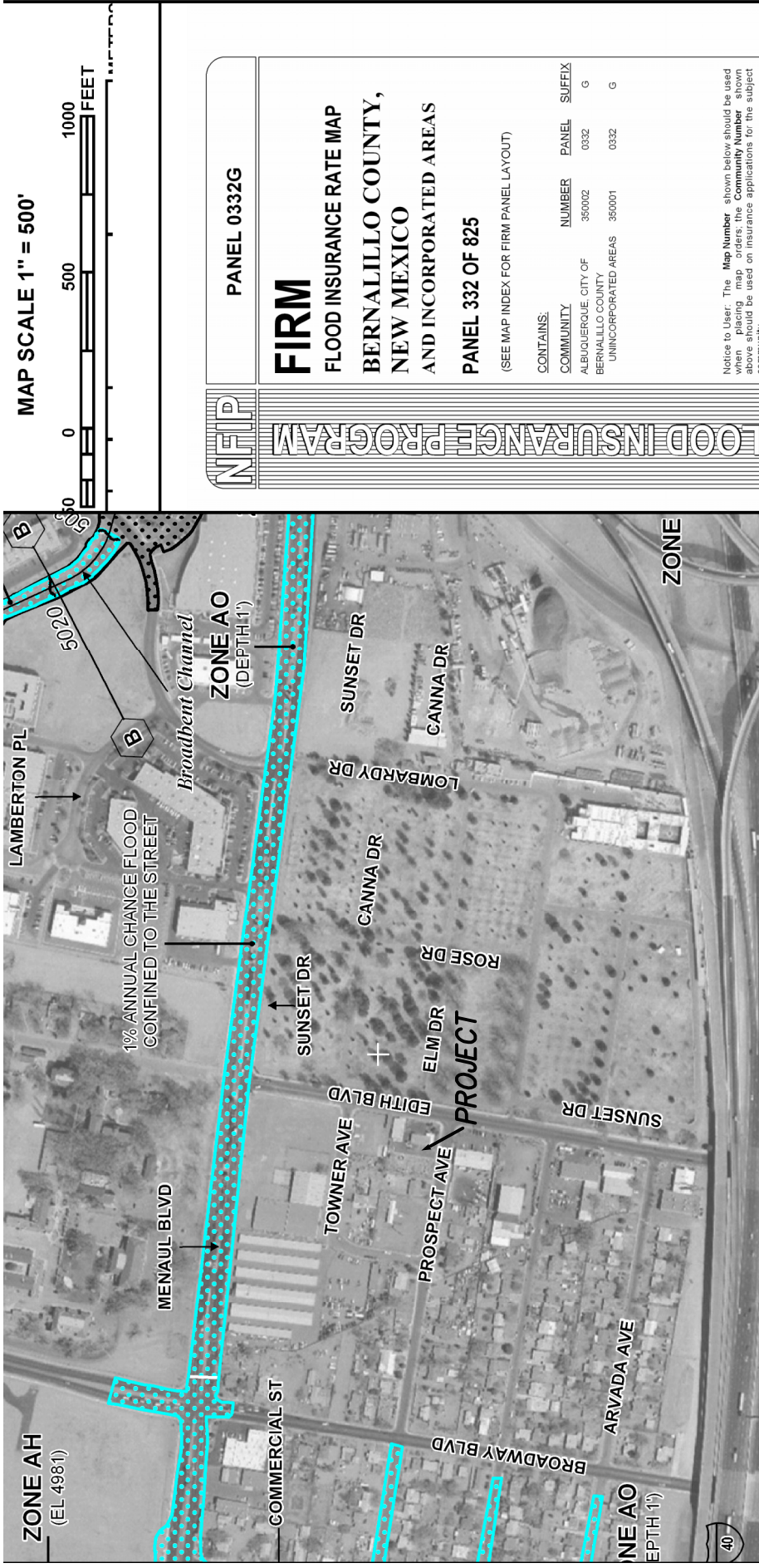




FIRM MAP

CALCULATIONS

DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2. HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (OPM), REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE.

