

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

August 13, 2021

Austin Schiele, P.E.  
Diamond Z Engineering, Inc.  
5670 State Road  
Cleveland, OH 44134

**RE: Penske Truck Leasing – Fuel Island Replacement  
1400 Candelaria Rd NE  
Grading and Drainage Plan  
Engineer's Stamp Date: 07/08/21  
Hydrology File: H15D052**

Dear Mr. Schiele:

PO Box 1293

Based upon the information provided in your submittal received 07/26/2021, the Grading and Drainage Plan is approved for Building Permit and Grading Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

[www.cabq.gov](http://www.cabq.gov)

The Payment-in-Lieu of \$ **2,600.00** must be paid prior to Hydrology's Permanent Release of Occupancy approval. Please follow the instructions:

Please use the attached City of Albuquerque Treasury Deposit form and when ready please email this form to Shannon Cordero ([sdcordero@cabq.gov](mailto:sdcordero@cabq.gov)). She will then produce and email back with a receipt and instructions on how to pay online. Once paid, please email me proof of payment. This will insure that Hydrology will be able to process Permanent Release of Occupancy approval when officially submitted.

# CITY OF ALBUQUERQUE

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Brennon Williams, Director



*Mayor Timothy M. Keller*

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

**Project Title:** Penske Truck Leasing Fuel Island Replacement **Building Permit #:** BP-2021-23769 **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** E'LY 315 FT of the W'LY 1265 FT of TR E Sundt's Industrial Addn Cont 4.6900 AC  
**City Address:** 1400 Candehria Rd NE

**Applicant:** Penske Truck Leasing **Contact:** Mike Barnes  
**Address:** RT 10 Green Hills Reading, PA 19603  
**Phone#:** 602-253-0091 **Fax#:** N/A **E-mail:** mike.barnes@penske.com

**Other Contact:** Diamond Z Engineering, Inc. **Contact:** Austin Schiele  
**Address:** 5670 State Rd Cleveland, OH 44134  
**Phone#:** 440-842-6501 **Fax#:** \_\_\_\_\_ **E-mail:** austin.schiele@diamondzengineering.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?** \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

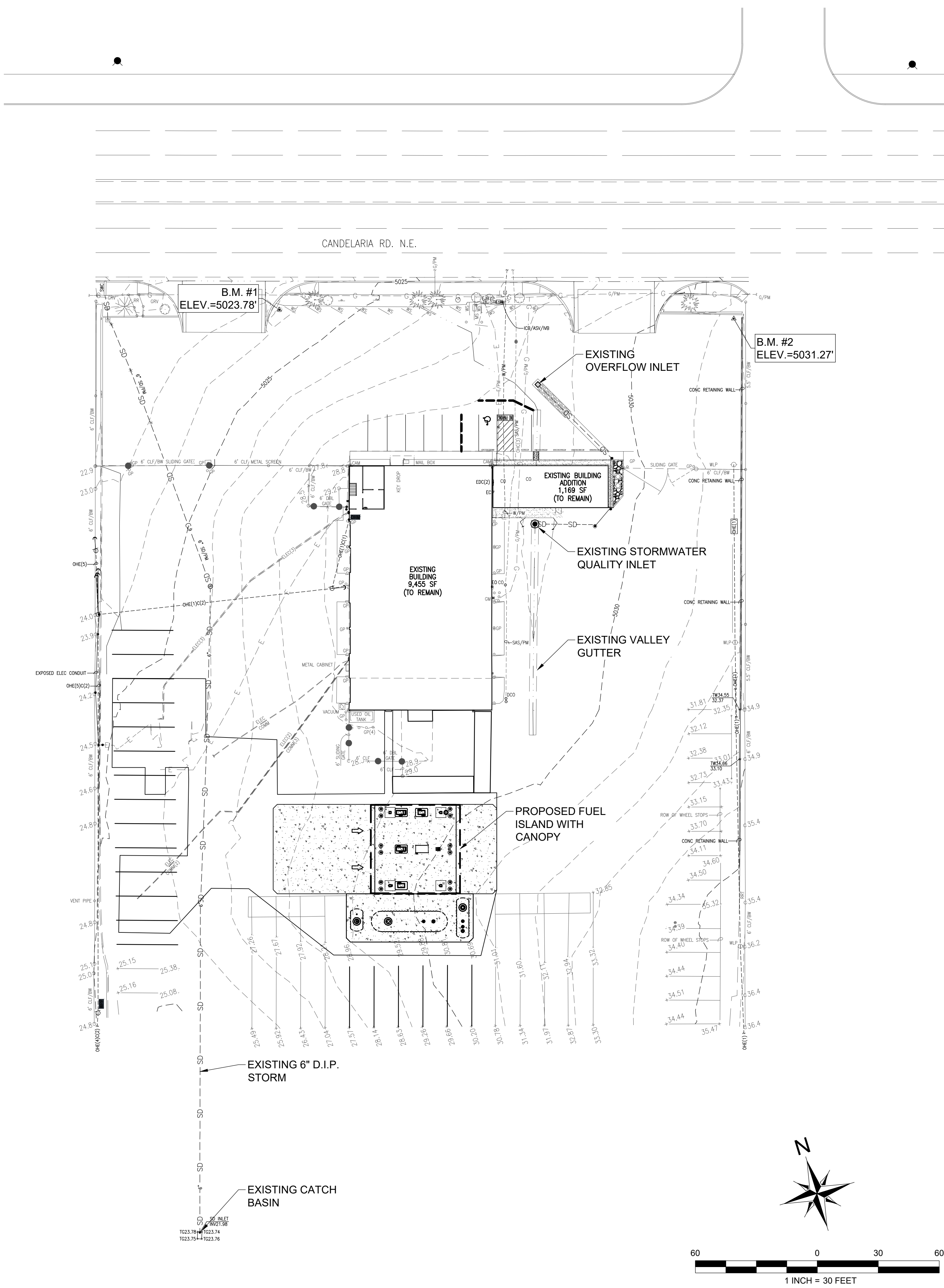
**DATE SUBMITTED:** 7/26/2021 **By:** Austin Schiele Austin Schiele

