water meter.
- Grass in yards or lawns on public property shall not swing over sidewalk, street, alley or public right of way.
- Separate sign, wall and fence permits are required.
- For foundation and wall permits, a "TEST" must be submitted for approval before plumbing or electrical work is started in building slab. Include Uniform Building Code construction type on submittal.

ZONING:

- Pave and appropriately mark parking spaces per City standards (Refuse bins may not be placed in required spaces). Alley must be paved per City standards before final inspection. Area and parking area lighting must be fixed per City standards, off-site luminance shall not be greater than 1000 footcandles; it shall not be greater than 200 footcandles measured from private property in a residential zone.
- Solar Protection - all construction on this site shall be in compliance with the solar regulations of the City Zoning Code. The City approval of this document is not assurance that its contents conform with any private solar rights which may be recorded with the Bernalillo County Clerk. UNIFORM BUILDING CODE:
 - In every residential sleeping room, one window with 5.7 S.F. net clear opening area with minimum net clear opening height of 24", minimum net clear opening width of 20", and finished sill height not more than 44" above the floor is required.
 - Exhaust fans and/or vents to be connected directly to the outside.
 - Finishes to comply with UBC Table 405.
 - Pre-fab fireplaces must have listed manufacturers installation instructions at the job site, UBC Sec. 3707 (a).
 - All labeled doors to have labeled frames and closers UBC Sec. 4306 (b).
 - Door glazing to comply with Federal Standard 16 CFR-420. Fixed panel glazing to comply with Chapter 54, UBC.
 - Suspended Ceiling Framing Systems to comply with Table 23-1. See UBC Standard 47.102 (c).
 - All openings & fixtures in rated ceilings to be protected per UBC or approved tests.
 - Where walls require protected openings, pipe penetrations and electrical outlet box installations shall comply with UBC Sec. 4304 (a).
 - Regardless of the occupant load, there shall be a floor or landing on each side of a door. The floor or landing shall be not more than 1/2 inch lower than the threshold of the doorway. UBC Sec. 3304 (a).
 - Landings at doors shall have a width not less than the width of the door. Landings shall have a length measured in the direction of travel of not less than 44 inches. UBC Sec. 3304 (b).
- UNIFORM PLUMBING, MECHANICAL, ELECTRICAL CODES:
 - Water heaters, heating and cooling equipment generating a glow or flame capable of igniting flammable vapors may be installed in a residential garage, provided the pilots and burners or heating elements and surfaces are at least eighteen (18) inches above the floor level.
 - Materials exposed within circulating air ducts in other than dwelling units shall have a flamespread rating of not more than 25 and a smoke developed rating of not more than 50.
 - Provide ground fault protection on all bathroom, garage and exterior electrical outlets.
 - Pool placement shall conform to Section 680-6 NEC and Section 351-C-1 NESC.
 - Do not locate building under power line.
 - Sanitary facilities must be provided on each construction job.

ENVIRONMENTAL HEALTH

- All residential for all food service establishments, swimming pools, and other projects related to Environmental Health must be submitted to Environmental Health for Review. Contact Environmental Health, Phone (505) 764-1693 to determine if project is related to Environmental Health.
- Permit for demolition of structures in excess of 75,000 cubic feet shall be obtained from Environmental Health.

1. ZONING REFUSE

- Notes:
 - Caution on location of structures. City approval is contingent upon correct information being received from the contractor or owner. Zoning approval is given for a structure sited exactly as specified on these plans. The front setback is measured from the lot line, which is not necessarily the curb or the edge of the sidewalk.
 - Each customer shall provide their own containers.
 - This building(s) is required to have a final inspection by the Refuse Division. The refuse container required shall be in place prior to the Certificate of Occupancy being issued.
 - Inspection required before pouring concrete slab or apron by the Albuquerque Refuse Department.

Proposed construction complies with Albuquerque Comprehensive Zoning Ordinance, and the Albuquerque Municipal Refuse Collection Ordinance.