VOLUME TRICKLE DISCHARGE: VOLUME = PEAK DISCHARGE RATE × AREA

P100 = 2.35 Minutes, Zone 2 Time of Concentration, TC = 10 Minutes

DESIGN FLOW = 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

UNDEVELOPED CONDITIONS – LOT 43

LOT AREA = 0.21 ACRES, WHERE EXCESS PRECIP. "W" = 1.13 In. [0.92"]

PEAK DISCHARGE: Q100 = 0.65 CFS [0.36] WHERE UNIT PEAK DISCHARGE = 1 CFS/AC. [1.7]

DEVELOPED CONDITIONS (LOT 43)

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

FOR STUDY AREA	AREA	LAND TREATMENT	$\bar{Q}$ Peak	$\bar{E}$
UNDEVELOPED	-0.00 Ac.(0%)	A	1.56[0.38]	0.53[0.13]
LANDSCAPING	0.03 Ac.(14%)	B	2.28[0.95]	0.78[0.28]
GRAVEL & COMPACTED SOIL	0.02 Ac.(10%)	C	3.14[1.71]	1.13[0.52]
ROOF - PAVEMENT	0.16 Ac.(76%)	D	4.70[3.14]	2.12[1.34]

THEREFORE: $E_{Weighted} = 1.83 \ln[1.11]$ & $VOLUME_{100} = 1395 \text{ CF}$
 $Q100 = 0.88 \text{ CFS}$ & $VOLUME_{10} = 846 \text{ CF}$
 $Q10 = 0.56 \text{ CFS}$

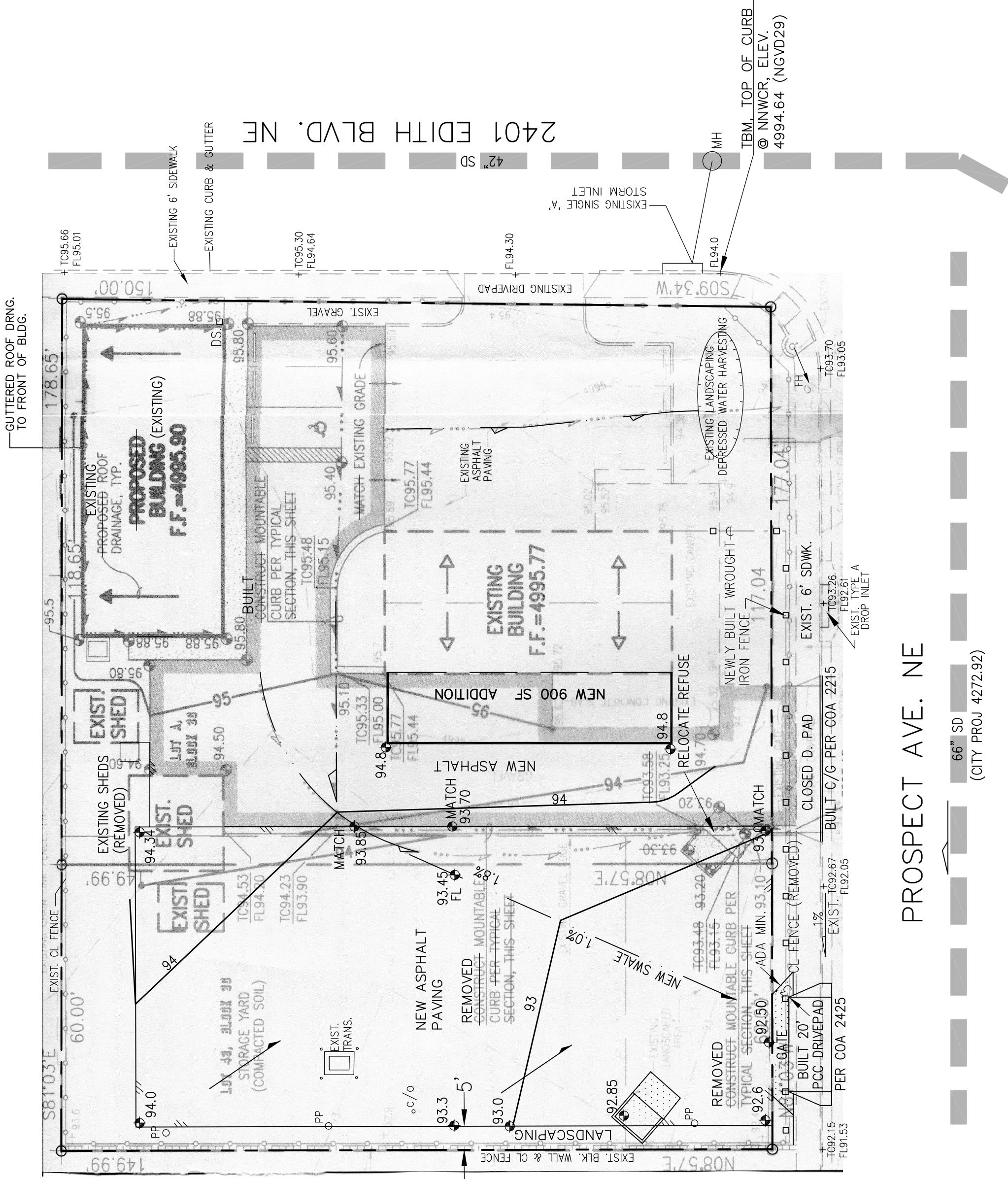
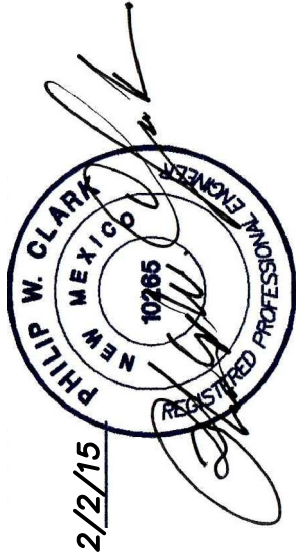
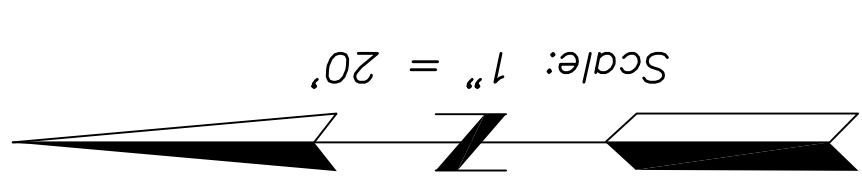
GRADING & DRAINAGE PLAN