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





GRADING & DRAINAGE SITE PLAN NOTES:

THE PROJECT WILL REPLACE THE EXISTING FUEL ISLAND ON SITE. NO ADDITIONAL IMPERVIOUS AREA WILL BE CREATED. THE EXISTING STORM SYSTEM SHALL REMAIN AS IS.

SITE AREA: 4.69 AC

SITE LOCATION: ZONE 2

LAND TREATMENT: D (ENTIRE AREA), CN=98, C=0.90

100-YEAR - 6 HOUR STORM EVENT = 2.29 IN, 0.38 IN/HR

| SITE STORM RUN OFF |           |
|--------------------|-----------|
| EXISTING RUNOFF    | 9.66 CFS* |
| PROPOSED RUNOFF    | 9.66 CFS* |
| NET INCREASE       | 0.00 CFS  |

\*Q=CIA= 0.90\*2.29\*4.69 = 9.66 CFS

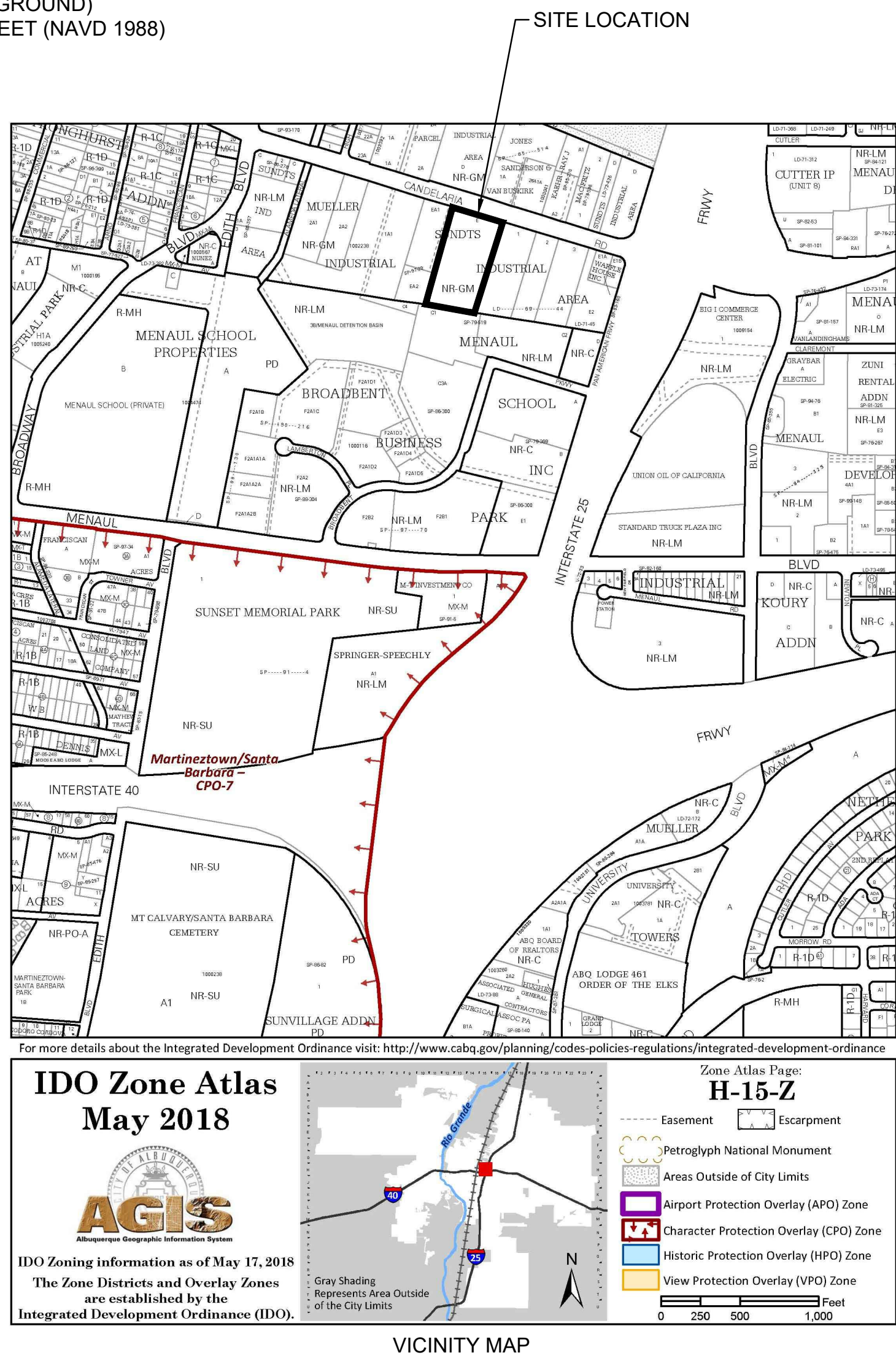
STORM WATER QUALITY VOLUME:

NEW PAVEMENT AREA: 15,000 SF  
WQV = 15,000 \* (0.26/12) = 325 CF

THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE REQUIRED STORMWATER QUALITY VOLUME.

ADDITIONAL SITE INFORMATION:

- LEGAL DESCRIPTION: E'LY 315 FT OF THE W'LY 1265 FT OF TR E SUNDTS INDUSTRIALADDN CONT 4.6900 AC (PER CABQMAPS GIS ADVANCED MAP VIEWER 2.0)
- FIRM MAP: SITE IS IN ZONE X FLOOD ZONE PER MAP 35001C0332G DATED 9/26/2008.
- PROJECT BENCHMARK: AGRS 3" BRASS DISC STAMPED "CANDELARIA 1979" IN TOP OF A CONCRETE POST FLUSH WITH GROUND, NEAR THE NORTHEAST QUADRANT OF THE INTERSECTION OF CANDELARIA BLVD AND UNIVERSITY AVE NE.  
NORTHING 1,497,091.458 (GRID) 1,497,091.46 (GROUND)  
EASTING 1,528,901.06 (GRID) 1,528,901.06 (GROUND)  
ELEVATION = 5090.846 FEET (NAVD 1988)
- SITE BENCHMARK #1: A MAG NAIL IN ASPHALT NEAR THE WESTERN MOST DRIVE ENTRANCE TO THE SITE, AS SHOWN ON THIS SHEET.  
NORTHING 1,497,470.95 (GROUND)  
EASTING 1,526,806.99 (GROUND)  
ELEVATION = 5023.78 FEET (NAVD 1988)
- SITE BENCHMARK #2: A MAG NAIL IN ASPHALT NEAR THE EASTERN MOST DRIVE ENTRANCE TO THE SITE, AS SHOWN ON THIS SHEET.  
NORTHING 1,497,402.05 (GROUND)  
EASTING 1,527,019.81 (GROUND)  
ELEVATION = 5031.27 FEET (NAVD 1988)



REVISIONS

|   |   |                           |   |   |   |
|---|---|---------------------------|---|---|---|
|   |   | ATS                       |   |   |   |
|   |   | 7/02/2021                 |   |   |   |
|   |   | REVISED PER CITY COMMENTS |   |   |   |
| 1 | 2 | 3                         | 4 | 5 | 6 |

PENSKE

TRUCK LEASING FACILITY  
1400 CANDELARIA ROAD NE  
ALBUQUERQUE, NM 87107

PENSKE

GRADING & DRAINAGE PLAN

PENSKE TRUCK LEASING CO., L.O.  
RT 10 GREEN HILLS  
READING, PA 19603  
PHONE: 610-775-6000

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|                  |                         |
|------------------|-------------------------|
| SCALE:<br>1"=30' | DATE:<br>7/02/2021      |
| DRAWN BY:<br>ATS | PROJECT NO.:<br>NM-3405 |

DRAWING NO.  
G&D-1