PLANS DISAPPROVED: J. Roca DATE: 1-29-91
PLANS APPROVED: J. Roca DATE: 1/29/91

(INDICATE CONSTRUCTION ORDINANCE SECTION REFERENCE)

1. Requires Planning Review / Approval
2. Requires Review / Approval

2. HYDROLOGY

Notes:

- Advise Drainage Inspector when grading is executed.
- Any deletions or modifications to approved drainage plans must receive prior approval from City Hydrology prior to final inspection.

PLANS DISAPPROVED: J. Roca DATE: 1-29-91
PLANS APPROVED: J. Roca DATE: 1/29/91

PLAN CORRECTIONS REQUIRED:

(INDICATE CONSTRUCTION ORDINANCE SECTION REFERENCE)

- BUILDING PLANS REJECTED FOR THE FOLLOWING REASONS:
☒ Drainage Report/Plan required for original construction and modifications and/or additions to existing structures of 500 square feet or more. See Section 12.8 of the City's Drainage Ordinance.
NOTE: Recommend a pre-design meeting with this office prior to putting pen to paper, please contact this office for an appointment.
☒ Follow procedures for drainage submittals outlined in Page 101, Sec. 22.7 volume 2 of the City's Development Process Manual.
☐ Attach copies of the approved Drainage Plan/Report to the Building Plans.
☐ Attach signed copies of the "Private Storm Drain Facilities within City Right-of-Way" document to the Building Plans.
☐ Pending approval of Drainage Plan/Report submitted.

FLOOD HAZARD ORDINANCE CERTIFICATION

- ☒ This site is in flood hazard zone (COMMENT:)
☐ The improvements must be in compliance with city ordinance 99-1981. The flood plain elevation is: The finish floor elevation shall be: Separate Certification shall be required by the City Engineer prior to final inspection (call 766-7644).
☐ OTHER:
☒ APPROVED: J. Roca ☐ DISAPPROVED:
NOTE: Separate certification form may be obtained from the City Engineer's office upon request.

3. TRANSPORTATION DEVELOPMENT

- Notes:
 - Overwidth curb cut
 - Underwidth curb cut
 - Too near corner
 - Inefficient standing curb
 - No curb cuts shown
 - Inefficient Set Back
 - Too near property line

PLANS DISAPPROVED: J. Roca DATE: 1-29-91
PLANS APPROVED: J. Roca DATE: 1/29/91

(INDICATE CONSTRUCTION ORDINANCE SECTION REFERENCE)

Approved into development plan

4. ENVIRONMENTAL HEALTH

- Notes:
 - Control dust and debris during construction.
 - Top soil disturbance permit: Required ☐ Not Required ☒ Date:
Top soil permit issued by:
Noise ordinance is applicable.

PLANS DISAPPROVED: J. Roca DATE: 1-29-91
PLANS APPROVED: J. Roca DATE: 1/29/91

(INDICATE CONSTRUCTION ORDINANCE SECTION REFERENCE)

5. FIRE MARSHAL

- Notes:
 - All apartment, commercial and public buildings are required to have a final inspection by the Fire Marshal's Office before a certificate of occupancy is issued. The building(s) or space(s) shall be complete and ready to occupy.
 - Conditions, surrounding and arrangements to be in accordance with the Fire Prevention code regulations adopted by City ordinance.
 - All items listed below shall be installed in accordance with applicable fire codes prior to a building (or portion of a building) being occupied. In addition, an approved adequate water supply shall be provided before any combustible materials are delivered to the building site and all required fire hydrants shall be installed and operable before any building (or portion of the building) is occupied.

NAME OF BUSINESS: 1900 EDITH AVE STORE OR SPACE: 1280 SF

OCCUPANCY: A-2

BUILDING PLANS FOR: ☒ NEW ☐ REMODEL EXISTING ☐ ADDITION

CONSTRUCTION TYPE: 100

FIRE FLOW REQUIRED: 970 FIRE HYDRANTS REQUIRED: 1 ATLAS PAGE: 4425

NAME (INSPECTOR): J. Roca

PLANS DISAPPROVED: J. Roca DATE: 1-29-91
PLANS APPROVED: J. Roca DATE: 1-29-91

(INDICATE CONSTRUCTION ORDINANCE SECTION REFERENCE)

1. FIRE FLOW: 970. See attached letter.
2. FIRE FLOW: 970. See attached letter.

6. UNIFORM BUILDING CODE

- Notes:
 - Permittee shall not be occupied until a Certificate of Occupancy has been issued, in accordance with Sec. 308, Albuquerque Uniform Administrative Code.
 - All windows and doors required to meet forced entry requirements shall bear identification indicating they conform to CH. 41 of the New Mexico Uniform Building Code.