THE PROPOSED COMMERCIAL PROJECT IS LOCATED IN THE NORTH VALLEY AREA OF METRO ALBUQUERQUE WITHIN THE CITY. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING STRUCTURES
2. PROPOSED IMPROVEMENTS: A 900 SF BLDG. ADDITION + NEW ASPHALT STORAGE YARD, NEW GRADE ELEVATIONS, AND LANDSCAPING IMPROVEMENTS.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION OF DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS WHICH CONTRIBUTE TO THE EXISTING FLOWS.
5. THIS PLAN AMENDS THE PHASE 2 GRADING & DRAINAGE PLAN PREPARED BY MA (JEFF MORTENSEN & ASSOC.) OF JULY 2001.

PRESENTLY, THE SITE IS DEVELOPED, AND IS BOUNDED BY DEVELOPED COMMERCIAL PROPERTY ON THE NORTH, AND RESIDENTIAL TO THE WEST. PROSPECT AVE ON THE SOUTH IS A 32 FEET WIDE PAVED CITY MAINTAINED LOCAL STREET WITH CURB/GUTTER AND 6' SIDEWALK. THE SITE TERRAIN SLOPES FROM NORTHEAST TO SOUTHWEST AT MINIMUM SLOPES UP TO 2%.

THE SITE IS NOT WITHIN A DESIGNATED FEMA FLOOD HAZARD ZONE. DEVELOPMENT OF THE LOT RUNOFF WILL BE PERMITTED TO DRAIN TO THE EXISTING-RECENTLY BUILT CONCRETE CREEPKED ON PROSPECT, HISTORICAL, OUTFALL LOCATIONS WILL REMAIN UNCHANGED WITH THE UPGRADED SITE DEVELOPMENT. FREE DISCHARGE OF PROJECT RUNOFF IS ACCEPTABLE SINCE DOWNSTREAM DRAINAGE FACILITIES (STORM SEWER IN PROSPECT) EXIST. A PORTION OF SITE RUNOFF WILL CONTINUE TO BE ROUTED THROUGH EXISTING LANDSCAPING AS POND. RAINFALL EXISTING DEPRESSED LANDSCAPED AREAS ARE SHOWN ON THE PLAN.