Description of Work: OFFICE BLDG. Occupancy Group: B2

Size of Bldg. (total) Sq. Ft.: 1280 Year of Applicable UBC: 1990

Type of Construction: 100

PLANS DISAPPROVED: J. Roca DATE: 1-29-91
PLANS APPROVED: J. Roca DATE: 1-29-91

(INDICATE CONSTRUCTION ORDINANCE SECTION REFERENCE)

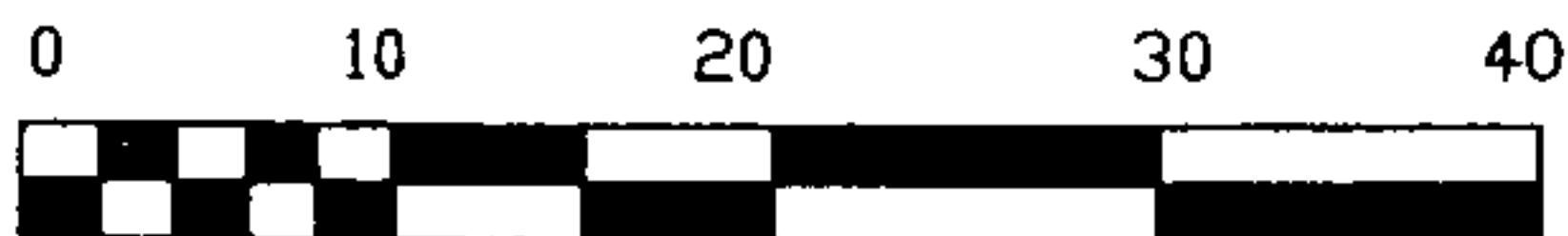
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7. UPC, UMC, NEC.

- Notes:
 - Every furnace or water heater room shall have an opening or door and passageway therein not less than 3 feet in width and large enough to permit removal of the largest furnace in such room. The furnace shall be installed so as to permit its removal without disturbing the piping or conduit and appurtenant valves or junction boxes.

PLANS DISAPPROVED: J. Roca DATE: 1-29-91
PLANS APPROVED: J. Roca DATE: 1-29-91

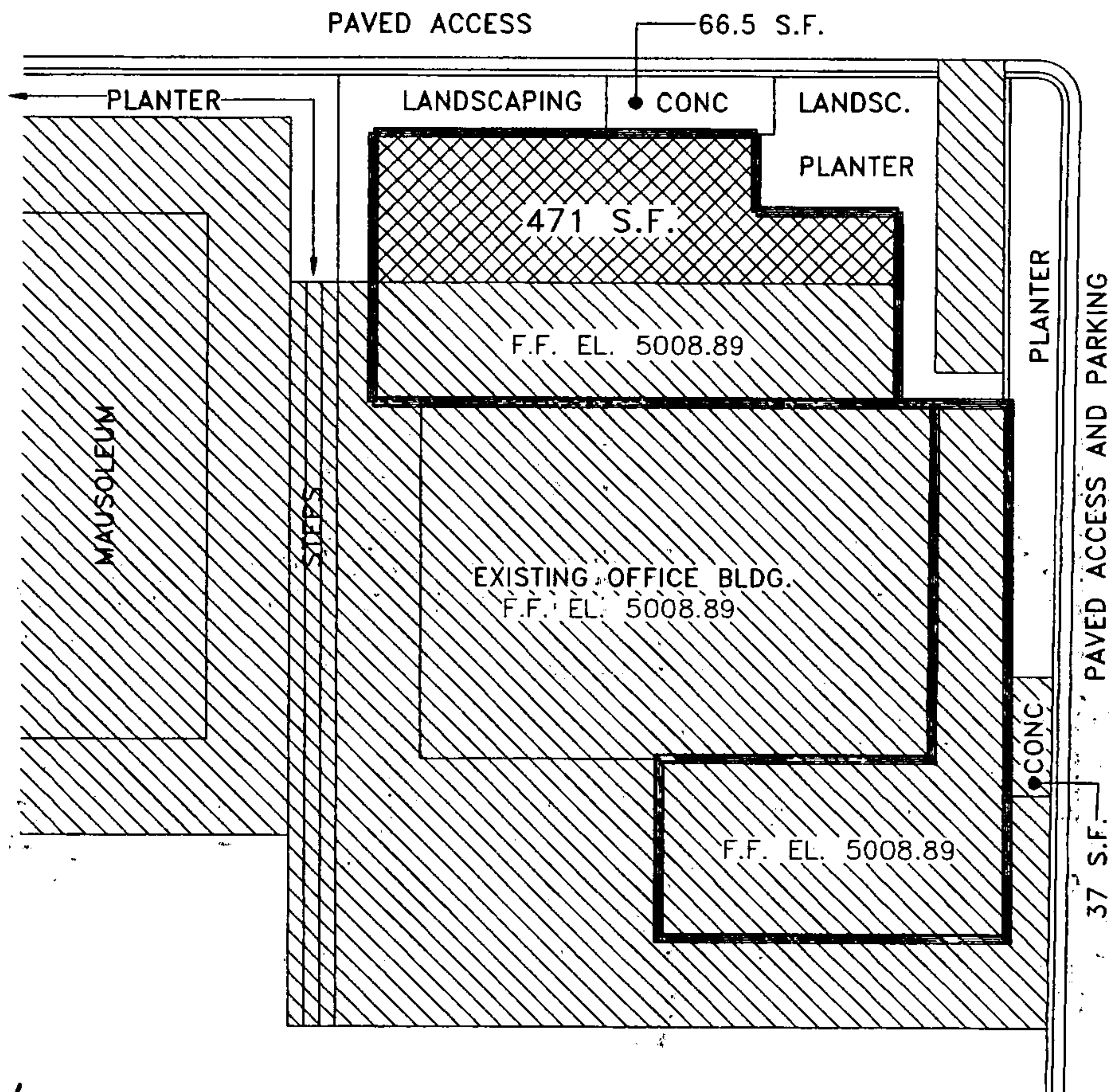
(INDICATE CONSTRUCTION ORDINANCE SECTION REFERENCE)



SCALE: 1" = 20'



- EXISTING IMPERVIOUS AREA (OFFICE, MAUSOLEUM, WALKWAYS)
- NEW IMPERVIOUS AREA FROM THIS PLANNED OFFICE ADDITION
- NEW ROOFLINE
- ADDED IMPERVIOUS AREA FROM THIS ADDITION - 574.5 S.F.



ON Feb. 6, 1998 THIS SITE WAS INSPECTED AND FOUND TO BE IN SUBSTANTIAL COMPLIANCE WITH THIS APPROVED DRAINAGE AND GRADING PLAN.

C. A. Coonce
C. A. COONCE

N.M.P.E. # 2934

2/6/98
DATE

DRAINAGE EFFECTS

PLAN CHECK (APPLICATION) NO. 9100992
PROPOSED OFFICE EXPANSION SKETCH PLAN
MT. CALVARY CEMETERY
1900 EDITH BLVD., N.E. MAP J-15-Z

THIS SKETCH WAS MADE FROM FIELD MEASUREMENTS OF THE EXISTING MT. CALVARY/ SANTA BARBARA CEMETERY OFFICE COMPLEX WITH THE ARCHITECT'S PROPOSED OFFICE EXPANSION ADDED. THE PROPOSED DEVELOPMENT WILL ADD 575.5 S.F. OF IMPERVIOUS AREA. THIS IMPERVIOUS AREA REPLACES LANDSCAPED AREA AND IS IN PRECIPITATION ZONE 2. THE INCREASE IN THE 100 YEAR Q WILL BE: $(4.70 - 2.28) 575.5 / 43560 = 0.032$ CFS. THIS INCREASES THE 63.17 CFS FROM A PREVIOUS DRAINAGE AND GRADING PLAN. THE CEMETERY IS COMPRISED OF 45.6132 ACRES. THE PERCENTAGE INCREASE IN Q_{100} IS $0.032 / 63.17$ OR $\approx 0.05\%$. IT IS BELIEVED THAT THIS DEVELOPMENT DOES NOT CREATE AN OVERLOAD TO THE WATERSHED.