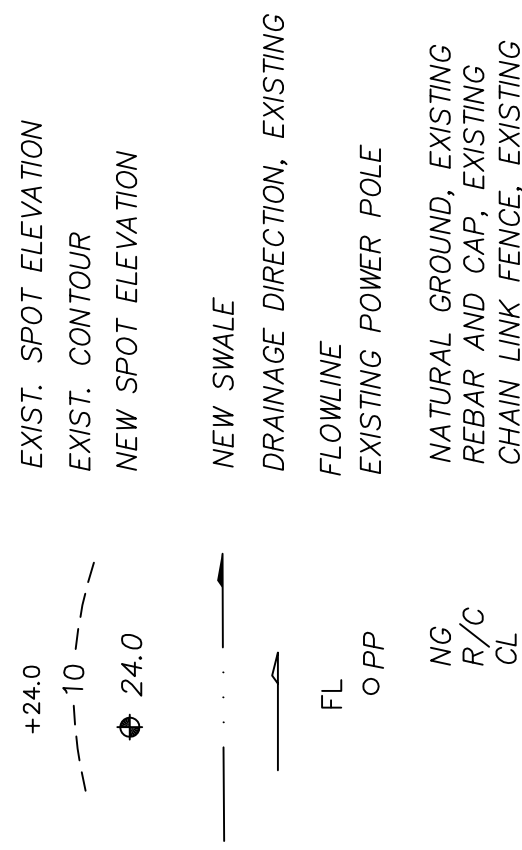


VICINITY MAP

NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 1986, INCLUDING 8 UPDATES & STANDARD DRAWINGS.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRASS.
5. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS (SEDIMENT OR SILT) ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
6. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1012, NATIVE SEED MIX.
7. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION:
3. HORIZONTAL TO 1 VERTICAL, 3:1.
8. NEW ASPHALT PAVEMENT SHALL CONSIST OF 3" ASPHALT CONCRETE OVER 8" COMPACTED SUBGRADE.
9. 95% PROCTOR, ASTM D-1557

LEGEND



PROJECT DATA

LEGAL DESCRIPTION

LOTS 43 AND A, BLOCK 3C, FRANCISCAN ADDITION
CITY OF ALBUQUERQUE, NEW MEXICO

PROJECT BENCHMARK

TOP OF CONCRETE CURB @ SW CORNER OF SITE, NNW CURB
RETURN, SEE PLAN, ELEVATION = 4994.64, (NGVD29)

TOPOGRAPHIC DESIGN SURVEY

COMPILED FROM ORIGINAL GRADING & DRAINAGE PLAN, PHASE 2. AND
SUPPLEMENTED BY CLARK CONSULTING ENGINEERS, JANUARY 2015.

 Clark Consulting Engineers		19 Ryan Road Edgewood, New Mexico 87015 Tel: (505) 281-2444 Fax: (505) 281-2444	
DATE _____ REVISION _____ _____ _____ _____		LOTS 43 AND A, BLOCK 3C, FRANCISCAN ADDITION ALBUQUERQUE, NEW MEXICO 2401 EDITH BLVD, NE Grading & Drainage Plan	
DESIGNED BY: PWC CHECKED BY: PWC	DRAWN BY: OCE DATE: 1/30/15	JOB # : TJC-FRENCH FILE # : G/D 1 OF 1	

CITY OF ALBUQUERQUE



February 26, 2015

Philip W. Clark, PE
Clark Consulting Engineers
19 Ryan Rd
Edgewood, NM 87015

**Re: French's (TLC)
2401 Edith Blvd NE
Grading and Drainage
Engineers Stamp Date 2/2/2015 (H15D058)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 2/3/2015, the above referenced Grading and Drainage Plan cannot be approved for Grading Permit or building permit until the following comments are addressed.

- Mention of the "First Flush" for the new impervious area needs to be on this plan.
- The new impervious area must flow through a retention pond before leaving the site for "First Flush" purposes. The amount which should be provided for the "First Flush" is, .34 times the impervious area. It appears that the new asphalt paving can drain to the west into the landscape buffer then head south via an earthen swale, then leave the site by sidewalk culvert or out the drive pad.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

C: RR/CC
email