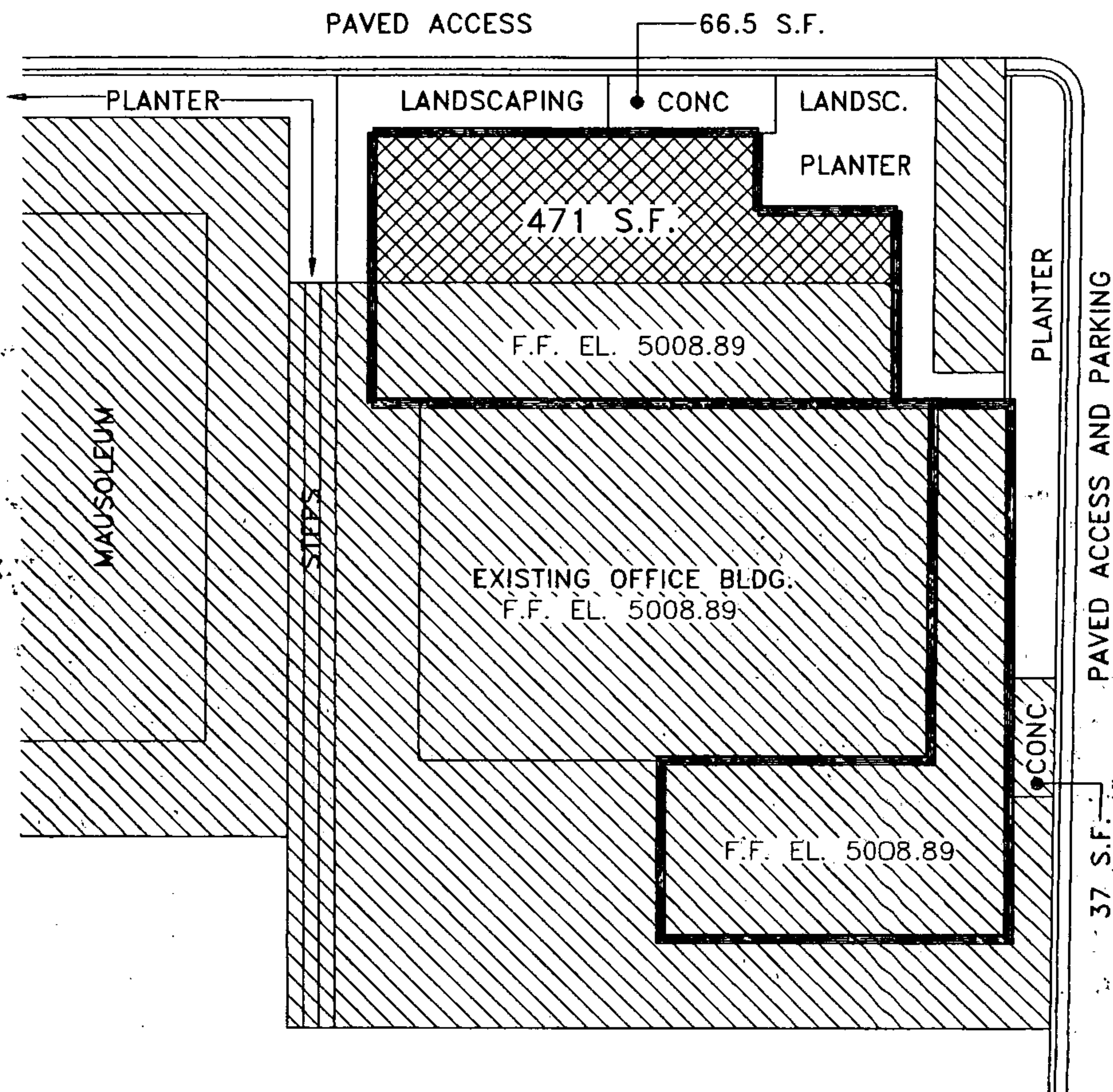
0 10 20 30 40



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